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WELLINGTON
FUTURE LAND USE MAP AMENDMENT
APPLICATION
Year 2011



Wellington
Planning Division
Planning, Zoning & Building Department

**12300 West Forest Hill Boulevard,
Wellington, Florida 33414
Tel: (561) 753-2430**

PETITION SUMMARY

Following the completion of the application, please complete the following table, which summarizes the Future Land Use Map amendment request.

Property Owner	ISLA VERDE, LLC
Applicant (If different from above)	WELLINGTON ISLES, LLC
Agent	COTLEUR & HEARING, INC
Parcel Size	Total = 53.57 Acres, Residential = 30.65 Acres
Parcel Location	Northeast corner of Dillman Road and State Road 7
Parcel Frontage	1,365 feet along State Road 7
Parcel Access	State Road 7
Existing Land Use	MXD
FLUM Page Number	
Present FLUM Designation	MXD
Present Zoning District	MUPD
Present Development Potential	230 DU and 210,000 SF nonresidential
Proposed FLUM Designation	MXD
Proposed Zoning District	MUPD
Proposed Development Potential	360 DU and 210,000 SF nonresidential
Water Service Provider	PALM BEACH COUNTY
Sewer Service Provider	PALM BEACH COUNTY
Municipalities within 1 mile	ROYAL PALM BEACH
Overlay/Neighborhood Plan	N/A

I. GENERAL INFORMATION

A. APPLICANT INFORMATION

1. **Applicant(s) Name and Address.** Please identify the name and address of each person having an ownership interest in the property. Applicants include the owner(s), or the duly authorized agent(s) of the owner(s) with an interest in the property.

- a. Applicant A: WELLINGTON ISLES, LLC
b. Applicant B: ISLA VERDE, LLC
c. Applicant C: _____
d. Applicant D: _____

2. **Nature of Applicant(s) Interest.** For each applicant, check the appropriate column to indicate the nature of the applicant's interest in the property identified in section I.B.4. and 5. below:

Applicant Name	Owner	Lessee	Contract Purchaser	Other
A. WELLINGTON ISLES, LLC			X	
B. ISLA VERDE, LLC	X			
C.				
D.				

3. **Applicant's Authorized Representative.** Provide complete the below described items, if appropriate, and provide an executed original of the Agent Consent Form.

- a. Agent name: DON HEARING / KATHRYN DEWITT
b. Street address: 1934 COMMERCE LANE STE. 1
c. City, State & Zip Code: JUPITER, FL, 33458
d. Telephone number (day/evenings): 561-747-6336 EXT 110
e. Best time of day to reach agent: M-F, 8AM-5PM

B. PROPERTY INFORMATION

1. **General location:** Please indicate the location of the property in relationship to the nearest north-south and east-west roadways, e.g., south side of Wellington Trace approximately one-half (1/2) mile west of Forest Hill Boulevard.

See attached Location Map.

2. **Site factors:** Please indicate whether the property has frontage on any roadway or on any waterway and, if so, the number of linear feet of frontage, as well as the depth of the property, e.g., Approximately 1,340 feet of frontage along West Forest Hill Boulevard and 5,280 feet of depth.

Approximately 1365 feet of frontage on SR 7. Property depth of 590 feet.

3. **Street Address:** Please indicate the street address of the property, if applicable.

N/A

4. **Property description:** Please identify the property control number(s) (PCN) or tax folio number(s) for each parcel that is the subject of this FLUM amendment application, and indicate the size of each parcel in hundredths of an acre. The PCN is a 17 digit number that begins with the numbers 00.

APPLICANT	TAX FOLIO OR PROPERTY CONTROL NUMBER	SIZE IN ACRES
WELLINGTON ISLES, LLC	73-42-44-06-10-001-0000	30.65

5. **Legal description:** Please provide a legal description of the entire property and a certified survey (prepared within 6 months of submittal of the application) that is the subject of this FLUM amendment application as Attachment A.

See Attachment.

6. **Size of property:** Identify the size of the subject property, in hundredths of an acre. 30.65 acres

7. **Location and acreage of any property contiguous to the subject property which is in the same ownership, in whole or in part:** Please identify the location (written description and mapped) and size of any other property contiguous to the subject property which is in the same ownership, whether in whole or in part. N/A

8. **History of the property:**

- a. **Purchase date and prior ownership:** Please indicate the month, day and year the property was acquired, from whom the property was acquired.

Isla Verde, LLC acquired the subject property on November 20, 2005 from PEBB Enterprises University Bank Building, Ltd.

- b. **Purchase information:** Please describe the manner of acquisition (purchase, exchange, gift, inheritance, etc.), the cost of acquisition and provide evidence of same (e.g., purchase and sale agreement) and ownership (deed).

Quit Claim Deed. See attached deed.

- c. **Size of purchased property:** Identify whether the subject property was a part of a larger property acquired from a previous owner. If so, identify the extent of any property contiguous to the subject property that was in the same ownership as the subject property.

The subject parcel is part of a MUPD that is 53.57 acres in size. The nonresidential portion of the project is located directly west of the subject parcel.

- d. **Use by previous owner:** Please indicate whether the property was previously subject to a homestead exemption, whether the property was subject to any agricultural exemptions, abatements.

The property was not subject to a homestead exemption or agricultural exemptions.

- e. **Previous FLUM Amendment:** Identify whether the property was previously subject to a Future Land Use Map (FLUM) amendment. If so, please provide the date which the FLUM amendment application was filed; the size of the parcel; the requested change in land use designation; the recommendations of the Planning and Zoning Division, the Council; and the ultimate disposition of the FLUM amendment application (whether adopted as requested, adopted as modified, rejected, or withdrawn).

Ordinance 2001-17 approved the existing Future Land Use designation of Mixed Use.

9. **Development history of the property:** The purpose of the inquiry is to determine whether there are any other circumstances that argue for or against the applicant's proposed application. Please identify the following, if known:

- a. **Whether Wellington has ever denied a development order for the property?** If so, indicate the development order requested, the date the development order was denied, and provide a copy of the resolution denying same, if available. **NOTE:** Previous development order approvals are covered in section II.B.1.b.1) of this application.

No.

- b. **Whether the property has received development approvals from an entity other than Wellington?** If the property received development approval from another local, state, or federal agency, please identify agency, type of development order granted, and indicate if the approval is still valid.

No.

C. APPLICANT'S OWNERSHIP AFFIDAVIT

STATE OF FLORIDA
COUNTY OF PALM BEACH

-----/

BEFORE ME THIS DAY PERSONALLY APPEARED Bruce Weiner WHO
BEING DULY SWORN, DEPOSES AND SAYS THAT:

1. He/she is the owner, or the owner's authorized agent, of the real property legally described in Attachment A;
2. He/she understands the Future Land Use Map amendment application fee is non-refundable and in no way guarantees approval of the proposed amendment;
3. The statements within the Future Land Use Map amendment application are true, complete and accurate;
4. He/she understands that all information within the Future Land Use Map amendment application is subject to verification by Wellington's staff;
5. He/she understands that false statements may result in denial of the application;
and
6. He/she understands that he/she may be required to provide additional information within a prescribed time period and that failure to provide the information within the prescribed time period may result in the denial of the application.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 14 day of October, 2013, by Bruce Weiner (Name of Person Acknowledging) who is personally known to me or who has produced N/A (type of identification) as identification and who did (did not) take an oath.

Ronnie King

(Signature of Person Taking Acknowledgment)

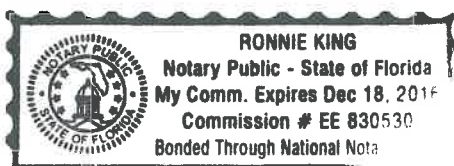
RONNIE KING

(Name of Acknowledger Typed, Printed or Stamped)

(Title or Rank)

(Serial Number, if any)

(Notary' Seal)



Bruce Weiner

Applicant's Signature

Bruce Weiner

Applicant's Name (Print)

1900 GLADES RD. # 600

Street Address

Deer Park, FL

City, State, Zip Code

Telephone (561) 452-6212

D. APPLICANT'S NOTICE AFFIDAVIT

**STATE OF FLORIDA
COUNTY OF PALM BEACH**

-----/

BEFORE ME THIS DAY PERSONALLY APPEARED Bruce Weiner, WHO
BEING DULY SWORN, DEPOSES AND SAYS THAT:

1. He/she is the owner, or the owner's authorized agent, of the real property legally described in Attachment A;
2. The accompanying Property Owners List is, to the best of his/her knowledge, a complete and accurate list of all property owners, mailing addresses and property control numbers as recorded in the latest official tax rolls for all property within five hundred (500) feet of the real property described in Attachment A, or all property within 500 feet of all contiguous property owned whole or in part by the owner of the real property described in Attachment A, if applicable; and
3. He/she will cause the real property described in Attachment A to be posted with a notice of public hearing on a sign provided by Wellington in accordance with the requirements of Section 5.2.4.G.3 of the Wellington's Land Development Regulations.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 14 day of October, 2013, by Bruce Weiner (Name of Person Acknowledging) who is personally known to me or who has produced N/A (type of identification) as identification and who did (did not) take an oath.

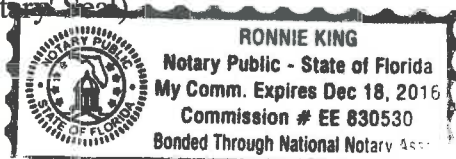
Ronnie King
(Signature of Person Taking Acknowledgment)

RONNIE KING
(Name of Acknowledger Typed, Printed or Stamped)

(Title or Rank)

(Serial Number, if any)

(Notary Seal)



Bruce Weiner
Applicant's Signature

BRUCE WEINER
Applicant's Name (Print) #

7900 Glades Rd 600
Street Address

Boca Raton Fl 33434
City, State, Zip Code

(561) 613-4020
Telephone

E. AGENT CONSENT FORM

STATE OF FLORIDA
COUNTY OF PALM BEACH

-----/

BEFORE ME THIS DAY PERSONALLY APPEARED Bruce Weiner, WHO
BEING DULY SWORN, DEPOSES AND SAYS THAT:

1. He/she is the owner of the real property legally described in Attachment A;
COTLEUR & HEARING, INC.
2. He/she duly authorizes and designates _____ to act
in his/her behalf for the purposes of seeking a change to the Future Land Use Map
designation of the real property legally described in Attachment A;
3. He/she has examined the foregoing Future Land Use Map amendment application
and he/she understands how the proposed change may affect the real property
legally described in Attachment A.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 14 day of October,
2013, by Bruce Weiner (Name of Person Acknowledging)
who is personally known to me or who has produced N/A
(type of identification) as identification and who did (did not) take an oath.

Ronnie King
(Signature of Person Taking Acknowledgment)

RONNIE KING
(Name of Acknowledger Typed, Printed or Stamped)

(Title or Rank)

(Serial Number, if any)

(Notary' Seal)

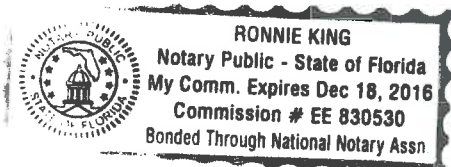
[Signature]
Owner's Signature

BRUCE WEINER
Owner's Name (Print)

7900 Glades Rd #600
Street Address

Boca Raton Fl 33434
City, State, Zip Code

Telephone (661) 613-4020



II. DATA AND ANALYSIS

APPLICANT PLEASE NOTE: Please insert a page break between each of the sections under this heading (i.e. A. Background, B. Land Use Element, etc.)

A. LDR JUSTIFICATION REQUIREMENTS

1. JUSTIFICATION STATEMENT

- a. **Future Land Use Map Amendment Factors.** Subsection 5.2.4.J (*Site Specific Comprehensive Plan Amendments, Procedure, Standards*) of the Land Development Regulations provides that a FLUM amendment must be based on one or more of the following factors, and a demonstrated need. Please identify which factor is being used to justify the request for a FLUM amendment and describe how the amendment is consistent with the factor or factors.
- 1) **Changed projections:** Changed projections (e.g., regarding public service needs) in the Comprehensive Plan, including but not limited to amendments that would ensure provision of public facilities;
 - 2) **Changed assumptions:** Changed assumptions (e.g., regarding demographic trends or land availability) in the Comprehensive Plan, including but not limited to the fact that growth in the area, in terms of the development of vacant land, new development, and the availability of public services has altered the character such that the proposed amendment is now reasonable and consistent with the land use characteristics;
 - 3) **Data errors:** Data errors, including errors in mapping, vegetative types and natural features in the Comprehensive Plan;
 - 4) **New issues:** New issues that have arisen since adoption of the Comprehensive Plan;
 - 5) **Additional detail or comprehensiveness:** Recognition of a need for additional detail or comprehensiveness in the Comprehensive Plan; or
 - 6) **Data updates:** Data updates.

2. DEMONSTRATED NEED

Subsection 5.2.4.J of the Land Development Regulations also provides that a FLUM amendment must be based on a demonstrated need to amend the Future Land Use Map. The demonstrated need must be supported by relevant and appropriate data and analysis, and support documents or summaries of such documents on which the need for the proposed FLUM amendment is based must be included.

- a. **Residential Application:** If the applicant is proposing an increase in residential density, the applicant should state here why other density enhancement programs, such as the *Voluntary Density Bonus Program* and the *Transfer of Development Rights Program*, are not feasible for use on the subject property. The applicant **MUST** demonstrate why the current FLUM designation is no longer appropriate for this site.
- b. **Commercial Application:** If the request is for a commercial FLUM designation, the applicant **MUST** demonstrate why additional commercial acreage is needed in this area, why *this site* is most appropriate to meet this need, and why the current FLUM designation for this site is no longer appropriate.

3. COMMERCIAL APPLICATION DATA REQUIREMENTS

- a. **Identify the square feet of non-residential development that could be accommodated on the subject property with the proposed amendment.**
 - 1) **At maximum floor area ratio:** This is determined by multiplying the size of the property in hundredths of an acre by the number of square feet in an acre (43,560) and by the maximum floor area ratio permitted by the Land Development Regulations (35 percent for commercial and 45 percent for industrial).
 - 2) **At typical floor area ratio:** This is determined by multiplying the size of the property in hundredths of an acre by the number of square feet in an acre (43,560) and by the typical floor area ratio (20 percent for commercial and 30 percent for industrial).
- b. **Identify, map, and justify the trade or market area for the subject property:** The following rules may be used to identify a trade/market area. If a different approach is used, you must provide a justification for the approach taken.
 - 1) **Commercial FLUM.** If a commercial small scale FLUM amendment is being requested, and if the property is more than or equal to one acre and less than or equal to three acres, using the Census Tract Map in the Appendix, draw a boundary around the property which has a radius of one and one-half miles. If the property is more than three acres and less than or equal to ten acres, draw a boundary around the property that has a radius of three miles.
 - 2) **Industrial FLUM.** If an industrial small scale FLUM amendment is being requested, and if the property is more than or equal to one acre and less than or equal to two acres, using the Census Tract Map in the Appendix, draw a boundary around the property which has a radius of one and one-half (1½) miles. If the property is more than two acres, draw a boundary around the property that has a radius of three (3) miles.

- c. **For the trade or market area identified above, please inventory and map the built commercial, commercial office, or industrial uses, as appropriate:** This inventory should include the name of the establishment, the type of establishment by category, the square foot of built space, and the square feet of any vacancies. The map should identify where the different establishments are located in relation to the subject property.

d. **Market Study Parameters:** A market study is required for commercial applications and many applicants find one helpful in establishing the need for additional commercial in the area. *The Market Study area shall be determined at the mandatory pre-application meeting with Planning and Zoning staff and must include the following:*

- 1) An estimate of demand using an assessment that considers per capita dollars spent in Wellington, dollars spent per square foot of commercial space, and square foot per capita;
- 2) An estimate of supply of commercial square footage which considers the request added to the current supply, and future supply;
- 3) A comparison of estimated supply to estimated demand;
- 4) All sources of data used in the study.



A. LDR JUSTIFICATION REQUIREMENTS

1. JUSTIFICATION STATEMENT

a. FUTURE LAND USE MAP AMENDMENT FACTORS

The proposed Future Land Use Map (FLUM) amendment is based on a change in assumptions. The original project was approved in 2006 for 245 townhome units. Most recently, in 2011, Ordinance 2011-06 and Resolution 2011-35 were adopted, amending the previous development orders to allow 230 townhome units. The proposed site plan contains 360 multi-family units.

2. DEMONSTRATED NEED

Residential Application: If the Applicant is proposing an increase in residential density, the Applicant should state here why other density enhancement programs, such as the **Voluntary Density Bonus Program** and the **Transfer of Development Rights Program**, are not feasible for use on the subject property. The applicant **MUST** demonstrate why the current FLUM designation is no longer appropriate for this site.

The current FLUM designation of Mixed-Use Development (MXD) remains appropriate for the subject site. The Applicant is only proposing a change to the number of total dwelling units. Through this amendment, the FLUM designation will be updated to include a MXD Type designation, which was not adopted into the Comprehensive Plan at the time the project was approved. This update will allow the site to be consistent with the Village's Comprehensive Plan.

The Applicant is not proposing very low / low-income housing; therefore, the Voluntary Density Bonus Program is not applicable. The project is part of an approved mixed-use development, which is located within the urban core area of the municipal area. The project is not located in an area that is conducive to utilizing the Transfer of Development Rights Program. While the Applicant is not utilizing these two programs, the project is eligible for the Targeted Expedited Permitting Program (TEPP) through its use of green building construction. The applicant would request that the subject petition be considered for the Village's TEPP program

The Applicant is committed to be a part of the Village's Go Green Initiative. All buildings will be constructed in accordance with the National Association of Home Builders (NAHB) standards for **Gold Rated Green Buildings**. NAHB requires all proposed buildings to address six core areas:

- Lot Design, Preparation, and Development
- Resource Efficiency
- Energy Efficiency
- Water Efficiency
- Indoor Environmental Quality
- Operation, Maintenance, and Building Owner Education

A minimum number of points must be obtained in each of the categories to achieve Gold level of certification. A Gold standard was achieved for a similar project the Applicant completed in Boynton Beach, FL. Seabourn Cove is a multi-family project with 456 units. The residents in this community enjoy lower operating costs through high-efficiency appliances and home features. Unlike the previous development plan, the Applicant is proposing a project with a myriad of energy efficient and sustainable measures, a few of which include:

- Solar powered roof vents
- Energy star appliances
- Low flow water fixtures
- Insulated plumbing pipes
- Energy efficient exterior building and walkway lighting
- WaterSense Irrigation system
- Kitchen USB outlets
- Native, Drought Tolerant landscaping
- Use of recycled building and construction materials
- Two electric car charging stations
- All garages are pre-wired for electric car chargers
- Low VOC construction

The Applicant is committed to using the right products, materials, and techniques to deliver homes designed to perform more efficiently, provide more durability and create an improved indoor environment. With years of experience, the Applicant will provide the Village of Wellington with a world-class community that will set a standard for quality development.

3. COMMERCIAL APPLICATION DATA REQUIREMENTS

a. Identify the square feet of non-residential development that could be accommodated on the subject property with the proposed amendment.

The Applicant is not proposing any changes to the approved nonresidential square footages as part of the subject request.

b. Identify, map, and justify the trade or market area for the subject property:

See Market Study submitted herein.

c. For the trade or market area identified above, please inventory and map the built commercial, commercial office, or industrial uses, as appropriate:

See Market Study submitted herein.

B. LAND USE DATA

1. DATA REQUIREMENTS FOR THE SUBJECT PROPERTY

- a. **Existing Land Use Cover.** Please attach a copy of an aerial photograph showing the subject property in relation to the abutting properties. Aerial photographs are available from the Palm Beach County Property Appraisers Office and REDL. The aerial photograph must have the site clearly marked.
 - 1) **Natural features:** Inventory and map any natural features located on the property. Natural features include lakes, drainage canals or ponds, wetlands, pine flatwoods etc.
 - 2) **Built features:** Inventory and map any physical or man-made features on the property covered by this application. The inventory should include such information as, for example, the number and type of housing units, square feet for buildings, number of parking spaces, number of stories, etc.
- b. **Future Land Use Map (FLUM) Designation.** This information is available from Wellington Planning and Zoning Division at 753-2430. Please attach an 8 1/2" by 11" or 11" by 17" copy of portion of the FLUM map showing the site, the surrounding properties (within 1000 feet), and the FLUM for the site and surrounding properties. The site must be clearly marked.
 - 1) **Current FLUM Designation:** Identify the FLUM designation of the property and attach a copy of the Future Land Use Map.
 - 2) **Proposed FLUM Designation:** Identify the FLUM designation desired for the subject property.
- c. **Zoning District.** Zoning information is available from Wellington's Planning and Zoning Division at 753-2430. Please attach a 8-1/2" by 11" or 11" by 17" copy of the portion of the Zoning Quad or the Wellington P.U.D. Master Plan showing the site, surrounding properties (within 1000 feet), and the zoning districts for the site and surrounding properties. The site must be clearly marked.
 - 1) **Previous Zoning Approvals, if any:** Identify any previously approved petition and resolution numbers for the subject property, if applicable. Also, please attach a copy of the previous resolution(s).
 - 2) **Current Zoning District:** Identify the most recent petition and resolution number(s) approved for the subject property.
 - 3) **Proposed Zoning District:** Please identify the zoning district that will be requested. The zoning districts are identified in the Wellington's Land Development Regulations.

d. **Other Approvals.**

- 1) **Concurrency exemption or reservation:** Please indicate whether the property is currently subject to a concurrency exemption or concurrency reservation. If subject to concurrency, please attach a copy of the appropriate certificate. This information is available from Wellington's Zoning Division at 753-2430.
- 2) **Plat, master plan, or subdivision:** Please indicate whether the property has been platted, subject to a master plan, or subdivided and indicate the record book and page number, if applicable. This information is available from Wellington's Planning and Zoning, or the County Clerk. Please include an 8-1/2" x 11" copy of the appropriate documents.
- 3) **Developers' Agreement or Utility reservation:** Please indicate whether the subject property is currently subject to a developers' agreement or a utility reservation. If subject to such, please attach a copy of the document and evidence that the agreement or reservation is still valid.

e. **Flood zone:** Please indicate in which flood zone the property is located. In addition, please attach a flood zone map showing the location of the property. Flood zone information is available from Wellington Engineer. **NOTE:** If the property is located in an "A" or "V" zone, requests for greater intensity of use will be viewed unfavorably.

f. **Wellfield Protection Zone:** Please indicate whether the subject property is located in a wellfield protection zone. Attach an 8 1/2" by 11" or 11" by 17" map showing the location of the property in relation to the nearest wellfield protection zones. Wellfield protection maps and information is available from Wellington Utilities Department or Planning and Zoning Department. **NOTE:** If the subject property is located within a wellfield protection zone, requests for greater intensity of use will be viewed unfavorably.

g. **Neighborhood Plan, Special Overlay, or Redevelopment area:** Please identify whether the property is located in a redevelopment area, neighborhood planning area, or special overlay. If the property is within a redevelopment area, identify the land use designation as is shown in the redevelopment map and attach a copy of that map. Information on redevelopment areas is available from the Wellington's Planning and Zoning Division at 753-2430.

B. LAND USE DATA

1. DATA REQUIREMENTS FOR THE SUBJECT PROPERTY

a. EXISTING LAND USE COVER

See attached Location map.

b. FUTURE LAND USE MAP

See attached Future Land Use map.

c. ZONING DISTRICT

See attached Zoning map.

1) Previous Zoning Approvals.

January 2004 – Site was annexed into the Village of Wellington

October 2004 – Ordinance 2001-17 was adopted approving a Future Land Use designation for the site to be Mixed Use.

June 2006 – Ordinance 2006-12 adopted MUPD zoning

June 2006 – Resolution 2006-40 approved the Preliminary Development Plan (Master Plan) to allow 245 DU and 210,000 SF nonresidential

Resolution 2007-86 amended Resolution 2006-40 to allow 245 DU and 210,000 SF nonresidential

May 2011 – Ordinance 2011-06 amended zoning conditions from Ord. 2006-12

May 2011 – Resolution 2011-35 approved an amendment to the Master Plan to allow 230 DU and 210,000 SF nonresidential.

2) Current Zoning District

The current zoning district is MUPD, which was most recently approved by Resolution 2011-35.

3) Proposed Zoning District

The Applicant is not proposing any changes to the current zoning designation of MUPD. Only site plan related changes to the residential portion of the existing mixed-use project are proposed.

d. OTHER APPROVALS

1) Concurrency Exemption or Reservation

The subject project has an approved concurrency reservation for 230 dwelling units and 210,000 of nonresidential square footage.

2) Plat, master plan, or subdivision

The subject project was platted on September 4, 2007 as recorded in ORB 110 pages 132 through 138 and replatted on March 27, 2012 as recorded in ORB 115 pages 69 through 73. The Master Plan was approved by Resolution 2006-40. A copy of the plat and Master Plan have been included in the submittal.

3) Developers' Agreement or Utility reservation

The subject property is not subject to a developers' agreement. The site has water and sewer utility reservations from Palm Beach County (see attached reservation letter).

e. FLOOD ZONE

See attached Flood Zone map.

f. WELLFIELD PROTECTION ZONE

See attached Wellfield Protection Zone map.

g. NEIGHBORHOOD PLAN, SPECIAL OVERLAY, OR REDEVELOPMENT AREA

The subject site is not located within a neighborhood plan, special overlay, or redevelopment area.

2. DATA REQUIREMENTS FOR SURROUNDING PROPERTIES

- a. **Existing Land Use Coverage.** Please provide a written inventory and a map of land uses (including natural and built features) on the properties abutting the subject property. Provide information such as subdivision names, etc. Please attach a map showing this information.

1) <u>North:</u>	<u>Palm Beach County - Vacant</u>
2) <u>South:</u>	<u>Palm Beach County - StoneHaven residential community</u>
3) <u>East:</u>	<u>Palm Beach County - Residential</u>
4) <u>West:</u>	<u>Isla Verde Nonresidential</u>

- b. **Zoning District.** Please identify the zoning district category or categories for the abutting properties. In addition, where applicable, please identify the petition number(s) and resolution number(s).

1) <u>North:</u>	<u>Palm Beach County - AR</u>
2) <u>South:</u>	<u>Palm Beach County - Residential PUD</u>
3) <u>East:</u>	<u>Palm Beach County - RE</u>
4) <u>West:</u>	<u>MUPD</u>

- c. **Future Land Use Map (FLUM) Designation.** Please identify the current FLUM designation of the abutting properties.

1) <u>North:</u>	<u>Palm Beach County - LR-2</u>
2) <u>South:</u>	<u>Palm Beach County - LR-2</u>
3) <u>East:</u>	<u>Palm Beach County - LR-2</u>
4) <u>West:</u>	<u>MXD</u>

3. ANALYSIS REQUIREMENTS

- a. **Land Use Compatibility.** Compatibility means land uses that are congruous, similar and in harmony with one another because they do not create or foster undesirable health, safety or aesthetic effects arising from direct association of dissimilar, contradictory, incongruous, or discordant activities, including the impacts of intensity of use, traffic, hours of operation, aesthetics, noise, vibration, smoke, hazardous odors, radiation, function and other land use conditions.

- 1) **Existing uses.** Please explain how the proposed change in the FLUM designation of the property is compatible with the surrounding uses listed above in section II.B.2.a.
- 2) **Future Land Use Map designations.** Describe how the proposed change in the FLUM designation of the property would be compatible with the surrounding future land uses as shown on the FLUM (above section II. B.2.c.)

No change to the existing MXD FLU designation is proposed. The proposed changes are site plan related only. The residential use is consistent with the surrounding residential uses.

- b. **Consistency with the Land Use Element.** All proposed amendments must be reviewed for consistency with the adopted Wellington Comprehensive Plan. To support the proposed amendment, the applicant may reference **specific** Objectives and/or Policies the proposed amendment is *consistent with* or *further*s. (It is recommended that the applicant review the Element for such items.) However, for **each** Objective/Policy referenced, the application must **explain in detail** how the **individual** Objective/Policy will be furthered by the proposed amendment. Since many Objectives and Policies are not applicable to FLUM amendments, it is not sufficient to state that “this proposed amendment is consistent with and furthers the Land Use Element”.

The existing FLU designation of MXD is proposed to remain. The Applicant's changes are related to the number of dwelling units and site plan related modifications.

Policy 1.3.25. Mixed Use -- *The Mixed Use designation is designed for new development or redevelopment of existing sites which and is characterized by a variety of integrated land use types. The intent of the district is to provide for a mixture of uses on single parcels in order to develop or redevelop sites which are sensitive to the surrounding uses, obtain the desired character of the community, and ensure the availability of capacity of public facilities to serve proposed developments. This designation is also intended to foster infill development, to deter urban sprawl and to lessen the need for additional vehicular trips through the internalization of trips within a neighborhood or project. The minimum criteria established below are to be used for development of sites designated Mixed Use.*

The project contains four types of land use categories: Residential, Commercial, Preservation, Open Space. Subsequent to the approval of the subject project, the Village amended the Comprehensive Plan to establish four Types of Mixed Use developments. Because the subject project was approved prior to the amendment, Isla Verde was not given a Type designation. The Applicant proposes to update the FLU to designate the project as a Type I Mixed Use. The existing and proposed changes are consistent with the density allocations for the Type I designation.

Objective 2.0 *Through goals, objectives and policies of the Future Land Use Element, Wellington shall:*

- (1) *Discourage urban sprawl.*
- (2) *Incorporate energy efficient land use patterns accounting for existing and future power generation and transmission systems.*

Mixed Use projects discourage sprawl by locating residential and nonresidential uses within close proximity, which solicits walkability, reduces vehicular miles traveled, and uses land more efficiently. The subject parcel is also located on an infill site, which discourages urban sprawl.

C. TRANSPORTATION

1. DATA AND ANALYSIS REQUIREMENTS

a. Determine the trip generation for the current future land use designation.

- 1) At .25 FAR; and
- 2) At .35 FAR.

b. Determine the trip generation for the proposed future land use designation.

- 1) At .25 FAR; and
- 2) At .35 FAR.

c. Determine the net trip increase at .25 FAR and .35 FAR (a) - (b).

d. Determine the project trip distribution on all roadways based on the following table.

Net Trip Increase	Distance
51 - 1,000	directly accessed link
1,001 - 4,000	1 mile
4,001 - 8,000	2 miles
8,001 - 12,000	3 miles
12,001 - 20,000	4 miles
20,000 - up	5 miles

e. Determine LOS with existing traffic and project traffic.

- 1) Add the project traffic to existing traffic volumes for all roadways determined in (d.), based on the trip generation for the proposed future land use in (b). *
- 2) Compare to LOS D for existing lanes.

f. Determine LOS with projected five year traffic and project traffic.

- 1) Determine five year projected traffic volumes using the published historic growth rates and major project traffic.
- 2) Add the project traffic to all roadways determined in (d) based on the trip generation for the proposed future land use in (b). *
- 3) Compare to LOS D for existing and assured lanes.

g. Determine LOS for 2015 with the increase in traffic due to the proposed land use amendment.

- 1) Add the project traffic to all roadways determined in (d) based on the trip generation for the increase in traffic due to the proposed future land use in (c).
- 2) Compare to LOS D for the lanes in the 2015 roadway system.

h. Consistency with the Transportation Element. All proposed amendments must be reviewed for consistency with the adopted Wellington Comprehensive Plan. To support the proposed amendment, the applicant may reference **specific** Objectives and/or Policies the proposed amendment is *consistent with* or *further*s. (It is recommended that the applicant review the Element for such items.) However, for **each** Objective/Policy referenced, the application must **explain in detail** how the *individual* Objective/Policy will be furthered by the proposed amendment. Since many of the Objectives and Policies are not applicable to FLUM amendments, is not sufficient to state “this proposed amendment is consistent with and furthers the Transportation Element”.

* *The trip generation for the proposed future land use can be reduced if there is an active use on the property. There will be no reduction if the property is vacant.*

In the case of this proposed comprehensive plan amendment, the overall theoretical uses and intensities allowed for development on the site are not anticipated to change. Therefore, there is no change in traffic generation potential of this site and no short-range or long range level of service analyses have been performed.

D. MASS TRANSIT

1. DATA REQUIREMENTS

- a. Mass transit provider:** Identify the mass transit provider.

Palm Tran.

- b. Nearest mass transit facility:** Identify the location (street address) of the nearest bus shelter or stop, in tenths of a mile from the subject property, and the route number of the nearest bus that would service the property.

Nearest Palm Tran Park and Ride at 2716 Wellington Green Drive, Wellington, FL.

Nearest bus stop at Mall of Wellington Green. Route 40.

- c. Tri-County Commuter Rail Connection:** Identify whether the subject property has connections to the Tri-County Commuter Rail.

Route 40 connects to the Tri-Rail station in West Palm Beach, FL.

2. ANALYSIS REQUIREMENTS

- a. Consistency with the Transportation Element.** All proposed amendments must be reviewed for consistency with the adopted Wellington Comprehensive Plan.

All requests are consistent with the Village's Transportation Element.

E. HOUSING/POPULATION

1. DATA REQUIREMENTS

- a. **Population:** If a methodology other than that described below is used to determine population, please identify here the methodology and the data source(s) used to determine the affected population. Data is required to be taken from professionally accepted existing sources. Methodologies must be clearly described or referenced and must meet professionally accepted standards for such methodologies.

1) **Current FLUM Designation:** The population is calculated by multiplying the size of the property, in tenths of an acre, by the maximum permitted density under the current Future Land Use Map (FLUM) designation by 2.39, the average household size in unincorporated Palm Beach County. For example, if you have a fifty acre property in a Medium Residential 5 Future Land Use Map category, the population would be 598 persons ($50 * 5 * 2.39$). 1,536 persons ($12 * 53.57 * 2.39$)

2) **Proposed FLUM Designation:** The population is calculated by multiplying the size of the property, in tenths of an acre, by the maximum permitted density under the current FLUM designation by 2.39, the average household size in unincorporated Palm Beach County. For example, if you have a fifty acre property and you are requesting a High Residential 8 Future Land Use Map designation, the population would be 956 persons ($50 * 8 * 2.39$). 860 persons ($6.72 * 53.57 * 2.39$)

- b. **Number of dwelling units.** Identify the number of dwelling units that could be constructed on the subject property based upon its:

1)

Current FLUM designation: The number of dwelling units that could be constructed equals the maximum permitted density under the property's current FLUM designation multiplied by the size of the property.

230 Dwelling Units are approved for the current project.

2) **Proposed FLUM designation:** The number of dwelling units that could be constructed equals the maximum permitted density under the property's proposed FLUM designation multiplied by the size of the property.

360 Dwelling Units are proposed for the current project.

- c. **Census Tract data:** Identify the Census Tract where the subject property is located. See the Planning Division for this information.

Block Group 1; Block 1030; Tract 7760

2. ANALYSIS REQUIREMENTS

- a. **The effect of the proposed amendment on population:** This is the difference between the Proposed FLUM Designation and the Current FLUM Designation. Decrease of 676 persons; however, the existing FLUM designation of MXD is not proposed to change. The Applicant is only updating the current MXD FLUM to include a Type 1 designation, since this Comprehensive Plan provision was adopted after the previous project was approved.
- b. **Change in number of dwelling units:** Subtract the number of dwelling units at the Current FLUM designation from the number of dwelling units at the Proposed FLUM designation (see above two paragraphs).

Increase of 130 dwelling units.

- c. **Consistency with the Housing Element.** All proposed amendments must be reviewed for consistency with the adopted Wellington Comprehensive Plan. To support a *residential related* proposed amendment, the applicant may reference **specific** Objectives and/or Policies the proposed amendment is *consistent with* or *further*s. (It is recommended that the applicant review the Element for such items.) However, for **each** Objective/Policy referenced, the application must **explain in detail** how the *individual* Objective/Policy will be furthered by the proposed amendment. Since many Objectives and Policies are not applicable to FLUM amendments, it is not sufficient to state that “this proposed amendment is consistent with and furthers the Housing Element”.

GOAL 1.0 Provide decent, safe, well-maintained, and sanitary housing in suitable locations at affordable costs to meet the needs of Wellington’s existing and future residents.

The subject residential community will contain luxury multi-family units at an affordable cost to the residents of the Village. The location of the community in proximity to commercial and retail uses will allow residents of the community the ability to be within walking distance to numerous services and employment opportunities.

Objective 1.9 Wellington will address Greenhouse Gas (GHG) Reduction Strategies which requires that housing elements provide for GHG reduction and energy efficiency strategies that both address energy efficiency in the design and construction of new housing and address use of renewable energy resources in the design and construction of new housing.

Policy 1.9.3 Wellington shall continue to encourage mixed-use development and concentrations of higher residential densities along major transportation corridors and nodes by adoption of mixed use land development regulations.

The mixed use community, by nature of the multiple use within close proximity, promotes more efficient use of resources and infrastructure. The community is designed with energy efficient appliances, neighborhood lighting, solar roof vents, electric car charging stations, low VOC construction, efficient WaterSense irrigation systems, use of recycled building and construction materials, and reduced electric and water bills.

The proposed increase in density within the mixed use community will help further the intent of Policy 1.9.3. Concentrating more residential uses close to existing transportation routes and major roadway corridors will help to use the existing transportation resources more efficiently.

F. INFRASTRUCTURE: DRAINAGE

1. DATA REQUIREMENTS

- a. **Drainage provider:** Identify the entity responsible for providing drainage for the subject property. Drainage providers include drainage districts, improvement districts, water control districts, and water management districts.

Lake Worth Drainage District (LWDD)

- b. **Drainage basin:** Indicate in which drainage basin the subject property is located. The six main drainage basins are: 1) C-18 basin; 2) C-17 basin; 3) C-51 basin; 4) C-16 basin; 5) C-15 basin; and 6) Hillsboro Canal basin.

C-51 Basin, Sub-basin 20B

- c. **Nearest drainage facility:** Identify the drainage facility that would service the subject property. Facilities include swales, ditches, canals and storm sewers.

LWDD E-1 and L-6 Canals

- d. **Adopted level of service standard:** Identify the level of service standard established for the subject property.

See existing SFWMD Permit No. 50-07631-P and LWDD Permit 2005-7984P.1

2. ANALYSIS REQUIREMENTS

- a. **The effect of the proposed Future Land Use Map amendments on drainage levels of service and systems need:** Identify what measures will be taken to assure that the volume, rate, timing and pollutant load of runoff based on the proposed FLUM designation of the property is similar to that which occurred based on the property's current FLUM designation. Structural techniques emphasize detention and retention of stormwater to reduce runoff rates and provide settling and filtration of pollutants. Non-structural techniques emphasize preservation or simulation of natural drainage features to promote infiltration, filtering and slowing of runoff.

See Drainage Statement. Project is consistent with previous approvals from SFWMD, LWDD, and Village of Wellington.

- b. **Consistency with the Drainage Sub-Element.** All proposed amendments must be reviewed for consistency with the adopted Wellington Comprehensive Plan.

The proposed drainage elements are consistent with the Village's Comprehensive Plan and the existing SFWMD permit for the property.

G. INFRASTRUCTURE: POTABLE WATER

1. DATA REQUIREMENTS

- a. **Water provider:** Identify the entity that would provide potable water service to the subject property. Palm Beach County Water Utility Department.
- b. **Nearest potable water facility:** Identify how far, in feet, the subject property is located from a potable water line. This information is available from the water provider. Also, please indicate the street where the nearest line is located.
The potable water lines are adjacent to (and stubbed into) the subject property. See attached "Will Serve Letter."
- c. **Adopted level of service standard:** Identify the potable water level of service standard established by the potable water provider.
250 gpd / unit existing - 175 gpd / unit proposed

2. ANALYSIS REQUIREMENTS

- a. **The effect on potable water levels of service and system needs.**
 - 1) **Current FLUM Designation:** The demand for potable water based on the property's current Future Land Use Map designation is calculated by multiplying the adopted level of service standard by the population identified in section II.A.1.a. $240 \text{ units} * 250 \text{ gpd} = 60,000 \text{ gpd}$
 - 2) **Proposed FLUM Designation:** The demand for potable water based on the property's proposed Future Land Use Map designation is calculated by multiplying the adopted level of service standard by the population identified in section II.A.1.a. $360 \text{ units} * 250 \text{ gpd} = 63,000 \text{ gpd}$
 - 3) **Change in water usage:** This is the difference between the Proposed FLUM Designation and the Current FLUM Designation.
3,000 gpd increase
- b. **Consistency with the Potable Water Sub-Element.** Applicant must demonstrate consistency with the Potable Water Sub-Element.
The proposed increase in flow has been presented to PBCWUD and analyzed through field tests with PBCWUD and determined to have no negative impact on the system.

H. INFRASTRUCTURE: SANITARY SEWER

1. DATA REQUIREMENTS

- a. **Sewer provider:** Identify the entity that would provide sanitary sewer service to the subject property. Palm Beach County Utility Department.
- b. **Nearest sanitary sewer facility:** Identify how far, in feet, the subject property is located from a sanitary sewer line. This information is available from the sanitary sewer provider. Also, please indicate the street where the nearest line is located.
The gravity sewer mains are adjacent to (and stubbed into) the subject property. See attached "Will Serve Letter."
- c. **Adopted level of service standard:** Identify the sanitary sewer level of service standard established by the potable water provider. 250 gpd / unit existing - 175 gpd / unit proposed

2. ANALYSIS REQUIREMENTS

- a. **The effect on sanitary sewer levels of service and system needs.**
 - 1) **Current FLUM Designation:** The demand for sanitary sewer based on the property's current Future Land Use Map designation is calculated by multiplying the adopted level of service standard by the population identified in section II.A.1.a. $240 \text{ units} \times 250 \text{ gpd} = 60,000 \text{ gpd}$
 - 2) **Proposed FLUM Designation:** The demand for sanitary sewer based on the property's proposed Future Land Use Map designation is calculated by multiplying the adopted level of service standard by the population identified in section II.A.1.a. $360 \text{ units} \times 250 \text{ gpd} = 63,000 \text{ gpd}$
 - 3) **Change in water usage:** This is the difference between the Proposed FLUM Designation and the Current FLUM Designation.
3,000 gpd increase.
- b. **Consistency with the Sanitary Sewer Sub-Element.** Applicant must demonstrate consistency with the Sanitary Sewer Sub-Element

The proposed increase in flow has been presented to PBCWUD and analyzed through field tests with PBCWUD and determined to have no negative impact on the system.

I. INFRASTRUCTURE: AQUIFER RECHARGE

1. DATA REQUIREMENTS

- a. Identify whether the property is located within a prime aquifer recharge area:** If the property is located east of the conservation areas, state here that the property is located within both the surficial aquifer system and the Floridian aquifer system. Also, please identify in what zone of the surficial aquifer the property is located. This information is available from the United States Geologic Survey. **The property is located within a both a surficial and floridian aquifer system.**
- b. Identify, generally, the percentage of the property that will be covered with an impervious surface:** Please use the following rules of thumb in estimating the percentage of imperious surfaces: i) low residential (1 to 4.99 dwelling units per acre) = 30 percent; ii) medium and high density residential (5 dwelling units per acre and above) = 65 percent; and iii) commercial, industrial and institutional = 85 percent. **43.73%**

2. ANALYSIS REQUIREMENTS

- a. Consistency with the Aquifer Recharge Sub-Element.** Applicant must demonstrate consistency with the adopted Wellington Comprehensive Plan Aquifer Recharge Sub-Element of the Conservation Element.

The property's proposed land use intensity is consistent with the existing approval and provides lakes and wetland areas to promote aquifer recharge.

J. CONSERVATION

1. **DATA REQUIREMENTS:** For each of the questions below, the inventory should identify: the affected natural resource(s), the distance of the natural resource from the property, and the condition of the natural resource. The map should be no larger than 8.5" x 11," if possible, and be clearly labeled. You may use one map for each affected resource or a single map to identify all the natural resources, provided such can be clearly identified.

- a. **Inventory and map all surface waters (i.e., canals, lakes) and wetlands on the subject property and on adjacent properties:** The inventory should identify the type, quality, and location of the resource (whether on-site or off-site, and if off-site, the distance from the property).

The surface waters and wetlands were identified during the previous site plan approval process. The proposed site plan does not contain any changes to these natural areas.

- b. **Inventory, map, and provide a quality assessment for vegetation located on the property:** The inventory should identify the type of vegetation or vegetated community, quality, and location of the resource (whether on-site or off-site, and if off-site, the distance from the property).

The on-site vegetation was identified during the previous site plan approval process. The proposed site plan does not contain any changes to these natural areas.

- c. **Provide an inventory and map of listed species and habitats of significant value to listed species that utilize or are on the property:** Listed species include endangered, threatened, and species of special concern.

- (1) If listed species are present, please provide a brief discussion of measures that will be taken to avoid or minimize adverse impacts to these species or their habitat.

The on-site vegetation was identified during the previous site plan approval process. The proposed site plan does not contain any changes to these natural areas.

- (2) If there are no known or reported occurrences, could listed species reasonably be expected to be present based on the site-specific habitat characteristics? If yes, please provide a brief discussion. No.

- d. **Please indicate whether the subject property is located within or adjacent to a Wellfield Protection Zone.** Attach a map showing the location of the property in relation to the nearest Wellfield Protection Zones. **NOTE:** If the subject property is located within a Wellfield Protection Zone, requests for greater intensity of use will be viewed unfavorably.

See attached Wellfield Protection Zone map.

- e. **Identify and map locations of any petroleum storage tanks (underground and above ground) and identify any known or expected pollution sources on the subject property:** Pollution could include hazardous waste, petroleum or chemical contamination, and point/non-point sources of pollution.

No hazardous materials are located on the site.

2. ANALYSIS REQUIREMENTS

- a. **Consistency with the Conservation Element.** All proposed amendments must be reviewed for consistency with the adopted Wellington Comprehensive Plan. To support the proposed amendment, the applicant may reference **specific** Objectives and/or Policies the proposed amendment is *consistent with* or *further*s. (It is recommended that the applicant review the Element for such items.) However, for **each** Objective/Policy referenced, the application must **explain in detail** how the **individual** Objective/Policy will be furthered by the proposed amendment. Since many Objectives and Policies are not applicable to FLUM amendments, it is not sufficient to state that “this proposed amendment is consistent with and furthers the Conservation Element”. During the review, particular attention will be paid to wetlands protection and wellfield protection.

GOAL 1.0 Wellington shall protect and preserve the functions and values of its natural resources for the benefit and enjoyment of existing and future residents of and visitors to Wellington.

The upland preserve and wetland areas were identified during the previous site plan approval process. No changes are proposed to these natural areas.

Objective 1.3 Wellington has adopted through its land development regulations and permitting processes suitable measures to conserve, appropriately use and protect its soil and mineral resources and its native vegetative communities.

Policy 1.3.2 Wellington shall continue to implement land development code requirements addressing protection of native vegetative communities, to the greatest extent feasible, including requirements for removal of invasive, exotic vegetation where appropriate and allowing for mitigation credits where possible. These protection measures shall continue to be administered through the Development Review Committee and vegetation removal permit processes.

The Applicant will be preserving the native vegetative communities existing on the site. In addition, a native landscape palette will be used throughout the communities to complement the existing preserve areas.

K. RECREATION AND OPEN SPACE

APPLICANT PLEASE NOTE: Complete this section *ONLY* if the proposed amendment is for a residential density change.

1. **DATA REQUIREMENTS:** Information necessary to complete this part of the Future Land Use Map (FLUM) application may be obtained from Wellington Planning and Zoning Division.

- a. **Identify the following facilities that would service the property:**

1) Regional parks:	<u>Wellington Rotary Peace Park</u>
2) District parks:	<u>Wellington Green Park</u>
3) Community parks:	<u>On site</u>
4) Open space:	<u>On site</u>

- b. **Adopted recreation levels of service standard of \$885 of total recreational investment per capita.**

2. **ANALYSIS REQUIREMENTS**

- a. **The effect of the proposed FLUM amendment on regional, district and neighborhood parks.**

- b. **Consistency with the Recreation and Open Space Element.** Applicant must demonstrate consistency with the adopted Wellington Comprehensive Plan Recreation and Open Space Element. To support the proposed amendment, the applicant may reference **specific** Objectives and/or Policies the proposed amendment is *consistent with* or *further*s. (It is recommended that the applicant review the Element for such items.) However, for **each** Objective/Policy referenced, the application must **explain in detail** how the *individual* Objective/Policy will be furthered by the proposed amendment. Since many Objectives and Policies are not applicable to FLUM amendments, it is not sufficient to state that “this proposed amendment is consistent with and furthers the Recreation and Open Space Element”.

GOAL 1.0 The Village of Wellington shall provide adequate parks, recreation lands and facilities, and open space areas sufficient to serve the needs and desires of existing and future residents of Wellington.

The proposed community will contain a resort-style clubhouse, pool areas, indoor multipurpose courts, a dog park, etc. These recreational facilities will serve the residents of the community.

Policy 1.2.6 Park, recreation, and open space areas shall be linked and accessed by an adopted multi-purpose/equestrian trail system, where feasible.

The subject community will contain multiple pathways that meander through the preserve areas, around the lakes, and are connected to the sidewalks within the community.

L. FIRE-RESCUE

1. **DATA REQUIREMENTS:** Fire-Rescue data can be obtained from the County's Fire-Rescue Department at 233-0010.

- a. **Identify the fire-rescue facility that would service the subject property:** Please identify the station number, the street address of the facility, and the distance in tenths of a mile of the facility from the subject property.

Per the Village of Wellington Fire Rescue Department, the responding station to the subject site is PBC Station 29, which is located 1.9 miles from the property. The Fire Station currently serves this site and has adequate capacity to continue providing service.

- b. **Identify the response times from the fire-rescue station to the subject property:** The response time, in minutes, may be determined by multiplying the number of miles from the station to the property by two.

Less than eight (8) minutes.

2. ANALYSIS REQUIREMENTS

- a. **The effect of the proposed FLUM amendment on the average emergency response time:** If the response time is less than five minutes, there is a rebuttable presumption that there would be no negative effects on fire-rescue response time. If the response time is greater than five minutes, please identify what actions could be taken to mitigate the Fire-Rescue Department's response time. **NOTE:** Where the response times are greater than five minutes, the Fire-Rescue Department may have an unfavorable recommendation.

Fire Station No. 29 currently serves this site and has adequate capacity to continue providing service. The Fire Rescue Department has indicated that the current response time is adequate.

M. HISTORIC PRESERVATION

1. **DATA REQUIREMENTS:** Information to complete this section of the application form may be obtained from the County's Planning Division at 233-5335.
 - a. **Identify any historic or architecturally significant resources within 500 feet of the subject property:** Historic or architecturally significant resources include buildings, structures and other objects.
 - b. **Identify any archaeological resources located within 500 feet of the subject property:** Archaeological resources include aboriginal mounds, forts, earthworks, village locations, camp sites, middens, burial mounds, missions, or other artifacts at least seventy-five years old.

There are no historically significant resources on or surrounding the subject property.

N. PUBLIC EDUCATION

APPLICANT PLEASE NOTE: *Complete this section only if the request is for a change in residential density.*

1. **DATA REQUIREMENTS:** The data for completing this section of the application is available from the Palm Beach County School Board at 434-8000.
 - a. **Public Schools:** Please identify the name and street address of the public schools that would educate potential school age children, and indicate how far the school is from the subject property, for:
 - 1) **Elementary Schools** Everglades Elementary School - 407 Marginal Rd, WPB, FL
 - 2) **Middle Schools** Emerald Cove Middle School - 9950 Stribling Way, Wellington, FL
 - 3) **Senior High Schools** Palm Beach Central - 8499 Forest Hill Blvd, Wellington, FL

2. ANALYSIS REQUIREMENTS

- a. **Consistency with the Education Element.** All proposed amendments must be reviewed for consistency with the adopted Wellington Comprehensive Plan. To support the proposed amendment, the applicant may reference **specific** Objectives and/or Policies the proposed amendment is *consistent with* or *further*s. (It is recommended that the applicant review the Element for such items.) However, for **each** Objective/Policy referenced, the application must **explain in detail** how the **individual** Objective/Policy will be furthered by the proposed amendment. It is not sufficient to state that “this proposed amendment is consistent with and furthers the Education Element”.

GOAL 1.0 Education plays a critical role in defining the quality of life in the community. The Village of Wellington desires that its citizens have life long learning opportunities and that its students attend schools which: have adequate facilities including classrooms, teachers, educational materials, technology and extracurricular activities to meet the needs of the student population, are located within the community, are safe and are a well-planned component of the community's physical and social infrastructure.

The subject parcel recieved approval from the Palm Beach County School District with the prior site plan applications. The necessary school concurrency applications, based on the proposed increase in dwelling units, has been included with the subject application.

O. INTERGOVERNMENTAL COORDINATION

1. **DATA REQUIREMENT:** Information to complete this section of the application form may be obtained from municipalities and special districts within Palm Beach County.

- a. **Identify all local governments (including special districts) located within one-mile of the subject property:** Royal Palm Beach
- b. **Annexation:** Indicate whether or not a municipality has initiated annexation of the property. If annexation was attempted by a city, indicate when and the name of the city. In addition, identify whether the subject property is located within the future annexation area of any local government (future annexation area information is available from Wellington's Planning and Zoning Division). N/A

2. ANALYSIS REQUIREMENT

- b. **Consistency with the Intergovernmental Coordination Element.** Applicant must demonstrate the impact of the proposed amendment on the Intergovernmental Coordination Element.

The subject parcel is part of the municipality area of the Village of Wellington and is not proposed to be annexed into any adjacent municipality; therefore, the project is consistent with the Intergovernmental Coordination Element of the Comprehensive Plan.

P. EQUESTRIAN ELEMENT

- 1. DATA REQUIREMENT:** The data for completing this section of the application is available from Wellington Planning and Zoning Division

- a. Identify the Equestrian Overlay Zoning District sub-area of the subject property.** N/A

- 2. ANALYSIS REQUIREMENT**

- b. Consistency with the Equestrian Element.** Applicant must demonstrate the impact of the proposed amendment on the Equestrian Element.

The subject parcel is not located within the Equestrian Overlay Zoning District.



A. LDR JUSTIFICATION REQUIREMENTS

1. JUSTIFICATION STATEMENT

a. FUTURE LAND USE MAP AMENDMENT FACTORS

The proposed Future Land Use Map (FLUM) amendment is based on a change in assumptions. The original project was approved in 2006 for 245 townhome units. Most recently, in 2011, Ordinance 2011-06 and Resolution 2011-35 were adopted, amending the previous development orders to allow 230 townhome units. The proposed site plan contains 360 multi-family units.

2. DEMONSTRATED NEED

Residential Application: If the Applicant is proposing an increase in residential density, the Applicant should state here why other density enhancement programs, such as the **Voluntary Density Bonus Program** and the **Transfer of Development Rights Program**, are not feasible for use on the subject property. The applicant **MUST** demonstrate why the current FLUM designation is no longer appropriate for this site.

The current FLUM designation of Mixed-Use Development (MXD) remains appropriate for the subject site. The Applicant is only proposing a change to the number of total dwelling units. Through this amendment, the FLUM designation will be updated to include a MXD Type designation, which was not adopted into the Comprehensive Plan at the time the project was approved. This update will allow the site to be consistent with the Village's Comprehensive Plan.

The Applicant is not proposing very low / low-income housing; therefore, the Voluntary Density Bonus Program is not applicable. The project is part of an approved mixed-use development, which is located within the urban core area of the municipal area. The project is not located in an area that is conducive to utilizing the Transfer of Development Rights Program. While the Applicant is not utilizing these two programs, the project is eligible for the Targeted Expedited Permitting Program (TEPP) through its use of green building construction. The applicant would request that the subject petition be considered for the Village's TEPP program

The Applicant is committed to be a part of the Village's Go Green Initiative. All buildings will be constructed in accordance with the National Association of Home Builders (NAHB) standards for **Gold Rated Green Buildings**. NAHB requires all proposed buildings to address six core areas:

- Lot Design, Preparation, and Development
- Resource Efficiency
- Energy Efficiency
- Water Efficiency
- Indoor Environmental Quality
- Operation, Maintenance, and Building Owner Education

A minimum number of points must be obtained in each of the categories to achieve Gold level of certification. A Gold standard was achieved for a similar project the Applicant completed in Boynton Beach, FL. Seabourn Cove is a multi-family project with 456 units. The residents in this community enjoy lower operating costs through high-efficiency appliances and home features. Unlike the previous development plan, the Applicant is proposing a project with a myriad of energy efficient and sustainable measures, a few of which include:

- Solar powered roof vents
- Energy star appliances
- Low flow water fixtures
- Insulated plumbing pipes
- Energy efficient exterior building and walkway lighting
- WaterSense Irrigation system
- Kitchen USB outlets
- Native, Drought Tolerant landscaping
- Use of recycled building and construction materials
- Two electric car charging stations
- All garages are pre-wired for electric car chargers
- Low VOC construction

The Applicant is committed to using the right products, materials, and techniques to deliver homes designed to perform more efficiently, provide more durability and create an improved indoor environment. With years of experience, the Applicant will provide the Village of Wellington with a world-class community that will set a standard for quality development.

3. COMMERCIAL APPLICATION DATA REQUIREMENTS

a. Identify the square feet of non-residential development that could be accommodated on the subject property with the proposed amendment.

The Applicant is not proposing any changes to the approved nonresidential square footages as part of the subject request.

b. Identify, map, and justify the trade or market area for the subject property:

See Market Study submitted herein.

c. For the trade or market area identified above, please inventory and map the built commercial, commercial office, or industrial uses, as appropriate:

See Market Study submitted herein.

B. LAND USE DATA

1. DATA REQUIREMENTS FOR THE SUBJECT PROPERTY

a. EXISTING LAND USE COVER

See attached Location map.

b. FUTURE LAND USE MAP

See attached Future Land Use map.

c. ZONING DISTRICT

See attached Zoning map.

1) Previous Zoning Approvals.

January 2004 – Site was annexed into the Village of Wellington

October 2004 – Ordinance 2001-17 was adopted approving a Future Land Use designation for the site to be Mixed Use.

June 2006 – Ordinance 2006-12 adopted MUPD zoning

June 2006 – Resolution 2006-40 approved the Preliminary Development Plan (Master Plan) to allow 245 DU and 210,000 SF nonresidential

Resolution 2007-86 amended Resolution 2006-40 to allow 245 DU and 210,000 SF nonresidential

May 2011 – Ordinance 2011-06 amended zoning conditions from Ord. 2006-12

May 2011 – Resolution 2011-35 approved an amendment to the Master Plan to allow 230 DU and 210,000 SF nonresidential.

2) Current Zoning District

The current zoning district is MUPD, which was most recently approved by Resolution 2011-35.

3) Proposed Zoning District

The Applicant is not proposing any changes to the current zoning designation of MUPD. Only site plan related changes to the residential portion of the existing mixed-use project are proposed.

d. OTHER APPROVALS

1) Concurrency Exemption or Reservation

The subject project has an approved concurrency reservation for 230 dwelling units and 210,000 of nonresidential square footage.

2) Plat, master plan, or subdivision

The subject project was platted on September 4, 2007 as recorded in ORB 110 pages 132 through 138 and replatted on March 27, 2012 as recorded in ORB 115 pages 69 through 73. The Master Plan was approved by Resolution 2006-40. A copy of the plat and Master Plan have been included in the submittal.

3) Developers' Agreement or Utility reservation

The subject property is not subject to a developers' agreement. The site has water and sewer utility reservations from Palm Beach County (see attached reservation letter).

e. FLOOD ZONE

See attached Flood Zone map.

f. WELLFIELD PROTECTION ZONE

See attached Wellfield Protection Zone map.

g. NEIGHBORHOOD PLAN, SPECIAL OVERLAY, OR REDEVELOPMENT AREA

The subject site is not located within a neighborhood plan, special overlay, or redevelopment area.



Cotleur &
Hearing

Landscape Architects | Land Planners | Environmental Consultants

1934 Commerce Lane • Suite 1 • Jupiter, Florida • 33458 • Ph 561.747.6336 • Fax 561.747.1377 • www.cotleurhearing.com • Lic # LC-C000239

***Isles Verde Residential
Application Submittal
Justification Statement***

Introduction

On behalf of Wellington Isles, LLC, the Applicant, we are requesting approval of amendments to the Comprehensive Plan Map, Master Plan, Development Order, and Site Plan to allow the development of a 360-unit luxury multi-family community within Isle Verde Residential.

Project Contact:

Agent/Planner - Cotleur & Hearing, Inc.

Donaldson Hearing / Kathryn DeWitt

1934 Commerce Lane, Suite 1

Jupiter, FL 33458

Phone: (561) 747-6336 x 110

Fax: (561) 747-1377

E-mail: kdewitt@cotleur-hearing.com

Background

The site is located at the northeast corner of Dillman Road and State Road 7. Isle Verde Residential is a 53.57-acre mixed-use project with nonresidential uses on the west half of the site and residential uses approved for the east half. The nonresidential uses have been constructed; however, the residential portion of the site is currently vacant. The residential portion of the project is 30.65 acres.

The project was annexed into the Village of Wellington in January 2004. Upon annexation, the parcel was given a Future Land Use designation of Mixed Use Development (MXD). In 2006, the Village adopted Ordinance 2006-12 approving a Mixed Use Planned Development (MUPD) zoning designation for the site. A companion Resolution was adopted, (Resolution 2006-40) approving the Master Plan, which included 245 townhome units and 210,000 square feet of nonresidential uses.

Most recently, in 2011, Ordinance 2011-06 and Resolution 2011-35 were adopted, amending the previous development orders to allow 230 townhome units.

Project Description

The subject request is to amend the previous development orders to allow a 360-unit luxury multi-family community. The approved site plan currently allows a total of 230 dwelling units. The buildings within the community will be two and three stories, and include one, two, three, and four bedroom units. The community will contain a resort-style clubhouse, pool, fitness

center, and recreational courts for the enjoyment of all residents. Numerous park and open space areas serve to provide residents a flourishing environment that engages the existing natural habitats on the property.

The community will be managed by a single management company, who will oversee the daily operations, resident application screening, and security measures. Each resident is required to submit for a background check and credit screening prior to approval. This process ensures the integrity and safety of the community remains intact. From a security standpoint, the community will be completely gated with a secured access point. Each dwelling unit is accessed with a key fob, which also provides access to the community pool, fitness center, and gated recreation areas. Lastly, the site will be equip with security cameras and secure barriers on all sides. The Applicant strives to produce a safe and flourishing environment for the residents.

Comprehensive Plan Map Amendment

The Applicant is required to submit a Comprehensive Plan Amendment (CPA), per Policy 1.3.25 (16)(f) based on *“an increase in the maximum development threshold.”* The Applicant is proposing a 360-unit luxury multi-family community. The approved site plan currently allows a total of 230 dwelling units. The increase in dwelling units warrants the CPA process.

Since the subject project was originally approved, the Comprehensive Plan has been amended to include five different “types” of Mixed Use Developments. The Applicant would like to take this opportunity to amend the existing MXD designation of the property to reflect a land use designation of MXD Type I. The Type 1 designation means *“a project that may utilize the complete range of uses permitted by the Mixed Use future land use map designation, including the use of 100 percent of project area for determining maximum residential density.”* The MXD Type I designation allows 12 units / acre for properties between 30-60 acres. The subject property, at 53.57 acres, would allow a maximum of 642 dwelling units. The Applicant is proposing 360 dwelling units, well below the maximum allowable threshold.

Policy 1.3.25(8)(b) of the Comprehensive Plan states *“either Commercial or Office land use are required as an element of the mixed use development, but not both.”* The current MXD project maintains four land use categories, one of which is Commercial. Therefore, the absence of an Office land use within the project is in compliance with the respective Comprehensive Plan policy.

The subject site has a zoning designation of MUPD, which has no minimum requirements for an Office land use designation. At staff’s request, the Applicant is proposing to change the existing zoning designation to MXPD in order to maintain better consistency between the land use and zoning designations. Because the Applicant is maintaining the previously approved land use categories of commercial, residential, open space, and conservation, there should be no requirement to add an Office land use to the property.

Development Order Amendment

In order to make the proposed changes to the site plan, the Applicant is requesting a Development Order Amendment. There is one condition of approval that specifically references the number of dwelling units, which will need to be updated to reflect the proposed number of units. The proposed Development Order modifications will not change the overall design of the community. The specific strike-through/underline language has been include in the Conditions of Approval status document.

The current zoning designation of the site is MUPD. The zoning district that is most compatible with the MXD Future Land Use category is Mixed Use Planned Development (MXPDP). As part of the DOA application, the Applicant is proposed to change the zoning designation of the site from MUPD to MXPDP to create better consistency between the Future Land Use and Zoning designations.

Green Building / TEPP

The Applicant is committed to be a part of the Village's Go Green Initiative. All buildings will be constructed in accordance with the National Association of Home Builders (NAHB) standards for **Gold Rated Green Buildings**. NAHB requires all proposed buildings to address six core areas:

- Lot Design, Preparation, and Development
- Resource Efficiency
- Energy Efficiency
- Water Efficiency
- Indoor Environmental Quality
- Operation, Maintenance, and Building Owner Education

A minimum number of points must be obtained in all categories to achieve each level of certification. A Gold standard was achieved for a similar project, Seabourn Cove, the Applicant completed in Boynton Beach, FL. Seabourn Cove is a multifamily project with 456 units. The residents in this community enjoy lower operating costs through high-efficiency appliances and home features. Unlike the previous development plan, the Applicant is proposing a project with a myriad of energy efficient and sustainable measures, a few of which include:

- Solar powered roof vents
- Energy star appliances
- Low flow water fixtures
- Insulated plumbing pipes
- Energy efficient exterior building and walkway lighting
- WaterSense Irrigation system
- Kitchen USB outlets
- Native, Drought Tolerant landscaping
- Use of recycled building and construction materials
- Two electric car stations

- 16 SEER HVAC System
- Sealed HVAC System
- Low E366 Average Filled Vinyl Import Windows
- Enhanced insulation in attics and walls
- Building Envelope testing
- All garages are pre-wired for electric car chargers
- Low VOC construction
- Reduced electric bills
- Reduced water bills

The Applicant is committed to using the right products, materials, and techniques to deliver homes designed to perform more efficiently, provide more durability and create an improved indoor environment. With years of experience, the Applicant will provide the Village of Wellington with a world-class community that will set a standard for quality development.

Section 5.1.17, *Targeted Expedited Permitting Program*, states “*The TEPP program is also available to any building obtaining a Leadership in Environmental Engineering and Design (LEED) Silver or higher rating.*” In accordance with this provision, the Applicant requests the subject petition be considered for the program based on its dedication to meet the NAHB Gold Standard for development.

Vehicular & Pedestrian Circulation

Access into Isle Verde Residential will be provided from SR 7. A two-lane roadway will circulate throughout the entire community. The roadway will be lined with pedestrian sidewalks that meander around lakes and open space areas. A pedestrian boardwalk with gazebo and a viewing platform will be constructed in the preserve area to allow residents to experience the pristine natural features within their community.

Architecture

The community will include two- and three-story multi-family buildings with a maximum building height of 35 feet. The community will include one, two, three, and four bedroom units. The two, three, and four-bedroom units have direct access parking and the one-bedroom units will have covered parking. All units will have screened in balconies as well. The Applicant is proposing to have all two-story facades facing Whippoorwill Way.

Neighborhood Amenities

The Applicant is proposing multiple large open space parks, lakes, and jogging trails within the community. The parks will be integrated into the neighborhood framework to ensure all homes within the community are within walking distance to open space areas. Within the preserve area, a gazebo will be located where the three boardwalk paths intersect.

An 8,000-square-foot clubhouse will be centrally located within the community. The facility will include a resort style pool, a separate kiddie pool, a commercial grade fitness center with saunas, an indoor multi-purpose sports court, and multiple outdoor gazebo areas with accessible grills, a bar, and refrigerator. Isle Verde Residential will also include a dog park southwest of the main clubhouse area.

Conclusion

The Applicant is requesting approval of a 360-unit residential community in Isle Verde Residential. The proposed amendment is consistent with the City's Comprehensive Plan and zoning regulations. The Applicant looks forward to working with Staff to respond to any questions or issues that might arise as a result of your review.

RECEIVED

By Planning and Zoning at 12:18 pm, Oct 17, 2013

Isla Verde

Project Approval History

Petition No.	Request	Action	Date	Development Order
2002-024 MPA 1	ANNEXATION	APPROVAL	01/2004	O. 2003-01
2002-024 MPA 1	MXD FLU	APPROVAL	10/2004	O. 2001-17
2002-024 MPA 1	MUPD ZONING	APPROVAL	06/2006	O. 2006-12
2002-024 MPA 1	MP APPROVAL	APPROVAL	06/2006	R. 2006-40
2002-024 MPA 1	MP AMENDMENT	APPROVAL	10/2007	R. 2007-86
2002-024 MPA 1	Amend Zoning Conditions	APPROVAL	05/2011	O. 2011-06
2002-024 MPA 1	MP AMENDMENT	APPROVAL	05/2011	R. 2011-35

Subject to: Taxes for the year 2000 and subsequent years; zoning, restrictions, prohibitions, limitations and conditions imposed or required by any governmental body, authority or agency; and, all matters appearing on the plat and/or common to the subdivision, including utility easements, without serving to reimpose same.

Return to: (enclose self-addressed stamped envelope)

Name

Address

B 11611 Pg 355
DOROTHY H. WILKEN, CLERK PB COUNTY, FL

all OK
on

respecting the Warranty Deed
made this 8th day of February,
2000, between Mount Nebo of
the Palm Beaches Memorial
Gardens, Inc. and Pebbles
Enterprises
University
Bank
Building
Ltd.

In Witness Whereof, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered
in our presence:

MOUNT NEBO OF THE PALM BEACHES
MEMORIAL GARDENS, INC., a Florida corporation

By: *B. Douglas Bodie* (L. S.)
B. Douglas Bodie, Vice President

E. Nierhof
Witness Signature

ELLIE NIERHOF

Printed Name

Post Office Address:

4126 Norland Avenue
Burnaby, British Columbia, Canada V5G3S8

Carol R. Berry
Witness Signature

CAROL R. BERRY
Printed Name

PROVINCE
STATE OF British Columbia
City
COUNTY OF Burnaby) SS:
)

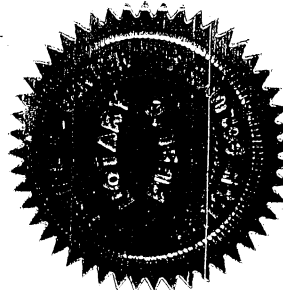
City I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the Province State aforesaid and in the County aforesaid to take acknowledgments, the foregoing instrument was acknowledged before me by B. DOUGLAS BODIE, the Vice President of MOUNT NEBO OF THE PALM BEACHES MEMORIAL GARDENS, INC., a Florida corporation, freely and voluntarily under authority duly vested in him by said corporation and that the seal affixed thereto is the true corporate seal of said corporation. He is personally known to me, or who has produced as identification.

WITNESS my hand and official seal in the Province City County and State last aforesaid this 8th day of February, 2000.

Catherine E. Carter
Notary Public

CATHERINE E. CARTER
BARRISTER & SOLICITOR
4126 NORLAND AVENUE
BURNABY, BC V5G 3S8
Typed, printed or stamped name of Notary Public

My Commission Expires: NO FIXED DATE



CFN 20060199617
OR BK 20155 PG 1855
RECORDED 04/05/2006 13:06:08
Palm Beach County, Florida
AMT 10.00
Doc Stamp 0.70
Sharon R. Bock, CLERK & COMPTROLLER
Pgs 1855 - 1857; (3pgs)

This instrument was prepared by:
DAVID WEISMAN, ESQ.
Greenspoon Marder P.A.
Trade Centre South, Suite 700
100 West Cypress Creek Road
Fort Lauderdale, Florida 33309

RECEIVED

By Planning and Zoning at 12:19 pm, Oct 17, 2013

QUIT CLAIM DEED

THIS INDENTURE, made as of the 20th day of November, 2005, between **PEBB ENTERPRISES UNIVERSITY BANK BUILDING, LTD., a Florida limited partnership**, whose post office address is 6400 North Andrews Avenue, Suite 500, Ft. Lauderdale, Florida 33334, (the GRANTOR*), and **ISLA VERDE, LLC, a Florida limited liability company**, whose post office address is 6400 North Andrews Avenue, Suite 500, Ft. Lauderdale, Florida 33334, (the GRANTEE*). *"GRANTOR" and "GRANTEE" are used for singular or plural, as context requires.

WITNESSETH, that the GRANTOR, in consideration of the sum of Ten (\$10.00) Dollars, and other good and valuable considerations paid to GRANTOR, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the GRANTEE, and GRANTEE'S heirs and assigns forever, the following described land, situate, lying and being in Palm Beach County, Florida:

SEE EXHIBIT "A" ATTACHED HERETO, WHICH CONSISTS OF ONE PAGE

Folio number:

N.B. This Deed represents the conveyance of unencumbered real estate from the Grantor to its wholly owned single member limited liability company, the Grantee.

N.B. This Deed was prepared at the request of the Grantor without an examination of title.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right,

title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

IN WITNESS WHEREOF, GRANTOR has hereunto set Grantor's hand and seal.

WITNESSES AS TO ALL GRANTORS:

Doreen Hammes
DOREEN HAMMES
PRINTED NAME OF WITNESS

Kathy L. Dean
KATHY L. DEAN
PRINTED NAME OF WITNESS

PEBB ENTERPRISES UNIVERSITY
BANK BUILDING, LTD., a Florida
limited partnership

By: PEBB MANAGEMENT
COMPANY, INC.
Its General Partner

By: Bruce Weiner
BRUCE WEINER
As: Vice President

STATE OF FLORIDA
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me this 16 day of March, 2006,
by **BRUCE WEINER as Vice President of PEBB MANAGEMENT COMPANY, INC.,**
General Partner of PEBB ENTERPRISES UNIVERSITY BANK BUILDING, LTD., a
Florida limited partnership, who produced a **Driver's License** as identification or is
personally known to me and who did not take an oath.

Ronnie King
Notary Public, State of Florida
RONNIE KING
PRINTED NAME OF NOTARY PUBLIC

My Commission Expires: _____

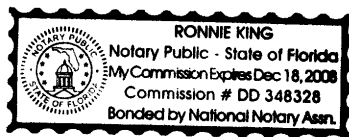


EXHIBIT "A"
LEGAL DESCRIPTION

DESCRIPTION: RESIDENTIAL

A PORTION OF TRACTS 33, 44, 46, 47 AND 48, BLOCK 10, THE PALM BEACH FARMS CO. PLAT NO.3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 45 THROUGH 54, PALM BEACH COUNTY, FLORIDA, PUBLIC RECORDS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT 46; THENCE N.01°35'48"E. ALONG THE WEST LINE OF SAID TRACT 46, A DISTANCE OF 324.25 FEET; THENCE S.88°24'12"E., A DISTANCE OF 667.22 FEET TO A POINT OF CURVE TO THE RIGHT HAVING A RADIUS OF 21.00 FEET AND A CENTRAL ANGLE OF 38°51'47"; THENCE EASTERLY ALONG THE ARC A DISTANCE OF 14.24 FEET; THENCE N.52°34'34"E., A DISTANCE OF 17.43 FEET; THENCE N.01°36'16"E., A DISTANCE OF 1,381.08 FEET; THENCE S.88°52'10"W., A DISTANCE OF 94.69 FEET; THENCE N.00°58'38"W., A DISTANCE OF 329.95 FEET; THENCE S.60°22'08"E., A DISTANCE OF 267.48 FEET; THENCE N.87°13'23"E., A DISTANCE OF 108.50 FEET; THENCE N.66°26'06"E., A DISTANCE OF 344.71 FEET TO A POINT OF INTERSECTION WITH THE EAST LINE OF SAID TRACT 34; THENCE S.00°48'57"E. ALONG THE EAST LINE OF SAID TRACTS 34 43 AND 48, A DISTANCE OF 2,008.75 FEET TO THE SOUTHEAST CORNER OF SAID TRACT 48; THENCE S.89°03'05"W. ALONG THE SOUTH LINE OF TRACTS 46, 47 AND 48, A DISTANCE OF 1,326.86 FEET TO THE POINT OF BEGINNING.

LANDS SITUATE IN PALM BEACH COUNTY, FLORIDA
CONTAINING 1,381,461 SQUARE FEET/31.714 ACRES MORE OR LESS.
SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY OF RECORD.

LEGAL DESCRIPTION:

ALL OF ISLA VERDE OF WELLINGTON RESIDENTIAL REPLAT, according to the Plat thereof recorded in Plat Book 115, Page 69 of the Public Records of Palm Beach County, Florida.



**Department of Engineering
and Public Works**

P.O. Box 21229
West Palm Beach, FL 33416-1229
(561) 684-4000
FAX: (561) 684-4050
www.pbcgov.com

**Palm Beach County
Board of County
Commissioners**

Priscilla A. Taylor, Mayor
Paulette Burdick, Vice Mayor

Hal R. Valeche
Shelley Vana
Steven L. Abrams
Mary Lou Berger
Jess R. Santamaria

County Administrator

Robert Weisman

June 3, 2014

Mr. Timothy Stillings
Director of Planning and Development
Village of Wellington
12300 Forrest Hill Boulevard
Wellington, FL 33414

RECEIVED

JUN - 5 2014

VILLAGE OF WELLINGTON
27 & CODE DEPARTMENT

**RE: Isla Verde MXD – Revised Letter
PBC Project#: 140108
Traffic Performance Standards Review**

Dear Tim:

The Palm Beach County Traffic Division has reviewed the traffic study for the proposed mixed use project entitled; **Isla Verde MXD**, pursuant to the Traffic Performance Standards in Article 12 of the Palm Beach County Unified Land.

Location:	East side of SR-7, south of Pioneer Road.
Municipality:	Wellington/Royal Palm Beach
PCN #:	72-42-44-06-07-001-0000 – and 8 more on File.
Existing Uses:	264,682 SF General Retail (55,962 SF in place since 2012), 24,500 SF General Office, and 5,500 SF Medical Office.
Approved Uses:	275,400 SF General Retail, 13,532 SF Furniture Store, 24,500 SF General Office, 5,500 SF Medical Office and 245 MF Residential Units – PBC Approval #130804. BO 2015.
Proposed Uses:	278,820 SF General Retail, 24,500 SF General Office, 5,500 SF Medical Office and 360 MF Residential Units (Apartments).
New Daily Trips:	11,865 – Vested not included.
New PH Trips:	397 AM and 1122 PM – Vested not included.
Build-Out Date:	End of Year 2018

Based on our review, the Traffic Division has determined the revised development plan and build-out for the previously approved mixed use project meets the Traffic Performance Standards of Palm Beach County, under the following condition:

- The developer shall pay a total of \$430,491 to Palm Beach County for the proportionate share (3.91% of added capacity) of optimal future improvements at the interchange of SR-7 with SR-80 (Southern Boulevard).



RECEIVED

JUN - 9 2014

VILLAGE OF WELLINGTON
PZ & CODE DEPARTMENT

Mr. Timothy Stillings
Isla Verde MXD
June 3, 2014
Page 2

Also, note all previous conditions for this development (PBC Project # 30105) which may not be completed already, remain applicable.

No building permits are to be issued by the Village after the build-out date listed above. The County traffic concurrency approval is subject to the Project Aggregation Rules set forth in the Traffic Performance Standards Ordinance.

If you have any questions regarding this determination, please contact me at 684-4030 or e-mail to matefi@pbcgov.org.

Sincerely,

A handwritten signature in black ink, appearing to read "Masoud Atefi".

Masoud Atefi, MSCE
TPS Administrator, Municipalities, Traffic Engineering Division

MA:sf

cc: Chris W. Heggen PE., - Kimley-Horn & Associates, Inc.
Steve Bohovsky, Technical Assistant III, Traffic Division
Rebecca J. Mulcahy PE., - PTC

File: General - TPS - Mun - Traffic Study Review
F:\Traffic\MA\Admin\Approvals\2014\140108R.doc

RECEIVED

By Planning and Zoning at 5:37 pm, Dec 16, 2013

**MARKET FEASIBILITY STUDY
Isla Verde Apartments
Village Of Wellington
Palm Beach County, Florida**

Prepared For:

H.G Management, LLC

Prepared By:

**Reinhold P. Wolff Economic Research, Inc.
L. Keith White, President
September, 2013**

I. INTRODUCTION

A. Purpose Of Study

The purpose of this study is to examine the market prospects for a proposed 360 unit upscale townhouse rental apartment development in the Village of Wellington, Palm Beach County, Florida.

The study examines current and anticipated near-term future market conditions for apartments, expected population and household growth and character, demand for apartments, the competitive environment in which an apartment development at the subject site would need to operate and it reviews the proposed development parameters as well as forecasts the rent potential and absorption prospects for the subject proposed development.

B. General Background

The developer plans to develop a 360 unit townhouse rental apartment community on a site located at the northeast corner of U.S. 441/S.R. 7 and Dillman Road in the Village of Wellington, Palm Beach County, Florida.

The proposed development is to consist of a mix one-bedroom flats and two-, three and four-bedroom townhouse units in 34 three-story buildings. The development will have a separate clubhouse building providing extensive amenities and four on-site lakes as well as other outdoor amenities.

A total of 96 or 26.7% of the units planned are to be one-bedroom/one-bath apartments offering 792 square feet of livable area. A total of 158 or 43.9% of the apartments are to be offered in two models of two-bedroom/two and one-half bath units offering from 1,268 to 1,326 square feet of livable area. Three-bedroom/two-and one-half bath units are to account for 80 or 22.2% of the units planned and they are to provide 1,540 square feet of livable area. The balance of 26 units or 7.2% of the total are to the four-bedroom/three and one-half bath units offering 2,102 square feet of livable area.

The recreational amenities and interior unit features proposed for the subject Isla Verde development are extensive and they are detailed in Table 7 in the Appendix of this report.

The proposed development is unique in the market due to its townhouse character and the offering of amenities and features far exceeding those of comparable developments in the area. Over 70% of the units to be offered are townhouses.

C. Location Character Of Subject Apartments

As indicated previously, the subject site is located at the northeast corner of State Road 7 and Dillman Road in the Village Of Wellington. The location is on the east side of State Road 7/U.S. 441 approximately .75 mile north of Forest Hill Boulevard and about 1.25 miles south of Southern Boulevard. State Road 7 is a major north-south route extending from Okeechobee Boulevard in Palm Beach County south into Miami-Dade County. Both Forest Hill and Southern Boulevards are major east-west routes in central Palm Beach County. The Florida Turnpike is accessible via Southern Boulevard about 3.7 miles drive to the northeast or via Lake Worth Road within about 5.0 miles southeast of the subject site. The Florida Turnpike is a major north-south toll road extending throughout the State of Florida.

Interstate 95 is accessible within 8.75 miles drive to the east via Forest Hill Boulevard. Interstate 95 is another major north-south route in Florida extending along the eastern sector of the State to the north and beyond.

The location of the subject site is considered to be excellent with regard to access to community facilities and shopping. A Publix Supermarket is located about 1.3 miles to the north of the subject site at the northwest corner of Southern Boulevard and State Road 7. The Village Shoppes on 441 is located about 0.5 mile north of the subject site on the west side of State Road 7 and it offers a K-Mart, Beall's, Staples and other stores. Almost directly across State Road 7, just a little north, from the subject site is the Shoppes of Isla Verde offering a Best Buy, CVS Pharmacy, Petco, JoAnn Fabrics, Old Navy, Off Broadway Shoes as well as other stores, a bank and restaurants.

The 1,273,000 square foot Mall at Wellington Green is located about 1.25 mile south of the subject at the southwest corner of Forest Hill Boulevard and State Road 7. This upscale mall is anchored by Macy's, Dillard's, JC Penny and Nordstrom and offers an additional 170 shops and restaurants.

Wellington Regional Medical Center is located less than 0.5 mile south of the subject at 10101 Forest Hill Boulevard. This is a 233 bed acute care hospital which employs approximately 925 people. Numerous professional and medical office buildings are also located in the vicinity of the hospital.

The South Florida Fairgrounds is located about 2.9 miles northeast of the subject site. This 100 acre facility offers a 128,000 square foot Expo Center, a Yesteryear Village and is host to the South Florida Fair each January. The Cruzan Amphitheatre, a 19,000 seat open air music venue is also located at the fairgrounds.

Okeeheelee Park is located about 4.0 miles drive east of the subject on Forest Hill Boulevard. This 1,702 acre park offers numerous activities including a golf course, tennis, volleyball, water skiing, 5 baseball fields, 8 miles of biking/walking paths, boating, a dog park, an equestrian center as well as a BMX track, among other activities too numerous to mention.

Palm Beach International Airport is located about 10.5 miles drive northeast of the subject site. It offers 28 aircraft gates with a potential for an additional 24 as well as a 560,000 square foot terminal with concession mall.

Downtown West Palm Beach is located within 15.0 miles drive northeast of the subject site. This is the location of City Place, a large live/work/play development including upscale shops, condominiums, rental apartments, art and theater attractions and hotels.

The Village of Wellington is an upscale, family oriented community with numerous facilities and programs available to its residents. The Village was on Money Magazine's "Top 100" Best Places to Live in 2010. There are approximately 2,600 businesses in the Village of Wellington, the top ten of which employ about 3,000 people. The top four employers are the Palm Beach County School Board, Wellington Hospital, Publix and the City of Wellington.

Area attractions and facilities include the Palm Beach International Equestrian Center which provides 140 acres of stadium and show grounds, The International Polo Club Palm Beach offering polo grounds, tennis courts, swimming, restaurants, a spa and fitness center and croquet. There are 22.3 miles of private bridle paths and 59.7 miles of public bridle paths located within the Village of Wellington.

The Village itself offers a Town Center on Forest Hill Boulevards which includes a municipal complex, 3,200 square foot Amphitheater, a playground designed for able bodied and disabled children to play together and a newly renovated aquatic center. The Patriot Memorial is also planned for the Town Center to honor those who died in the September, 11th attack on the World Trade Center, the Pentagon and the field in Pennsylvania.

The Village Park offers two recreational centers, a 75,000 square foot gymnasium, 19 multi-purpose athletic fields, concession stands, lighted roller hockey rinks, picnic facilities, trails and playgrounds.

There are a number of other parks within the Village including a dog park and a skate park. Numerous programs are offered for children, adults and seniors including softball, volleyball, wrestling, gymnastics, lacrosse, basketball, baseball, arts and crafts, and dance to name just a few.

Palm Beach Atlantic University is also located in the Village within about .5 mile south of the subject site. PBAU is an interdenominational Christian University offering undergraduate, graduate and professional degrees. The 2013/2014 enrollment is approximately 3,000 students. A total of 157 full-time and 173 part-time faculty are employed at the university.

Children living at the subject site will attend Everglade Elementary School located at 1915 Royal Fern Drive, 1.5 miles drive southwest of the subject site. Middle school children will attend Emerald Cove Middle School located at 9950 Stirling Way within about 2.0 miles south of the subject site. The High school children will attend is Palm Beach Central High School located at 8499 W. Forest Hill Boulevard less than 3.0 miles southeast of the subject. Everglades Elementary is currently an “A” school, Emerald Cove Middle is an “A” school and Palm Beach Central High is also an “A” rated school.

II. THE WELLINGTON AREA RENTAL MARKET

A. Vacancy Rate And Inventory Trends

Table 1 shows the trend of rental apartment vacancy rates for the general Wellington area during the 2000 - 2013 period. The data shows that the vacancy rate in the market area has most often stood at low to moderate levels. In fact, the vacancy rate as of February over the past 10 years averaged 4.4% and in August the average was 5.5 %.

The vacancy rate in the general Wellington area stood at 6.3% in August, 2013. The August, 2013 rate is somewhat higher than the 5.3% rate of February, 2013 and considerably higher than the 3.5% rate of August, 2012. (See Table 1, Appendix.)

The following shows the trend in the overall vacancy rate in apartment developments in the general Wellington area over the past six quarters:

Survey Date	Vacancy Rate
May, 2012	4.3%
August, 2012	3.5%
November, 2012	4.0%
February, 2013	5.3%
May, 2013	5.0%
August, 2013	6.3%

At the end of June, 2013 there were 162 completed but unoccupied new rental units available in the general Wellington area. This area includes Areas 9 and 9A, Map No. 2. The inventory of

vacant new, never before occupied apartments has historically been low in this area. In fact, there has been no year end inventory in 8 of the past 10 years.

During 2012 a total of 704 units were started under construction in the general Wellington area while 183 units were completed and 114 units were absorbed. Through June, 2013 a total of 192 units were completed and 118 were absorbed (newly occupied) leaving 162 still to be absorbed. No new units were started in the first half of 2013. (See Table 2, Appendix.)

B. Absorption Of New Rental Apartments

As in Palm Beach County as a whole, new apartment absorption in the general Wellington area has kept pace with new unit completions. During the seven year period of 1995 – 2001 an average of 325 new apartment units were absorbed per year in the general Wellington area and during 2002 – 2008 absorption declined to an average of only 77 units per year. During 2009 – 2011 no new units were completed or absorbed but during 2012 a total of 114 new units were absorbed and 118 were absorbed through June, 2013. (See Table 2, Appendix.)

C. Apartment Rent Trends

As of August, 2013 the overall average monthly rent for apartments in the general Wellington area was \$1,268 representing an increase of 3.0% from one year ago. Table 3 shows that over the 2000 - 2007 period the overall average monthly rent for apartments increased by an average of 7.1 % per year while over the 2007 – 2009 period the overall average rent declined by an average of 2.6% per year. As in Palm Beach County as a whole, the exceptionally strong 12.2% rent increase from 2005 to 2006 contributed to the upward trend in vacancy rates starting in the second half of 2006 and the decline in rents from 2007 to 2009. The overall average rent soared upwards by 11.1% from 2009 to 2010 and this was a major factor in the 2.8% decline in the average rent from 2011 to 2012. (See Table 3, Appendix.)

The following shows the trend in the overall average monthly rent in the general Wellington area over the past six quarters:

Survey Date	Overall Average Rent
May, 2012	\$1,191
August, 2012	\$1,231
November, 2012	\$1,225
February, 2013	\$1,335
May, 2013	\$1,294
August, 2013	\$1,268

D. Forecast Of Apartment Market Trends

The overall vacancy rate in Palm Beach County apartments stood at 4.8% in August, 2013 while the vacancy rate in the Wellington Area was 6.3%. The 4.8% vacancy rate in the County in August, 2013 was slightly lower than the 5.0% rate of February, 2013 but slightly higher than the 4.7% rate of August, 2012. In the Wellington Area the 6.3% rate of August, 2013 was somewhat higher than the 5.3% level of February, 2013 and was notably higher than the 3.5% level of August, 2012.

There is an estimated annual demand for 3,091 additional market rate apartment units in Palm Beach County and 951 units in the Wellington Market Area from 2013 to 2016. There are 11 market rate apartment developments with a planned total of 2,884 units which are currently under construction. A total of 1,716 units are completed in these developments and 660 occupied as of late mid-September, 2013 leaving 2,224 units still to be absorbed. Three of these developments with 743 units planned are located in Wellington Market Area. All of the units in these developments are completed and 283 are occupied leaving 460 still to be absorbed.

Including the subject 360 unit Isla Verde Apartments, there are 12 market rate apartment developments known to be planned in Palm Beach County which are to offer a total of 3,286 units if and when they are built. The subject is the only market rate apartment development known to be planned/proposed in the Wellington Market Area.

	Palm Beach County	Wellington Market Area
• Units Still To Be Absorbed In Recently Completed Apt. Developments:	1,050	460
• Units still To Be Completed In Apt Developments Currently Under Construction	1,174	0
• Planned/Proposed Apt. Units, Possible Competition Over Next 3 Years:	3,286	360 (1)
Total Supply Potential	5,510	820
• Annual Demand For Additional Market Rate Apartments, 2013 – 2016:	3,091	951 (2)
Total Demand Next 3-Years Market Rate Apts:	9,273	2,853
• Excess Demand Over Potential Supply	3,763	2,033

(1) Includes subject Isla Verde Apartments.

(2) See Table 40.

As the preceding table shows, the demand for new market rate apartments exceeds the supply potential over the next three year period by 3,763 units in Palm Beach County as a whole and by 2,033 units directly in the Wellington Market Area. It is expected, therefore, that the overall vacancy rate in Palm Beach County and the Wellington area will decline to the low- to mid- 4.0% range by mid-2014 and will be in the mid-to lower 3.0% range by mid 2015 while fluctuating in mid 2.0% to 3.0% range during 2016.

Apartment rents are expected to increase in the 3.0% range annually in Palm Beach County and the Wellington area from 2013 to 2016.

III. THE COMPETITIVE ENVIRONMENT

A. The General Competitive Environment

In conducting this study seven garden-style apartment developments considered comparable to an apartment development which could be developed at the subject site were examined. In addition, the overall summary development character of apartment developments located throughout the general Wellington area was examined.

Six of the seven selected comparable developments are located in the Wellington Market Area. (See Maps No. 3 and 3A.) All but one of the selected comparable developments are relatively new with the overall average age being ten years old and they range from less than one to 21 years old. One of the developments consists of two merged developments, one having been completed in 2000 and one in 2003. Four of the developments have a mix of two-and three-story buildings, two have all three-story buildings and one all four-story buildings. The summary development character of the selected comparable developments is presented in Table 4 and Table 5 shows the summary development character of nine market rate apartment developments located within the general Wellington area, Areas 9 & 9A, Map No. 2.

B. Summary Character Of Selected Comparable Apartment Developments

1. Mix Of Unit Types

The largest percentage share of apartments offered in the comparable apartment developments examined, 49.9%, are two-bedroom/one- or two bath in character while 25.3% are three-bedroom/two-bath units and 23.9% are one-bedroom/one-bath units. The balance of 0.9% are four-bedroom/two-bath apartments. (See Table 4, Appendix.)

The mix of unit types offered in the general market area developments examined is similar to the mix found in the comparable developments examined except that they have a slightly higher percentage share of one-and two-bedroom units and lower share of three-bedroom and larger units. (See Table 5, Appendix.)

The following summarizes the mix of unit types found in the comparable apartment developments examined:

Unit Type	Percent Unit Mix	
	Comparable Developments	General Wellington Area Developments
1BR/1B	23.9%	25.1%
2BR/1-2B	49.9%	52.1%
3BR/2-3B	25.3%	22.1%
4BR/2B	0.9%	0.7%
Total	100.0%	100.0%

2. Square Footage Sizes

The square footage sizes of apartments offered in the selected comparable developments are similar to the sizes offered in the general Wellington area developments.

The following summarizes the overall average size for each unit type:

Unit Type	Average Square Footage Livable Area	
	Comparable Developments	General Wellington Area Developments
1BR/1B	801 s.f.	798 s.f.
2BR/1-2B	1,112 s.f.	1,086 s.f.
3BR/2-3B	1,444 s.f.	1,426 s.f.
4BR/2B	1,662 s.f.	1,662 s.f.

3. Apartment Rents

The overall weighted average base rent for apartments in the selected comparable developments is \$1,249 or 110.8¢ per square foot of livable area. The following shows the average rents found in the developments examined by unit type:

Unit Type	Base Average Rents			
	Comparable Developments		General Wellington Area Developments	
	Rent	RPSF	Rent	RPSF
1BR/1B	\$1,059	132.2¢	\$1,026	128.6¢
2BR/1-2.5B	\$1,224	110.1¢	\$1,237	113.9¢
3BR/2-3.5B	\$1,455	100.7¢	\$1,584	111.1¢
4BR/2B	\$1,840	110.7¢	\$2,358	141.9%

The base average rents noted above and on Table 4 are after reduction for any rent concession currently being offered and after deducting rent for attached direct access garages. Rent for garages are deducted so as to have more direct comparison with units not having a garage. Five of the seven comparable developments report no rent concessions being offered while two utilize daily pricing which would reflect current rents without indicating the amount of any concessions offered.

Another development examined in conducting this study but not treated as comparable/competitive is the 268 unit Park Aire development currently in lease-up in the Wellington area. This development is not used as a comparable/competitive development because no units have been occupied to date and it is believed that it could be misleading in terms of rent potential for the subject.

4. Unit Features And Amenities

Unit features typically provided in the kitchen include a refrigerator/freezer with icemaker, range/oven, dishwasher, disposal, and microwave oven. Other unit features which are standard include wall-to-wall carpeting in living room/bedroom areas, window treatments, walk-in closets, washer/dryer, pre-wiring for cable TV, telephone and internet access, and ceramic tiled kitchen and bathroom flooring. Formica kitchen countertops and vanity tops are common in these developments.

All of the developments provide a clubhouse/recreation area with fitness center and all offer a swimming pool, business center, covered parking and Wi-Fi at the pool. Most of the developments also provide secured access to the development and a children's playground.

5. Market Status Of Comparable Developments

The comparable market area apartment developments examined which are fully completed and initially absorbed are well occupied reporting a vacancy rate of 5.1% in September,

2013. This is slightly higher than the 4.8% vacancy rate found in apartment developments located throughout Palm Beach County but considerably lower than the 6.3 % rate found in the general Wellington Market Area in August, 2013.

The comparable market area apartment developments experienced monthly absorption rates during lease-up ranging from 18.5 to 26.1 and they averaged 22.4 units per month.

C. Planned/Proposed And Under Construction Developments

There are 11 market rate rental apartment developments in Palm Beach County which are currently under construction or recently completed and still in lease-up. These developments are to contain a total of 2,884 units when fully completed. Presently, 1,716 units have been completed in these developments and 660 are occupied. These developments, therefore, have 2,224 units still to be absorbed of which about 53% are still under construction. Three of the market rate apartment developments currently under construction/lease-up are located in the Wellington Market Area. These developments, which are fully completed, contain a total of 743 units. A total of 283 units have been occupied in these developments leaving a total of 460 still to be absorbed.

The following lists the three developments currently under construction/lease-up in the Wellington Market Area and shows their current status:

Development Name	Units Planned	Units Completed	Units Occupied	Units Still to be absorbed
Wellington Club	202	202	145	57
Axis At Wellington	273	272	138	135
Park Aire	268	268	0	268
Total	743	743	283	460

All three of these developments are expected to be fully absorbed by the end of September, 2014, two by the end of March, 2014.

In addition to the developments currently under construction/lease-up there are 12 market rate developments, including the subject, known to be planned/proposed and they are to offer a total of 3,286 units if and when they are built. The subject 360 unit Isla Verde is the only market rate development currently known to be proposed in the Wellington Market Area.

IV. FORECAST OF HOUSING DEMAND

A. Palm Beach County Rental Housing Demand

Historical absorption of new rental housing often does not adequately define the actual demand for rental apartments in Palm Beach County or the Wellington Market Area. During many years new apartment completions were minimal and vacancy rates were low, clearly indicating that the market could have absorbed more units than were completed if they were available.

The housing stock of Palm Beach County is forecast to expand by 7,632 units per year from 2013 to 2016. Based on the percentage share of total housing growth which has historically been obtained by rental housing and the estimated potential for rental housing over the forecast period, there is an estimated demand in Palm Beach County for 4,841 additional rental utilized housing units per year from 2013 to 2016. It should be noted that the demand for rental housing is derived not only from household growth but also from the manner in which housing is occupied.

Historical analysis throughout Florida by this consulting firm has shown that rental apartments can capture an 80% share of total rental housing demand if they are available in adequate numbers. This suggests that there is a demand for 3,873 rental apartment units per year in Palm Beach County from 2013 to 2016. These estimates of the demand potential for rental housing are based, in part, on the historical share of total housing which rental utilized housing has represented. In 1980 there were 129,728 housing units in Palm Beach County utilized on a rental basis representing 28.1% of total housing. The increase in the number of rental utilized housing represented an annual gain of 5,915 units during the 1980 - 1990 period. (See Table 39.) According to U.S. Census data the number of rental utilized housing stood at 152,954 in 2000 indicating an average annual increase of 2,323 from 1990 to 2000. In 2010 renter utilized housing reached 190,074 units and in 2013 there were an estimated 201,731 renter utilized housing units representing an increase of 3,886 per year over 2010. From 2013 to 2016 rental utilized housing is forecast to increase by an average of 4,841 per year reaching 216,255 in 2016. (See Table 6, Appendix.)

B. Rental Housing Demand - The Wellington Market Area

The number of renter utilized housing units in the Wellington Market Area expanded by an average of 231 units annually from 1990 to 2000 and the percentage of rental utilized housing units in the market area declined from 24.6% to 23.7%. From 2000 to 2010 rental utilized housing increased by an average of 1,048 units per year and totaled 28,506 units representing 27.5% of all

housing. From 2010 to 2013 renter utilized housing in the Wellington Market Area increased by an average of 974 units per year.

It is forecast that the percentage share of renter utilized housing in the market area has the potential to increase to 29.1% of total housing by 2016 if an adequate supply of rental apartment units are offered in the market area. This analysis indicates that there is a demand for 1,171 additional rental utilized housing units per year in the market area from 2013 to 2016. As in the County as a whole, it is believed that rental apartments could capture an 80% share of total rental demand during the forecast period if units are built in adequate numbers. This indicates that there will be an annual demand for at least 937 additional rental apartment units in the Wellington Market Area from 2013 to 2016. This demand estimate does not include any existing demand in the market area or draw potential from areas outside of the market area.

It is important to note that the demand potential for the proposed development as a rental development is not confined to the indicated demand for rental housing in the Wellington Market Area. The forecast of demand is based on historical trends in the population growth and resulting need for housing to accommodate the growth of the area. The area has the potential to draw some additional demand from Palm Beach County as a whole depending on the level of new unit supply in other areas of the County versus demand. (See Table 6, Appendix.)

C. Existing Demand For Multi-Family Apartments

In addition to the demand for rental apartments generated from growth of renter households there is also an existing or “pent-up” demand for apartments which can significantly expand the market for multi-family apartments. The existing demand is represented by the number of non-apartment renters in an area which could be drawn to multi-family apartments over a period of time.

There are about 201,731 rental utilized housing units in Palm Beach County of which 118,618 are non-apartment rentals consisting of single family homes, condominiums, duplexes or other types of housing. In the Wellington Market Area about 19,296 of the 31,427 rental utilized housing units are non-apartment rentals. It is estimated that about 10.0% of these non-apartment renters could be drawn into multi-family apartments over a period of time. It is estimated, therefore, that 11,862 of the non-apartment renter households in Palm Beach County would be candidates for apartments over a period of 10 years or 1,186 per year. In the Wellington Market Area about 1,930 of the non-apartment renters would be candidates for apartments or 193 units per year over a 10 year period.

Based on the foregoing analysis of demand generated by growth and existing demand resulting from non-apartment renters who decide to rent an apartment, the estimated annual demand for multi-

family apartments in Palm Beach County from 2013 to 2016 is 5,059 units. In the Wellington Market Area the demand is for 1,636 units per year from 2013 to 2016. This includes an additional 10.0% share of the countywide demand which it is believed that the market area could capture due to the desirability of Wellington area.

D. Demand For Market Rate Apartments

It is estimated, for purposes of this analysis, that market rate apartments typically have rents of \$900 or more in Palm Beach County. Based on renter household incomes and utilizing a rent-to-income affordability ratio of 35.0% it is estimated that about 61.1% of the renter households in Palm Beach County and 58.1% in the Wellington Market Area could afford rents of \$900 or more.

Applying the percentage of renter households which could afford rents of \$900 or more to the above indicated apartment demand, it is estimated that there is a demand for 3,091 market rate apartments in Palm Beach County per year from 2013 to 2016. In the Wellington Market Area the estimated demand for market rate apartments with rents of \$900 or more is 951 annually from 2013 to 2016.

Renter households directly in the Village of Wellington have a notably higher median income than those located in the larger Wellington Market Area. The median income of renter households in the Village of Wellington is \$56,717 versus the \$36,749 median found in the Wellington Market Area overall. The median rent affordable by Village of Wellington renter households is \$1,654 versus the \$1,072 median affordable by the Wellington Market Area households.

E. Demand For Subject Isla Verde Apartments

While the foregoing analysis of the demand for market rate apartments is important for the purpose of forecasting market trends for market rate apartments, the Isla Verde Apartments is to be upscale in character.

As will be detailed in the final section of this report, the apartments at the subject Isla Verde Apartments are recommended to have rents ranging upwards from \$1,330. It is estimated that 42.7% of the renter households in Palm Beach County and 39.4% in the Wellington Market Area could afford the upscale rents of \$1,330 or more without spending more than 35% of their income for rent. Applied to the total demand for apartments, this analysis indicates a demand for 2,160 additional upscale apartments in Palm Beach County per year from 2013 to 2016 with rents of \$1,330 or more. In the Wellington Market Area the estimated annual demand for these units is 645 per year from 2013 to 2016. (See Table 6, Appendix.)

In the Village of Wellington about 62.7% of the renter households could afford the \$1,330+ rent recommended for Isle Verde. The proposed development, therefore, should find strong demand directly from the Village of Wellington.

F. Market Capture Rate

As indicated previously, the rents recommended for the subject Isla Verde Apartments range upwards from \$1,330. Households would need to earn \$45,598 or more in order to afford to rent at the subject development without spending more than 35% of their income for rent.

The 360 units to be offered at the subject development represent 0.510% of the total income qualified renter households in Palm Beach County and 3.40% of the income qualified households in the Wellington Market Area.

	Palm Beach County	Wellington Market Area
Total Renter Households, 2013	165,191	26,892
% With Incomes \$41,484 or more	42.7%	39.4%
Income Qualified Households	70,537	10,595
Total Apartments, Isla Verde Apts.	360	360
Subject Apts. As % Qualified Households	0.510%	3.40%
At Stabilized 95% Occupancy	0.485%	3.23%

V. CONCLUSIONS/RECOMMENDATIONS

A. Summary Of General Conclusions

As of August, 2013 the vacancy rate in apartment developments located throughout Palm Beach County stood at a moderate 4.8%, somewhat below the 6.3% rate found in the general Wellington Area. The vacancy rate in the County has fluctuated in the 4.0% to 5.0% range over the past year while in the general Wellington area vacancy rates increased somewhat.

New apartment unit construction starts, completions and absorption increased considerably in 2011 through mid 2013. Despite this, new apartment completions remain well below levels experienced during the 1990s and early 2000s and well below current estimates of demand.

Apartment vacancy rates are expected to decline from the current 5.0% range to the mid 4.0% range by mid 2014 and be in the 2.0% to 3.0% range by mid 2015 where it is expected to remain during the balance of 2015 and 2016.

Apartment rents are expected to increase both in the County and in the general Wellington Area by an average of 3.0% per year over the next three years.

The population and household growth of Palm Beach County was exceptionally strong from 1990 to 2000 and to 2006 prior to the economic recession. From 1990 to 2000 the population of Palm Beach County expanded by an average of 26,767 per year and from 2000 to 2010 an average annual increase of 18,895 was experienced. In the Wellington Market Area the population increased by an average of 4,235 per year from 1990 to 2000 and from 2000 to 2010 the population increased by an average of 7,383 per year. Most of the increase in population and household growth over the past decade occurred from 2000 to 2006. The economic recession resulted in some decline of population and households from 2006 to 2010. From 2010 to 2013, however, the population of the market area increased by an average of 5,506 per year.

From 2013 to 2016 population and household growth is expected to accelerate from the level of the past few years as we advance further from the economic recession. In Palm Beach County the population is forecast to increase by 15,158 persons per year from 2013 to 2016 while households expand by 6,248 annually. In the Wellington Market Area the population from 2013 to 2016 is forecast to increase by 6,760 persons per year and households by 2,460 annually.

These forecasts of population and household growth are expected to generate a demand for an additional 7,632 housing units per year in Palm Beach County from 2013 to 2016 and in the Wellington Market Area the number of housing units is forecast to increase by 2,875 units annually from 2013 to 2016.

Based on analysis of the historical trend in the percentage share of housing utilized on a rental basis and multi-family rentals as a share of all rental utilized housing, it is forecast that there is an annual demand potential for 5,059 additional apartment units in Palm Beach County from 2013 to 2016 and in the Wellington Market Area there is an estimated demand for 1,636 additional apartments per year during this three year period. As detailed in the demand analysis section of this report, this demand is generated not only by growth of households but also by households within the area switching from owner to renter status and non-apartment renters shifting to multi-family apartments.

When the demand is narrowed to include only those households which can afford apartments having rents recommended for the subject development, the demand is estimated at 2,160 units per year in Palm Beach County from 2013 to 2016.

In the Wellington Market Area the demand for additional apartments of the rent character recommended at the subject development, \$1,330 plus, is 645 units annually from 2013 to 2016.

	<u>Palm Beach County</u>	<u>Wellington Market Area</u>
Demand For All Apartments all rent ranges:	5,059 Per Yr.	1,636 Per Yr.
Demand For All Market Rate Units, Units Renting For \$900+:	3,091 Per Yr.	951 Per Yr.
Demand For Units With Rents Of Subject Project, \$1,330 Plus:	2,160 Per Yr.	645 Per Yr.

The extent to which a rental apartment development at the subject site can capture a share of the indicated demand depends on numerous factors, including the appropriateness of the development parameters for the market and rents charged. In the following sections of this report the development parameters proposed are reviewed and rents are recommended.

B. Review Of Development Parameters

1. Mix Of Unit Types

Analysis of household sizes in the Wellington Market Area and their housing size needs suggest that the best overall unit mix for rental apartments in the area is about 30.0% one-bedroom, 51.0% two-bedrooms, and 19.0% three-bedrooms or larger.

The unit mix suggested by household sizes is similar to the overall mix character found in the comparable apartment developments examined except that the comparables have a lower share of one-bedroom units and higher proportion of three-bedroom units.

The following shows the unit mix offered in the selected comparable developments, developments in the general Wellington area and the general mix suggested by household sizes compared to the mix proposed for the subject Isla Verde apartments:

Percent Unit Mix				
Unit Type	Proposed Isla Verde	Selected Comparables	General Wellington Area Projects	Suggested by Household Sizes
1BR/1B	26.7%	23.9%	25.1%	30.0%
2BR/1-2-2.5B	43.9%	49.9%	52.1%	51.0%
3BR/2-3B	22.2%	25.3%	22.1%	19.0%
4BR/2B	7.2%	0.9%	0.7%	
Total	100.0%	100.0%	100.0%	100.0%

It is believed that the mix of unit types planned for the Isla Verde is excellent for the market.

2. Square Footage Size (Livable Area)

The following summarizes the average unit sizes planned for the Isla Verde development compared to those of the comparable developments and general Wellington area developments:

Average Square Footage Sizes			
Unit Type	Proposed Isla Verde	Selected Comparables	Wellington Area Projects
1BR/1B	729 s.f.	801 s.f.	798 s.f.
2BR/2-2.5B	1,278 s.f.	1,112 s.f.	1,086 s.f.
3BR/2-2.5B	1,540 s.f.	1,444 s.f.	1,420 s.f.
4BR/2-3.5B	2,102 s.f.	1,662 s.f.	1,662 s.f.

The square footage sizes planned for the subject townhouse apartments are larger for each unit type than found in the comparable developments and developments in the general Wellington area. The overall average unit size planned for the subject development apartments is 1,249 square feet, about 122 square feet larger than the average size of the comparable developments.

3. Unit Features And Amenities

The amenities and interior unit features planned at the Isla Verde Apartments are detailed in Table 7 in the Appendix of this report.

The amenities and interior unit features planned are clearly superior to those offered in the comparable developments and they are indicative of an upscale apartment development. The superior amenities and features planned for the subject is taken into account in estimating the rent potential. Particularly notable are the Green features planned and which are detailed in Table 7 in the Appendix of this report.

Other important amenities planned for the Isla Verde development which are offered by fewer than half of the comparable developments include a jogging/fitness trail, two electric car charging stations, car care center, direct access garages, valet trash, dog park with washing/drinking station, four on-site lakes, indoor one-half sports court, outdoor sports court, billiards/card room, median center, aerobics room and saunas.

Interior unit features to be provided at Isla Verde which are offered in fewer than half of the comparable developments include granite kitchen counter and vanity tops, travertine windows sills, stainless steel appliances, ceiling fans in all rooms, wood flooring in foyer areas and two-inch faux wood blinds for all windows.

4. Rent Potential

Based on analysis of the rent character of the selected comparable/competitive developments as well as other development groups examined and after adjustments for unit size, development location, age and differences in features and amenities offered, it is believed that the current overall weighted average base or starting rent potential for Isla Verde Apartments is \$1,718 or 135.7¢ per square foot of livable area. (See Table 7, Appendix.)

The base or starting rent potential for the one-bedroom unit is \$1,330 or 167.9¢ per square foot while the average base rent potential for the two-bedroom units is \$1,759 or 137.6¢ per square foot of livable area. The base rent potential for the three-bedroom units is \$1,925 or 125.0¢ per square foot and the four-bedroom unit \$2,265 or 107.8¢ per square foot of livable area. (See Table 7, Appendix.)

The above rent conclusions assume that the units were in the market at this time, September, 2013, and they exclude premiums.

The following shows the rent premiums believed to be appropriate for the subject proposed development:

	Premiums Amount/Unit Type			
Premium Item	1-Bedroom	2-Bedrooms	3-Bedrooms	4-Bedrooms
Pool View	\$35	\$35	\$35	\$35
Direct Lake View	\$45	\$45	\$45	\$45
End/Corner Units	\$40	\$60	\$80	\$100

It is forecast that the rent potential for the subject proposed development will increase by 3.0% per year over the next three years.

C. Absorption Potential

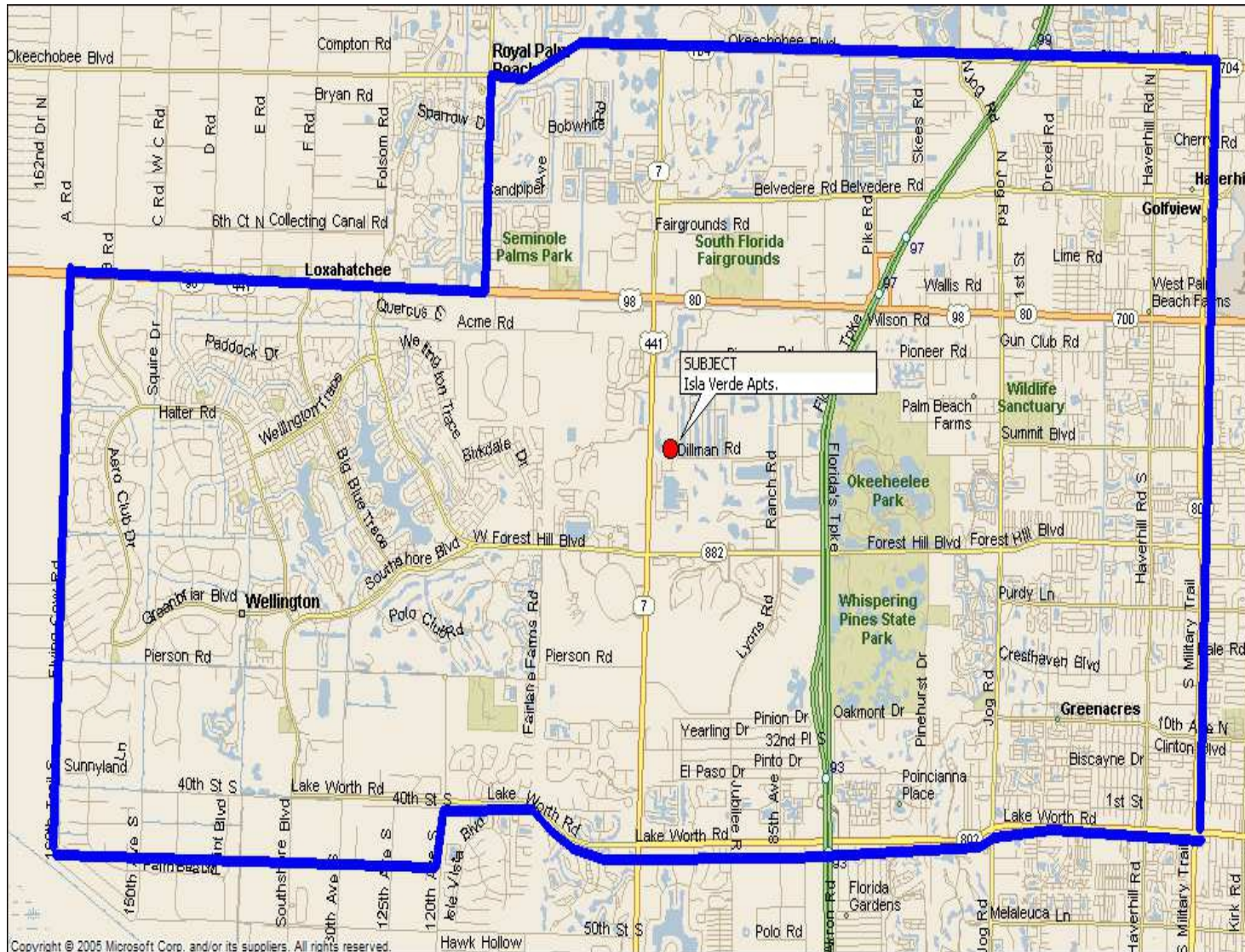
As indicated previously in this report, there is an estimated demand for 645 additional apartments per year in the Wellington Market Area of the rent character recommended for the Isla Verde Apartment development.

Currently, there are three apartment developments in lease-up in the Wellington Market Area. These developments have a total of 743 units all of which are completed and 283 units are occupied. While all of the units in the Park Aire development are completed they are not certified for occupancy at this time. Management at Park Aire indicates the first occupancies will occur October 11, 2013.

The three developments have a total of 460 units still to be absorbed. Based on the indicated demand for apartments in the Wellington Market Area, it is estimated that the 460 unit inventory in these developments represent 7 to 8 months of supply. These developments, therefore, are likely to be fully absorbed before units at the subject site are available for occupancy.

Other than the subject, there are no apartment developments known to be planned in the delineated Wellington Market Area. The subject, therefore, is likely to be the only development offering new units during its lease-up period. It is expected that the subject will experience an average monthly absorption rate of about 30 units during lease-up. This would result in the 360 unit Isla Verde being fully absorbed within 12 months after the first units become available for occupancy.

APPENDIX



MAP NO. 1
The Wellington Market Area

TABLE 1
APARTMENT VACANCY RATE TREND
The Wellington Area (1)
2000 - 2013

<u>Year</u>	<u>Apartment Vacancy Rate</u>	
	<u>February</u>	<u>August</u>
2000	1.8%	5.8%
2001	2.1%	3.1%
2002	3.4%	3.3%
2003	5.1%	6.3%
2004	5.6%	3.0%
2005	2.0%	2.8%
2006	1.1%	8.3%
2007	5.7%	7.4%
2008	5.4%	6.6%
2009	6.7%	7.7%
2010	4.2%	3.4%
2011	3.3%	6.1%
2012	4.7%	3.5%
2013	5.3%	6.3%

(1) The Wellington Area is defined as Submarket Areas 9 & 9A. (See Map No. 2).

Source: Field surveys by Reinhold P. Wolff Economic Research, Inc.

TABLE 2
DEVELOPMENT, ABSORPTION AND INVENTORY
TREND OF NEW APARTMENTS
Wellington Area (1)
1995 - 2013

<u>Year</u>	<u>Number Of New Units (1)</u>			
	<u>Newly Occupied</u>	<u>Newly Completed</u>	<u>Started Under Construction</u>	<u>In Inventory End Of Year</u>
1995	0	0	0	0
1996	0	0	244	0
1997	175	212	222	37
1998	458	318	940	9
1999	249	573	606	333
2000	1,021	726	708	38
2001	372	5	354	138
2002	200	290	0	278
2003	290	14	0	113
2004	48	0	0	0
2005	0	0	0	0
2006	0	0	0	0
2007	0	0	0	0
2008	0	0	0	0
2009	0	0	0	0
2010	0	0	0	0
2011	0	0	0	0
2012	114	183	704	88
2013(Thru June)	118	192	0	162

(1) The Wellington Area is defined as Submarket Areas 9 & 9A. (See Map No. 2).

(2) New unit occupancies can exceed completions in any one year as units in inventory prior to the period may be absorbed during the period.

Source: Field surveys of residential developments; Reinhold P. Wolff Economic Research, Inc.

TABLE 3

APARTMENT RENT TRENDS (1)
The Wellington Area (2)
2000 - 2013

<u>As Of August:</u>	<u>Overall Average Monthly Rent</u>			
	<u>One-Bedroom</u>	<u>Two-Bedroom</u>	<u>Three-Bedroom</u>	<u>Overall Average</u>
2000	\$671	\$789	\$1,021	\$805
2001	\$698	\$815	\$1,100	\$838
2002	\$778	\$878	\$1,241	\$926
2003	\$772	\$940	\$1,255	\$976
2004	\$839	\$961	\$1,308	\$1,013
2005	\$866	\$997	\$1,438	\$1,051
2006	\$938	\$1,156	\$1,517	\$1,179
2007	\$952	\$1,181	\$1,543	\$1,204
2008	\$931	\$1,155	\$1,446	\$1,163
2009	\$921	\$1,124	\$1,434	\$1,142
2010	\$990	\$1,249	\$1,624	\$1,269
2011	\$973	\$1,238	\$1,667	\$1,267
2012	\$999	\$1,194	\$1,547	\$1,231
2013	\$1,026	\$1,237	\$1,584	\$1,268
<u>Average Annual Change:</u>				
1990 - 2000	+4.9%	+5.5%	+7.0%	+5.8%
2000 - 2010	+4.8%	+5.8%	+5.9%	+5.8%
2010 - 2011	-1.7%	-0.9%	+2.6%	-0.2%
2011 - 2012	+2.7%	-3.6%	-7.2%	-2.8%
2012 - 2013	+2.7%	+3.6%	+2.4%	+3.0%

(1) Projects included in this survey include many small, older developments which do not have rents which are comparable to a new development.

(2) The Wellington Area is defined as Submarket Areas 9 & 9A. (See Map No. 2).

Source: Surveys of rental apartment developments by Reinhold P. Wolff Economic Research, Inc.

TABLE 4

**SUMMARY DEVELOPMENT CHARACTER OF POTENTIALLY
COMPARABLE RENTAL DEVELOPMENTS (1)
September, 2013**

<u>Unit Type</u>	<u>% Of Units</u>	<u>Average Square Footage Livable Area</u>	<u>Base Average Monthly Rent (2)</u>	<u>Average Base Rent Per Square Foot Per Month</u>
1BR/1B	23.9%	801 Sq. Ft.	\$ 1,059	132.2¢
Range	- - -	724 - 920	\$ 940 - \$ 1,287	108.6¢ - 173.3¢
2BR/1B	4.8%	999	\$ 1,041	104.2¢
Range	- - -	\$ 959 - \$ 1,007	\$ 1,034 - \$ 1,415	102.7¢ - 140.5¢
2BR/2B	45.1%	1,124	\$ 1,270	113.0¢
Range	- - -	1,015 - 1,266	\$ 1,030 - \$ 1,674	89.6¢ - 151.7¢
3BR/2B	25.3%	1,444	\$ 1,455	100.7¢
Range	- - -	1,227 - 1,662	\$ 1,195 - \$ 1,849	85.2¢ - 129.1¢
4BR/2B	0.9%	1,662	\$ 1,840	110.7¢
Range	<u>- - -</u>	<u>- - - - - - - -</u>	\$ 1,840 - \$ 2,595	110.7¢ - 156.1¢
	100.0%			

(1) Analysis includes all developments listed on Map No. 3 except Park Aire.

(2) The base rent in lowest rental which unit is offered for rent. Rents shown are after deduction for attached, direct access garages (\$120 for 1-car, \$160 for 2-car garage).

Source: Field survey by Reinhold P. Wolff Economic Research, Inc.

TABLE 5

**SUMMARY DEVELOPMENT CHARACTER OF
MARKET RATE APARTMENT DEVELOPMENTS
The General Wellington Area (1)
August, 2013**

<u>Unit Type</u>	<u>Unit Mix</u>	<u>Square Footage Unit Size</u>	<u>Average Monthly Rent (2)</u>	<u>Average Rent Per Square Foot</u>
1BR/1B	25.1%	798 s.f.	\$1,026	128.6¢
2BR/1-2B	52.1%	1,086 s.f.	\$1,237	113.9¢
3BR/2-3B	22.1%	1,426 s.f.	\$1,584	111.1¢
4BR/2-3B	0.7%	1,662 s.f.	\$2,358	141.9¢
Overall	100.0%	1,091 s.f.	\$1,268	116.2¢

(1) The General Wellington Area includes Submarket Areas 9 & 9A shown on Map No. 2.
Includes 9 market rate developments with a total of 2,873 apartments.

(2) Average monthly rent includes premiums.

Source: Survey by Reinhold P. Wolff Economic Research, Inc.

TABLE 6

**SUMMARY OF EXISTING AND FUTURE INCREASE IN
DEMAND FOR MULTI-FAMILY RENTAL HOUSING
Palm Beach County And The Wellington Market Area (1)
2013 - 2016**

	<u>Palm Beach County</u>	<u>The Wellington Market Area</u>
* Forecast Of Increase Of Rental Utilized Housing, Per Year: (See Table 39): 2013 - 2016	4,841	1,171
* Forecasted Increase In Demand For Multiple (2) Family Apartments-Generated From Growth (80% Share Of Rental Utilized Housing Increase): 2013 - 2016	3,873	937
* Existing Demand:		
· Total Rental Utilized Housing, 2013	201,731	31,427
· Non-Apartment Rental Utilized Housing, 2013	118,618	19,296
· Estimated % Interested in Rental Apts.	10.0%	10.0%
· Estimated Number Interested In Apts.	11,862	1,930
· Estimated Number Non-Apartment (3) Renter Households Drawn To Apartments, Per Year, 2013 - 2016:	1,186	193
* Total Estimated Annual Demand For Apartments, Generated From Growth And Existing Demand 2013 - 2016	5,059	1,130
· Market Area Potential Additional (4) Share Of The County Demand, Estimated At 10.0%: 2013 - 2016	0	506
· Estimated Annual Demand For Apartments: 2013 - 2016	5,059	1,636

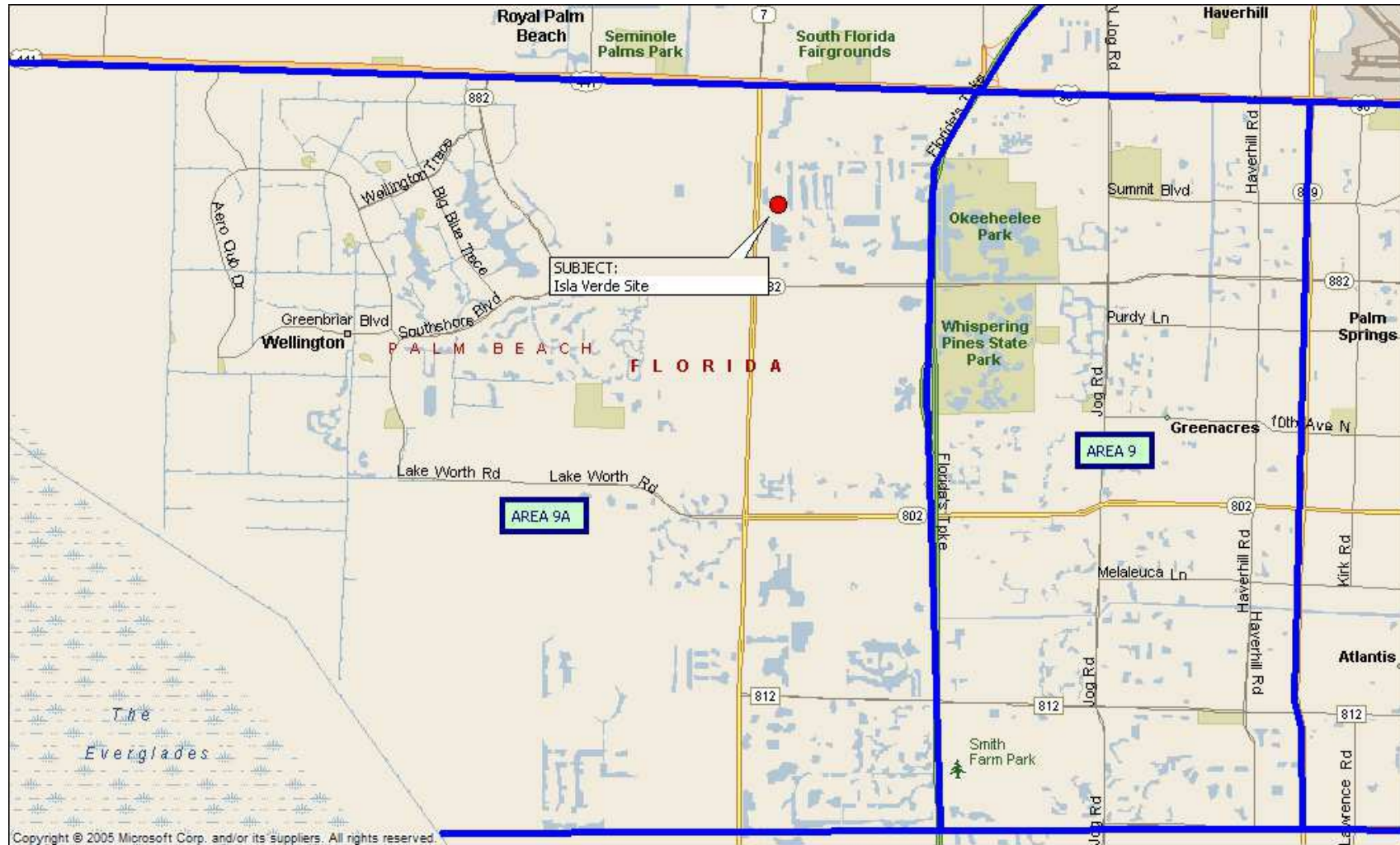
TABLE 6

**SUMMARY OF EXISTING AND FUTURE INCREASE IN
DEMAND FOR MULTI-FAMILY RENTAL HOUSING
Palm Beach County And The Wellington Market Area (1)
2013 - 2016**

	<u>Palm Beach County</u>	<u>The Wellington Market Area</u>
* Annual Demand Potential For Market (5)		
Rate Apartments With Rents of \$900 +:		
· % Renter Households Can Afford \$900+ Rents	61.1%	58.1%
· Annual Demand For Market Rate Apartments With Rents \$900 +:		
2013 - 2016	3,091	951
* Annual Demand Potential For Upscale Apartments Renting For \$1,330+:		
· % Renter Household Can Afford \$1,330 + Rents:	42.7%	39.4%
· Annual Demand For Upscale Apartments Renting \$1,330 +:		
2013 - 2016	2,160	645

- (1) The Wellington Market Area is bordered on the north by Okeechobee Road/Royal Palm Boulevard/Southern Boulevard, the south by Indian Mound Road/Lake Worth Road, the east by Military Trail and the west by Flying Cow Road/South 160th Trail.
- (2) Based on analysis of Florida rental markets in which an adequate supply of multi-family units are being offered.
- (3) Assumes the household representing existing demand could be drawn into the market over a 10 year period.
- (4) Additional 10% market share for market area is warranted by the desirability of the Wellington area.
- (5) See Table 16 regarding renter household incomes. Analysis assumes households could spend up to 35% of their income for rent.

Source: Analysis by Reinhold P. Wolff Economic Research, Inc. based on existing rental housing supply, forecasted increase in number of renter households, renter household incomes and affordability data.



MAP NO. 2
The General Wellington Area
Submarket Areas 9 & 9A

TABLE 7

**SUMMARY DEVELOPMENT CHARACTER
AND RENT RECOMMENDATIONS
Proposed Isla Verde
September, 2013**

Model	Unit Type	# Of Units	Sq. Ft. L/A	Base Rent Potential			
				Per Month		Per Sq. Ft.	
A	1BR/1B	96	792 s.f.		\$1,330		167.9¢
B	2BR/2.5 Thn 1CG	80	1,268 s.f.		\$1,750		138.0¢
BE	2BR/2.5 Thn 1CG	52	1,268 s.f.		\$1,750		138.0¢
C	2BR/2.5 Thn 1CG	26	1,326 s.f.		\$1,805		136.1¢
D	3BR/2.5 Thn 1CG	80	1,540 s.f.		\$1,925		125.0¢
E	4BR/3.5 Thn 1CG	26	2,102 s.f.		\$2,265		107.8¢
		360					

Overall Weighted Average Base Rent: \$1,718/135.7¢

* The base rent potential is the lowest rent at which each unit type would be offered.

General Development Parameters: Upscale townhouse development with 34 three-story buildings of three different types; separate clubhouse building; four on site lakes (ponds). See attached list of amenities and interior unit features planned.

Source: Development parameters by Fm Contract Services, LLC; rent conclusions by Reinhold P. Wolff Economic Research, Inc.

Isla Verde Apartments

Amenities		Unit Features	
X	Clubhouse Or Recreation/Deck Area	X	Icemaker
X	Fitness Center With Cardio/weight training	X	Dishwasher
X	Aerobics Room	X	Disposal
X	Sauna/Steam Room	X	Microwave
X	Billiards/Card Room/Game Room	X	Stainless Steel Sinks
X	Business Center/Computers/Conference Room	X	Breakfast Bar
X	Media Center/Movie Theater		Pass-Thru
	Children's Playroom	X	Pantry
X	Swimming Pool	X	Foyer Floor - Wood Flooring
X	Jacuzzi/Spa	X	Kitchen Flooring - Ceramic Tiles
	Tennis Court(s)	X	Bath Flooring - Ceramic Style
X	Outdoor basketball hoop/Sport Court		W/D Connections
	Outdoor Racquetball Court	X	Washer/Dryer - Full Size
	Golf Course Views		Ceiling Fan Connections
X	Water Views - 4 Lakes	X	Ceiling Fans - All Rooms
X	Indoor Half Sports Court	X	Vaulted Ceilings
	Volleyball Court	X	Window Treatments
	Sand Volleyball Court	X	Walk-In Closets
X	BBQ/Picnic Area	X	Security Alarm
X	Children's Playground	X	Carport
X	Jogging/Fitness Nature Trail		Detached Garages
	Laundry Facilities	X	Attached Garages
X	Car Wash/Vacuum Area	X	Direct Access Garages
X	Garage/Covered Parking		Balcony/Patio/terraces
X	Secured/Gated Access	X	Screened Balcony
	Storage	X	Pre-Wired Cable TV and Phone
	Retail/Restaurants/Office Space	X	Pre-Wired High Speed Internet/WiFi
	Concierge Services		Outdoor Access Storage
X	Special Amenities:	X	Garden Or Roman Tub - Some
	Putting Green	X	Linen Closet
X	Covered Terrace at back of Clubhouse	X	Kitchen Counter Tops - Granite
X	Two Electric Car-Charging Station	X	Vanity Tops - Granite
X	Dog Park w/washing-drinking station	X	Stainless Steel Appliances
X	Valet Trash		Special Unit Features:
		X	European Style Cabinets
		X	Travertine Window Sills
		X	2" Faux Blinds On All Windows
		X	Extensive Green Features: See Attached

See Attached Green Features

Green Features of Isla Verde Apartments

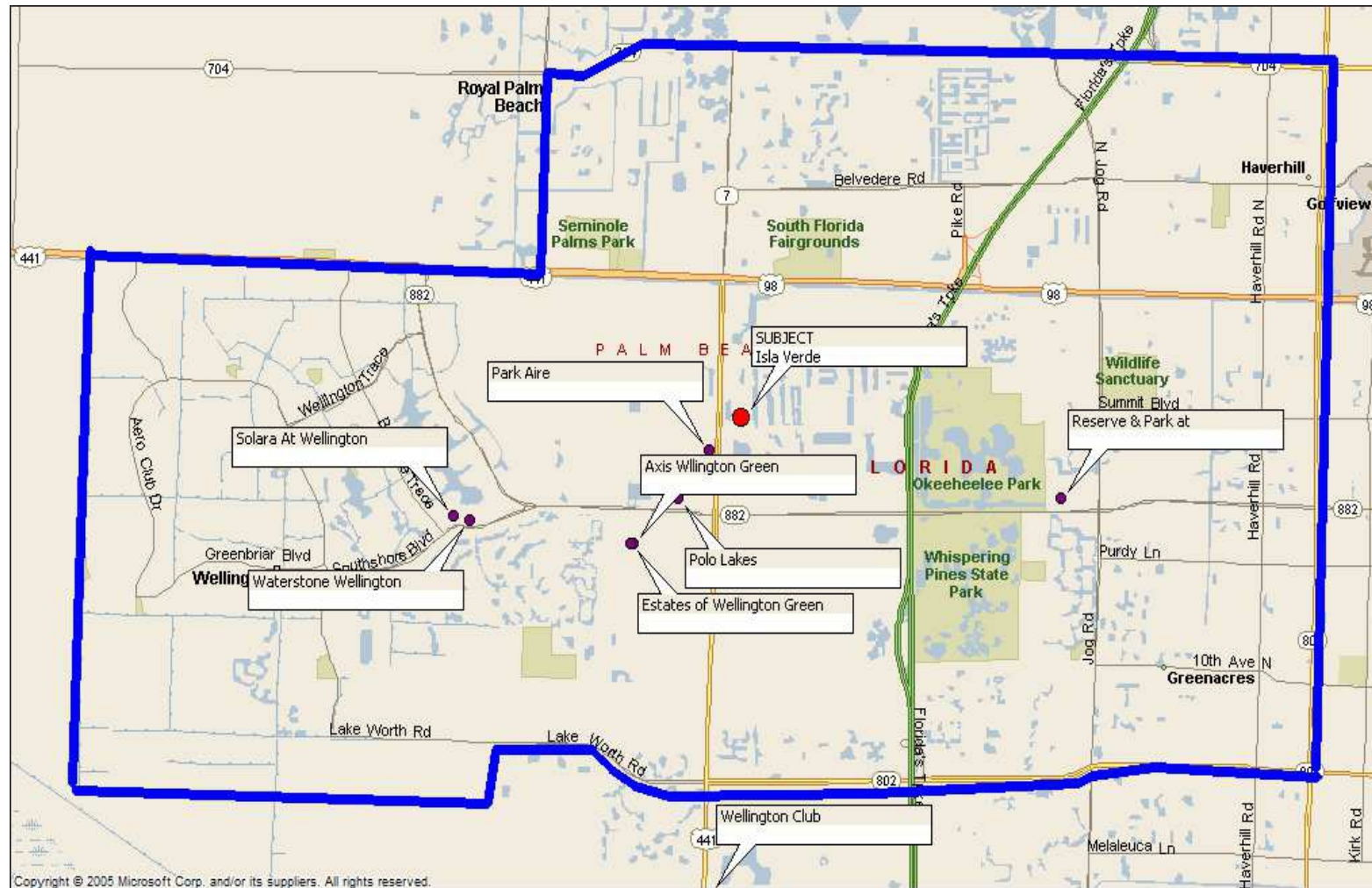
All buildings will be constructed in accordance with the National Association of Home Builder (NAHB) standards for Gold Rated Green Buildings. NAHB requires all proposed buildings to address six core areas:

- Lot Design, Preparation, and Development
- Resource Efficiency
- Energy Efficiency Water Efficiency
- Water Efficiency
- Indoor Environmental Quality
- Operation, Maintenance, and Building Owner Education

A minimum number of points must be obtained in all categories to achieve each level of certification. A Gold standard was achieved for a similar project the developer completed in Boynton Beach, FL. Seabourn Cove is a multifamily project with 456 units. The residents in this community enjoy lower operating costs through high-efficiency appliances and home features. Unlike the previous development plan, the developer is proposing a project with a myriad of energy efficient and sustainable measures, a few of which include:

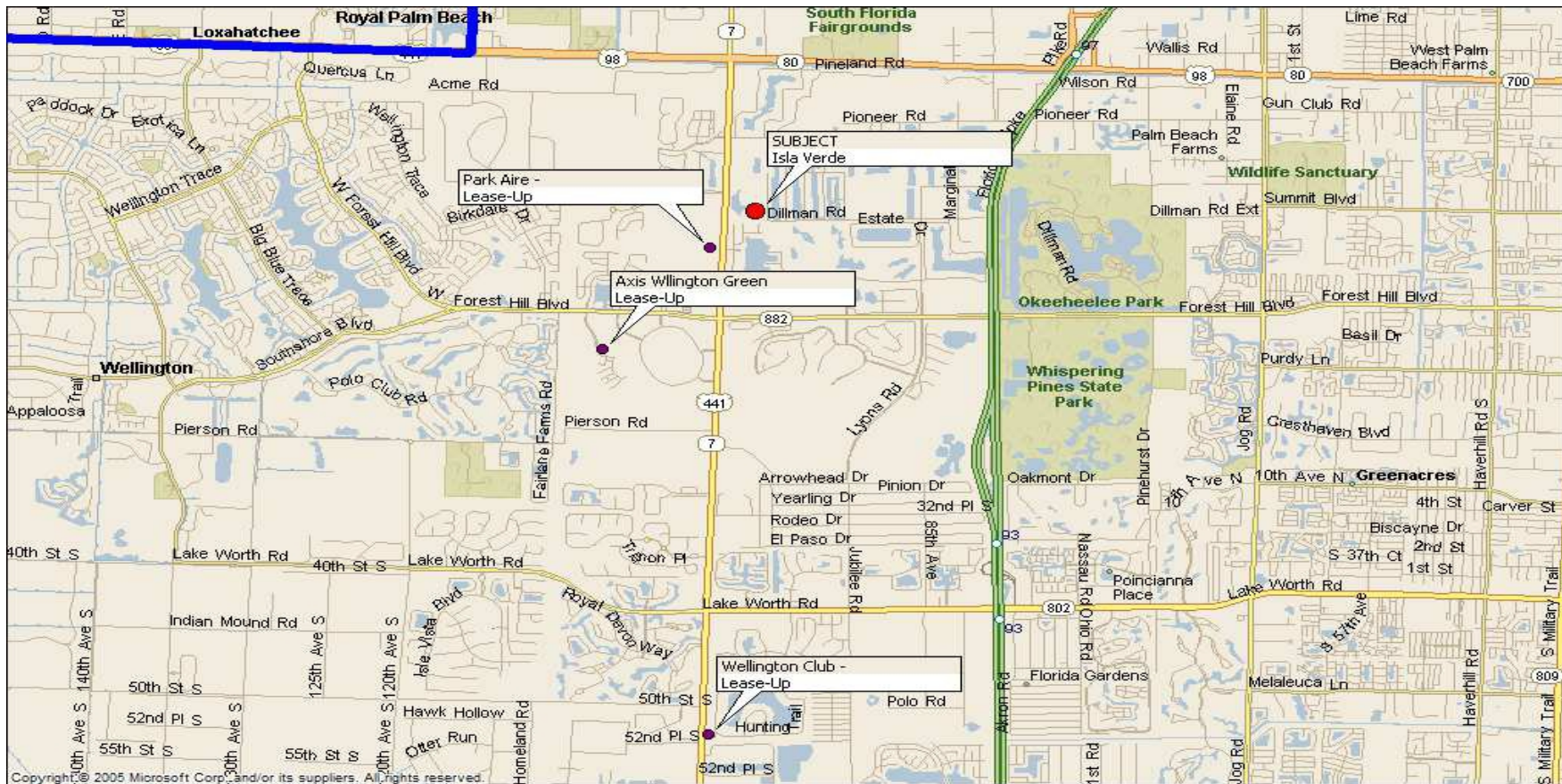
- Solar powered roof vents
- Energy star appliances Low flow water fixtures
- Insulated plumbing pipes
- Energy efficient exterior building and walkway lighting
- WaterSense Irrigation system
- Kitchen USB outlets
- Native, Drought Tolerant landscaping
- Use of recycled buildings and construction materials
- Two electric car stations
- All garages are pre-wired for electric car chargers
- Low VOC construction

The developer is committed to using the right products, materials, and techniques to deliver homes designed to perform more efficiently, provide more durability and create an improved indoor environment.



MAP 3

COMPARABLE/COMPETITIVE APARTMENT DEVELOPMENTS



MAP 4
Planned/Proposed
Under Construction and Lease-Up
Apartment Developments

**PRESERVE AREA MANAGEMENT PLAN:
MITIGATION, MAINTENANCE, AND MONITORING PLAN**

ISLA VERDE

VILLAGE OF WELLINGTON, PALM BEACH COUNTY, FLORIDA

**PREPARED FOR
PEBB ENTERPRISES**

**OCTOBER 4, 2006
REVISED: NOVEMBER 13, 2006**

**PREPARED BY
COTLEUR & HEARING, INC.
1934 COMMERCE LANE, SUITE 1
JUPITER, FLORIDA 33458
(561) 747-6336**

APPROVED: _____

The following Preserve Area Management Plan (PAMP) is provided by the developer of Isla Verde for approval by the South Florida Water Management District (SFWMD). A PAMP is required pursuant to Rule 40E-40 Florida Administrative Code (FAC) whenever wetland areas are found on a site proposed for development. Violation of the protective provisions described within or failure to manage the preserve area as directed in this plan may result in civil or administrative enforcement proceedings against the responsible person, corporation, association or other entity. Violations will result in the imposition of fines, restoration, mitigation, or other injunctive orders.

This document is divided into two parts.

Part I outlines the responsibilities of the developer. It includes the delineation of wetland areas required to be set aside pursuant to Rule 40E-40 F.A.C.

Part II outlines the maintenance responsibilities of Pebb Enterprises or other responsible entity.

PART I - RESPONSIBILITIES OF THE DEVELOPER OF ISLA VERDE

- 1.0** GENERAL
- 2.0** ENVIRONMENTAL ASSESSMENT
- 3.0** DELINEATION OF PRESERVE AREA
- 4.0** PROTECTION OF PRESERVE AREA
- 5.0** RESTORATION AND MANAGEMENT ACTIVITIES
- 6.0** TRANSFER OF RESPONSIBILITIES

Tables, Figures, and Attachments

Table 2.1: FLUCCS codes occurring on the Isla Verde site in Palm Beach County, Florida, May and June 2005

Table 2.2: Plant species occurring on the Isla Verde site in Palm Beach County, Florida, May and June 2005

Table 2.3: Listed wildlife species that could potentially occur at Isla Verde, Wellington, Palm Beach County, Florida, May and June 2006

Table 5.1 A list of plant zones occurring within each elevation Preserve Areas A and B on Isla Verde

Table 5.2 A list of native plant species, size, spacing, and quantities that will be used within each plant zone within Preserve Area A on Isla Verde

Table 5.3: A list of native plant species, size, spacing, and quantities that will be used within each plant zone within Preserve Area B on Isla Verde.

Table 5.4 Braun-Blanquet scale of cover and abundance

Table 5.5: Construction schedule including start and completion dates for construction, maintenance, and monitoring activities related to preserve areas on Isla Verde

Table 5.6 Cost estimate for mitigation, maintenance, and monitoring activities on preserve areas in Isla Verde, October 3, 2006



Table 5.7 Details of cost estimate of plant materials to be used in Preserve Area A in Isla Verde, October 3, 2006

Table 5.8 Details of cost estimate of plant materials to be used in Preserve Area B in Isla Verde, October 3, 2006

Figure 3.1: Isla Verde Site Map

Figure 5.1: Isla Verde Preserve Area A Cross Section Plan

Figure 5.2: Isla Verde Preserve Area A Wetland Plan

Figure 5.3: Isla Verde Preserve Area B Cross Section Plan

Figure 5.4: Isla Verde Preserve Area B Wetland Plan

Figure 5.5: Isla Verde Preserve Area A Monitoring Plan

Figure 5.6: Isla Verde Preserve Area B Monitoring Plan

Figure 5.7: Sample data sheet

Attachment 1: Environmental Assessment, Undeveloped Area West of Whippoorwill Way and East of State Road 7

Figures within Attachment 1:

Location Map

Aerial Map

USGS Quad Map

FLUCCS Map

Soils Map

Attachment 2: Littoral Planting Plan, Exhibits A through G

Attachment 3: Florida Exotic Pest Plan Council's 2005 List of Invasive Species

1.0 GENERAL

The owner/developer of ISLA VERDE, PEBB ENTERPRISES, Broward County, Florida, their successors, and assigns, their environmental consultants and contractors will implement Part I of this PAMP.

2.0 ENVIRONMENTAL ASSESSMENT

Several walking assessments of the 53.57 acre site identified as Isla Verde have been conducted by the environmental staff of Cotleur & Hearing Inc. on behalf of Pebb Enterprises. The objectives of the assessment were to determine jurisdictional wetlands, inventory vegetation and habitats present, and identify the presence, if any, of state-or federally-protected species.

In May and June 2005 permitting staff from the Army Corps of Engineers (USACE) and SFWMD, respectively, inspected wetland boundaries delineated by Cotleur & Hearing Inc. Information in this document reflects wetland boundaries approved by both agencies.

2.2 Existing Conditions

2.2.1 Location

The site is located within the Village of Wellington, immediately east of State Road 7 (also known as U.S. Highway 441), slightly north of Forest Hill Boulevard, and immediately west of Whippoorwill Way. Lake Worth Drainage District (LWDD) canals border the south (Lateral No.



Cotleur Hearing

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Jupiter, Florida 33458
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6) and west (Canal E-1) property lines. A single-family residential community, Whippoorwill Lakes is located to the east. The property is located in Section 6, Township 44S, Range 42E. Please refer to the Location Map, Aerial Map, and USGS Quad Map located in Attachment 1: Environmental Assessment, Undeveloped Area West of Whippoorwill Way and East of St. Rd. 7.

2.2.2 Vegetation Communities and FLUCCS Codes

The site consists of degraded uplands and wetlands, with little intact native habitat. Upland forested communities are dominated by exotic trees and shrubs and non-forested uplands are open and have been cleared and graded. Wetlands on the site are of low quality due to off-road vehicular traffic, berm construction, and presence of exotic and nuisance species. Small stands of native wetland vegetation exist. A general description of vegetation communities present on the site is included below followed by a complete list of habitat types occurring on site as defined by the Florida Land Use, Cover, and Forms Classification System (FLUCCS) and a list of plants occurring on the site; please also refer to Attachment 1.

This property is largely disturbed and dominant features include the large swathe of Australian pine surrounding the large borrow pond, which encompass much of the western half of the site. A large portion of the site consists of upland areas that have been disturbed by vehicular traffic creating ruts and furrows in the soil and filled areas dominated by exotic vegetation. In addition to the large borrow pond, a smaller borrow pond and borrow ditch are present in the eastern half of the site, and a small borrow pond is present within a cypress stand in the southeast corner. The ditch runs north onto the adjacent property and connects with the drainage system at this point. These smaller borrow areas are partially populated by native plants including American white waterlily (*Nymphaea odorata*) and spatterdock (*Nuphar advena*). A house and horse farm are located in the northeast corner; impacts to this area are consistent with typical residential and ranch land.

Amount of native habitat existing on the site is minimal and condition of these areas is marginal, with heavy impact of exotic plants and human disturbance. The most notable native habitats are the cypress stands in the southeast corner and the wet prairies in the southeast and northwest corners. Much of the cypress habitat has been invaded by exotics including Australian pine (*Casuarina equisetifolia*), earleaf acacia (*Acacia auriculiformis*) and Brazilian pepper (*Schinus terebinthifolius*). The wet prairie in the southeast and northwest corners have been invaded by shrubs including Carolina willow (*Salix caroliniana*), wax myrtle (*Myrica cerifera*), and Brazilian pepper.



Table 2.1: FLUCCS codes occurring on the Isla Verde site in Palm Beach County, Florida, May and June 2005. Refer to the FLUCCS Map in Attachment 1 for location and area of each FLUCCS Code.

FLUCCS Code	DESCRIPTION
111/251	Fixed Single Family Unit/Horse Farms
415	Scrubby Flatwoods
422	Brazilian Pepper
437	Australian Pine
438	Mixed Hardwoods
451	Exotic Hardwood Forest (Upland)
513	Ditches
524	Lakes Less Than 10 Acres Which are Dominant Features
526	Borrow Pit Pond/Lake
621	Cypress
641	Freshwater Marshes
643	Wet Prairie
6442	Spatardock
6445	Waterlily
741	Rural Land in Transition without Positive Indicators of Intended Activity

Table 2.2: Plant species occurring on the Isla Verde site in Palm Beach County, Florida, May and June 2005. This is not meant to be an exhaustive list of all plant species found on the site.

Common Name	Latin Name	Wetland Status
*Rosary pea	<i>Abrus precatorius</i>	-----
*Earleaf Acacia	<i>Acacia auriculiformis</i>	FAC
*Woman's tongue	<i>Albizia lebeck</i>	-----
*Elephant ears	<i>Alocasia ssp</i>	-----
Pond apple	<i>Annona glabra</i>	OBL
*Norfolk Island pine	<i>Araucaria excelsa</i>	-----
*Shoebottom Ardisia	<i>Ardisia elliptica</i>	FAC
Groundsel tree	<i>Baccharis glomeruliflora</i>	FAC
Bacopa	<i>Bacopa spp.</i>	OBL
Spanish needles	<i>Bidens spp</i>	-----
*Bishopwood	<i>Bischofia javanica</i>	-----
Swamp fern	<i>Blechnum serrulatum</i>	FACW
*Bougainvillea	<i>Bougainvillea spp.</i>	-----
Buttonbush	<i>Cephalanthus occidentalis</i>	OBL
Sawgrass	<i>Cladium jamaicense</i>	OBL
Day flower	<i>Commelina spp</i>	FACW
Tickseed	<i>Coreopsis spp.</i>	FACW
Rattlebox	<i>Crotalaria pallida</i>	-----
*Queen sago	<i>Cycas circinalis</i>	-----
Beggar's Lice	<i>Desmodium incanum</i>	-----



Strangler fig	<i>Ficus aurea</i>	FAC
Pennywort	<i>Hydrocotyle</i> spp	FAC
Moon vine	<i>Ipomea alba</i>	-----
Bloodroot	<i>Lachnanthes caroliniana</i>	FAC
*Chinese ligustrum	<i>Ligustrum sinense</i>	-----
*Japanese climbing fern	<i>Lygodium japonicum</i>	-----
*Melaleuca	<i>Melaleuca quinquenervia</i>	FAC
*Monstera	<i>Monstera</i> spp.	-----
Wax myrtle	<i>Myrica cerifera</i>	FAC
Maidencane	<i>Panicum hemitomom</i>	OBL
*Torpedograss	<i>Panicum repens</i>	FACW
Spoonflower	<i>Peltandra sagittifolia</i>	OBL
Slash Pine	<i>Pinus elliottii</i>	-----
Dotted smartweed	<i>Polygonum punctatum</i>	OBL
Whisk fern	<i>Psilotum nudum</i>	-----
Wild coffee	<i>Psycotria nervosa</i>	FAC
Wild coffee	<i>Psycotria sulzneri</i>	FAC
Royal palm	<i>Roystonea elata</i>	FACW
Duck Potato	<i>Sagittaria latifolia</i>	OBL
Carolina pond willow	<i>Salix caroliniana</i>	OBL
Elderberry	<i>Sambucus canadensis</i>	FAC
*Queensland umbrella	<i>Schefflera actinophylla</i>	-----
*Brazilian Pepper	<i>Schinus terebinthifolius</i>	FAC
*Java plum	<i>Syzygium cumini</i>	FAC
Pond cypress	<i>Taxodium ascendens</i>	OBL
Spanish moss	<i>Tillandsia usenoides</i>	-----
Cattail	<i>Typha</i> spp.	OBL
Caesar's weed	<i>Urena lobata</i>	-----
Bladderwort	<i>Utricularia</i> spp.	OBL
Shoestring fern	<i>Vittaria lineata</i>	-----
*Creeping oxeye	<i>Wedelia</i> spp	FAC
*Zebrina	<i>Zebrina</i> spp.	-----

*Denotes exotic species



2.2.3 Soils

According to the National Cooperative Soil Survey, soils occurring on this site include Arents-Urban Land Complex, 0 to 5 Percent Slopes, Arents-Urban Land Complex, Organic Substratum, Boca Fine Sand, Chobee Fine Sandy Loam, Florida Fine Sand, Jupiter Fine Sand, Pinellas Fine Sand, and Riviera Fine Sand. All soils except Arents-Urban Land Complex, Organic Substratum are on the Hydric Soils of Florida list. Soils are described below and coverage is shown on the Soils Map in Attachment 1.

Arents-Urban Land Complex, 0 to 5 Percent Slopes

This land complex consists of nearly level, somewhat poorly drained, sandy soils and urban land. The soils formed in thick layers of sandy fill material that were placed over low, wet mineral soils to make the areas suitable for urban land use. Included with this complex in mapping are areas of better drained soils, soils that have a higher content of shells in some layers, and a few soils that have limestone at a depth of less than 50 inches. The soils material is generally rapidly permeable in all layers. The available water capacity is low or very low. The organic-matter content and natural fertility are low in most places.

Arents-Urban Land Complex, Organic Substratum

The southeast corner has soils classified as these are nearly level, sandy soils and urban land overlying organic soils. The residential and stable area is also identified as containing this overburden soil. These typically have been filled for urban use. The Hydric Soils Handbook classifies this soil type as a non-hydric soil 95 percent of the time it is encountered.

Boca Fine Sand

The soils found predominantly in the southern half of the project are Boca Fine Sand. This is a nearly level, poorly drained soil that has a loamy subsoil underlain by fractured limestone at a depth of 24 to 40 inches. The natural vegetation is slash pine, cabbages palm, saw palmetto, southern bayberry, inkberry and a wide variety of native grasses. The Hydric Soils Handbook classifies this soil type to not be a hydric soil 80percent of the time.

Chobee Fine Sandy Loam

This soil is described, in this publication, as a nearly level, very poorly drained soil that has a surface layer of dark colored fine sandy loam and a subsoil of sandy clay loam. This soil is in depressions and low, nearly level areas between the Everglades and the coastal ridge. Under natural conditions, the water table is within 10 inches of the surface for more than 6 months in most years. Depressions are covered by water most of each year. Natural vegetation is pickerelweed, needlegrass, sawgrass, maidencane, ferns, sedges, and scattered areas of cypress, sweetbay, and wax myrtle. The book, Hydric Soils of Florida Handbook – Second Addition, by the Florida Association of Environmental Soil Scientists identifies the Chobee Fine Sandy Loam as being a hydric soil 100 percent of the time where it is encountered. Soil inspection at the time of the site visit confirmed the presence of this soil.

Floridana Fine Sand

Soils of this type are encountered along the central-southern boundary of the site. This soil type is nearly level, poorly drained and with a thick black sandy surface layer and loamy subsoil. Under natural conditions, the water table is within the surface for at least 6 months of the year.



Jupiter Fine Sand

This soil type is a nearly level, poorly drained, shallow, sandy soil that is in broad low flats, low hammocks, and in poorly defined drainage ways. Natural vegetation is cabbage palm, scattered cypress, maidencane, ferns, southern bayberry and a wide variety of grasses. The Hydric Soils Handbook classifies this soil type as hydric 70percent of the time it is encountered.

Pinellas Fine Sand

This soil is found in the northeast portion of the site. It is nearly level and poorly drained with a sandy, calcareous subsurface layer and a loamy subsoil. Under natural conditions the water table is within 10 inches of the surface for 1 to 3 months and within 10 to 30 inches for 2 to 6 months of the year. Natural vegetation occupying this soil type includes sabal palm, slash pine, saw palmetto and a series of grasses.

Riviera Fine Sand

This is a nearly level, poorly drained soil that has a thick sandy subsurface layer that tongues into a loamy subsoil at a depth of 20 to 40 inches. The natural vegetation is saw palmetto, slash pine, pineland three-awn, inkberry, blue maidencane, toothachegrass, chalky bluestem, scattered cabbage palm and some cypress trees. The Hydric Soils Handbook classifies this soil type as a hydric soil 90 percent of the time it is encountered in natural conditions.

2.3 Wildlife

2.3.1 Wildlife Encountered

Few vertebrate wildlife species were observed at the site. Potential prey species such as insects, small reptiles were in low numbers. The only tracks seen were raccoon.

2.3.2 Listed Species

During the site investigations, there were no listed animal species encountered. Habitat potential is low for protected animal species with the possible exception of the gopher tortoise and indigo snake. Neither species were observed at the site.



Table 2.3: Listed wildlife species that could potentially occur at Isla Verde, Wellington, Palm Beach County, Florida, May and June 2006.

Common Name	Scientific Name	FWC	FWS
Fish			
None			
Amphibians			
None			
Reptiles			
American alligator	<i>Alligator mississippiensis</i>	SSC	T(S/A)
Gopher tortoise	<i>Gopherus polyphemus</i>	SSC	
Eastern indigo snake	<i>Drymarchon corais couperi</i>	T	T
Birds			
Limpkin	<i>Aramus guarauna</i>	SSC	
Little blue heron	<i>Egretta caerulea</i>	SSC	
Snowy egret	<i>Egretta thula</i>	SSC	
Tricolored heron	<i>Egretta tricolor</i>	SSC	
White ibis	<i>Eudocimus albus</i>	SSC	
Wood stork	<i>Mycteria americana</i>	E	E
Snail kite	<i>Rostrhamus sociabilis</i>	E	E
Mammals			
None			
Plants			
Curtis' milkweed	<i>Asclepias curtissii</i>		E
Okeechobee gourd	<i>Curcubita okeechobeensis</i>	E	E
Pine pinweed	<i>Lechea divaricata</i>	E	
Hand fern	<i>Ophioglossum palmatum</i>	E	
Simpson zephyr-lily	<i>Zephyranthes simpsonii</i>	T	



2.4 Conclusion and Summary

The majority of the site, about 39.77 would be considered upland by the SFWMD and the USACE. Approximately 6.91 acres of the property would be considered wetland (cypress, wet prairie, freshwater marsh, spatterdock, and waterlily) and approximately 7.78 acres of the property would be other surface waters (lakes, borrow pit ponds, and ditches). There are no native upland communities or habitats. The majority of the upland acreage supports Australian pine. Wetlands within the site would be classified as fair to low, with regard to both function and quality. No listed species were observed at the site and minimal wildlife usage of the site was noted. Habitat for listed species is of generally low quality because much of the site is inhabited by exotic vegetation, has little to no vegetation cover, or is disturbed by farming and human impacts.

Permitting issues that relate to the site include listed threatened and endangered species, wetlands jurisdictional determinations, native upland habitat status, and storm water management and drainage features of the site. The USACE and SFWMD have both inspected the site and agree with wetland boundaries shown. Palm Beach County requires a 25 percent native upland reserve. Upland habitats on this site lack native canopy, shrub or herbaceous vegetation. These areas are dominated by exotic species with few native species and individuals present. Site drainage issues will be addressed by site plan engineering. There are no native or naturally occurring aquatic systems on the site.

3.0 DELINEATION OF PRESERVE AREAS

There are two preserve areas that will be set aside as mitigation for wetlands that will be impacted; please refer to Figures 3.1: Isla Verde Site Map.

3.1 Size and Location

For the purposes of this PAMP, Preserve Areas A and B shall be defined as the preserve areas shown on the Site Map, a reduced copy of which is attached as Figure 3.1. Preserve Area A refers to the 0.76-acre wetland preserve, including 0.38 acre of transitional buffer area, located midway along the eastern side of the property, and Preserve Area B refers to the 2.79-acre wetland preserve, including 0.68 acre of transitional buffer area, located in the southeastern corner of the property. In total there are 3.55 acres being preserved, including 2.48 acres of wetland preserve areas and 1.07 acres of transitional buffer area. The preserve areas shall be surveyed and staked based on the site plan for Isla Verde.

3.2 Recording and Labeling

The plat is to be labeled with the Official Record Book and page number where the PAMP is recorded. All preserve areas are to be labeled: "PRESERVE AREA – NOT TO BE ALTERED WITHOUT WRITTEN PERMISSION OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT".

4.0 PROTECTION OF PRESERVE AREAS

4.1 Barricading

Prior to clearing, the developer shall ensure that the preserve areas are barricaded. Areas that may receive surface waters with high turbidity shall be protected by the placement of silt screens, hay bales, or other turbidity control approved by SFWMD to minimize the effects of turbidity on



the wetland. These areas shall be protected with physical barriers during all clearing and construction activities in accordance with the following guidelines:

1. All preserve areas must be barricaded according to the approved site plan prior to any clearing of any part of the site or phase. An inspection of the barricades must be conducted by the SFWMD prior to any clearing of the site or phase.
2. Barricades must be constructed of a minimum of 1/4-inch diameter rope which is yellow or orange in color and made of nylon, polypropylene or other material with an expected useful life that exceeds the projected time for construction of the project or phase. The rope is to be attached to wooden poles (minimum rough size 2-inch by 2-inch), iron rebar, PVC pipe (minimum size 2-inch diameter) or other material with prior approval of the SFWMD.
3. The rope must be a minimum of 4 feet above the ground and must not be attached to any vegetation. Lathe strips and surveyor's flagging or similar materials are not acceptable. All barricades must be upright and maintained intact for the duration of construction.
4. Building and construction materials, debris, fill, trash, etc. are not permitted to be stored in the preserve areas. Fill is not allowed to encroach into the preserve areas.
5. Where areas are proposed for clearing (i.e. building envelope, utilities, drainage, road right-of-way) barricades must be offset at least 10 feet outside the preserve areas or placed at the dripline of the canopy trees, whichever is greater. Individual trees or groups of vegetation that are to be saved for landscape credit requirements are to be barricaded according to these guidelines.
6. All native vegetation which is not located in areas requiring their removal as part of the development plans shall be retained in their undisturbed state.
7. Failure to comply with these guidelines will be considered a violation of site plan approval. Further work on the project may be stopped until compliance with the barricade guidelines is achieved, and the applicant or developer may be brought before the SFWMD.

CONTRACTORS PLEASE NOTE: IT IS RECOMMENDED THAT YOU BECOME FAMILIAR WITH THESE GUIDELINES AND ALL PERMIT CONDITIONS. VIOLATION OF THESE GUIDELINES AND DAMAGE TO OR DESTRUCTION OF PRESERVE AREAS WILL BE NOTED. APPROPRIATE ACTION WILL BE TAKEN FOR THOSE CONTRACTORS WHO VIOLATE THE BARRICADE GUIDELINES.

Barricades shall be maintained in good order and condition through construction of the project or phase. Cut or fill must meet existing grade without encroaching into preserve areas. SFWMD



will authorize the removal of preserve area barricades after the baseline survey has been completed, inspected and approved.

4.2 Pre-construction Inspection

No construction shall commence until the barricades around the preserve areas have been approved and inspected by the SFWMD.

4.3 Prohibited Activities

Construction or alteration shall not be permitted within the preserve areas as they are reflected on Figure 3.1, except as necessary in connection with the proposed restoration or enhancement activities described below.

Prohibited activities within the preserve areas include:

1. Construction or storage of building materials, soil, debris, trash, cuttings, or hazardous materials;
2. Mowing or the placement of sod;
3. Removal or destruction of native trees, shrubs or other vegetation;
4. Excavation, dredging, soil removal, or activities which create erosion;
5. Parking or operation of vehicles;
6. Operation of utilities;
7. Erecting dikes or fences;
8. Recreational vehicle use;
9. Any activity that would be detrimental to drainage, flood control, water conservation, erosion control, or fish and wildlife habitat conservation or preservation;
10. Any easements, utility lines, or improvements.

4.3.1 Hazardous Material

No hazardous material other than fuel for refueling on-site heavy equipment will be stored during the construction phases. On-site fuel tanks shall not be located within 25 feet of any preserve area and shall be removed upon completion of construction work.

4.3.2 Vegetation Removal

The site shall be cleared and grubbed of all vegetation only in those areas indicated for roadways and stormwater management improvements, as shown on the approved construction plans. All trash and construction debris must be removed from the site.



4.3.3 Adjacent Buildings

Buildings proposed to be located adjacent to preserve areas shall be set back a minimum of 10 feet to allow for construction and maintenance without encroaching into the preserve. All other structures (i.e. pools, sheds, decks, fences) shall be set back a minimum of 5 feet.

4.4 Surface Water Management Plan

The preserve areas will be interconnected with the storm water management system, and connected to nearby lakes by bleeders, which will be set at control elevation 16.0 NGVD. Water quality treatment will take place in the lakes prior to discharge to the preserve areas. In order to protect water quality, the surface water management system for this development project shall be managed in strict accordance with the regulations of SFWMD governing such facilities. Unauthorized discharge of surface water shall not be made into the preserve areas. All storm water from developed areas will be collected by the use of valley gutters, swales, and inlets and will be directed to the lakes. All pre-development runoff will be maintained to insure the stability of the preserve areas. All runoff from the construction area shall be contained within the storm water management system with proper protection to insure removal of sedimentation and turbidity. Grade changes occurring outside of preserve areas will be engineered to avoid impacting preserve areas. Violation of the Surface Water Management Permit Conditions shall constitute violation of this PAMP.

4.5 Violations

If, upon the basis of inspection or other sources, SFWMD finds applicable laws, rules or regulations have been violated or not complied with, they have the right to enforce the provisions of the PAMP through any available administrative or civil proceeding. These proceedings may result in penalties, re-vegetation, and other remedies against any person, corporation, or other entity in violation of any of the provisions of the PAMP.

5.0 RESTORATION AND MANAGEMENT ACTIVITIES

Except for prescribed restoration activities, described below, the preserve areas shall be maintained in existing natural condition. All management of preserve areas will be in accordance with this PAMP. Management activities will be performed by or under the supervision of a qualified environmental professional. Management activities must be approved by the SFWMD.

5.1 Approved Activities

The following activities are allowed within preserve areas (with written approval from the SFWMD): any earthwork necessary to create the lake, tree island, and littoral zone (see section 5.2.1), planting native vegetation (see section 5.2.3), and removing exotic plant material, refuse, and dead or diseased plant material (see section 5.2.4).

5.2 Mitigation Plan

Preserve Area A consists of an existing borrow pond, borrow ditch, other deep water areas populated by spatterdock and waterlily, and disturbed land (FLUCCS Code 741: Rural Land in Transition). Proposed mitigation involves filling in the pond, ditch, and other deep water areas, and creating wet prairie habitat. Please refer to Figure 5.1 Isla Verde Preserve Area A Cross Section Plan showing proposed contours and Figure 5.2 Isla Verde Preserve Area A Wetland



Plan showing proposed planting zones. Please also refer to subsection 5.2.3, below, and Tables 5.1 and 5.2, which give more information about species that will be planted within each plant zone identified in Figure 5.2.

Preserve Area B consists of a pond populated by waterlily, cypress stands, and disturbed land. All habitats within this area have been disturbed to some degree. The large cypress swamp, approximately 0.69 acre, in the western side of the preserve area is good condition with some invasion by exotic plants. This area will be restored to a healthy cypress stand with exotic plant treatment. Cattails and other nuisance plants grow in the pond and the cypress swamp has been inundated with large spoil piles.

Preserve Area B will be restored to healthy wet prairie and cypress swamp habitat, and pond apple and freshwater marsh habitats will be created out of the disturbed land. Achieving mitigation goals will require the use of several methods of habitat restoration, described below. Please refer to Figure 5.3 Isla Verde Preserve Area B Cross Section Plan showing proposed contours and Figure 5.4 Isla Verde Preserve Area B Wetland Plan showing proposed planting zones. Please also refer to subsection 5.2.3, below, and Tables 5.1 and 5.3, which give more information about species that will be planted within each plant zone identified in Figure 5.4.

5.2.1 Removal of Spoil Piles

Disturbed land within Preserve A includes areas where spoil has been added. The borrow pond and ditch will be filled using this spoil. Within Preserve B, the cypress stands contain spoil piles. These piles were likely created when the adjacent street was constructed or when the land to the north of the wetlands was filled to raise ground surface elevation. These piles will be removed.

5.2.2 Hydrological Improvements

The preserve areas on the site are connected to the storm water management (SWM) system by pipes discharging into the preserve areas from on-site water control lakes. Control elevations for the entire site including preserve areas will be set to 16 feet. This elevation is consistent with the basin criteria established by SFWMD. Substantial littoral zones will be provided within the water control lakes; please refer to Attachment 2: Littoral Planting Plan, Exhibits A through D.

Water from the SWM system will be used to enhance the hydrological needs of preserve wetlands. The applicant proposes to enhance Preserve Area A by lowering the ground elevation to increase average water depth. The preserve area will be connected to proposed lakes by a bleeder and water will also be added through rainfall. Excess water will flow from the preserve into the closest lake to the northwest. Hydrological enhancements are designed to create more appropriate seasonal water levels for the proposed habitat and will benefit the wetland vegetation and related wildlife.

The ground elevation of Preserve Area B will also be lowered in the eastern side to increase average water depth. The existing cypress swamp in the west will remain intact at present ground elevations. The preserve area will be connected to proposed lakes by a bleeder and water will also be added through rainfall. Excess water will flow from the preserve into the closest lake to the northwest. Hydrological enhancements are designed to create more appropriate



seasonal water levels for the proposed habitat and will benefit the wetland vegetation and related wildlife.

It is expected that normal water levels will generally be between elevation 15.5 to 16.0 NGVD. Planting elevations for wetland species have been selected accordingly. Following storm events wetland water levels may attain levels above the control of 16.0 NGVD, but these periods will be brief. Planting elevations were selected for suitability under normal conditions, however brief periods of higher water and inundation should not impact planted species survival.

5.2.3 Planting Native Vegetation

Planting native vegetation will help ensure the success of desired habitats by supplementing native plant communities already in place, and by reducing the area available for colonization by exotic and nuisance species. Areas that will have large amounts of spoil removed and areas that will have large amounts of exotic and nuisance vegetation removed will likely require planting of native vegetation. The elevation at which each plant zone will occur is indicated in Table 5.1. Tables 5.2 and 5.3 list native species that will be planted in each plant zone.



Table 5.1: A list of plant zones occurring within each elevation Preserve Areas A and B on Isla Verde.

Elevation	Plant Zone
18-20	Buffer
17-18	Wet Prairie Zone
16-17	Cypress Zone/Wet Prairie Zone
15-16	Pond Apple Zone
14-15	Freshwater Marsh Zone

Table 5.2 A list of native plant species, size, spacing, and quantities that will be used within each plant zone within Preserve Area A on Isla Verde.

Transitional Buffer (18 to 20 feet)		Size	Spacing	Quantity
wiregrass	<i>Aristida stricta</i> var. <i>beyrichiana</i>	#3	3' OC	*
American beautyberry	<i>Callicarpa americana</i>	#3	3' OC	*
coco plum	<i>Chrysobalanus icaco</i>	#3	3' OC	*
laurel oak	<i>Quercus laurifolia</i>	#7	10' OC	50
live oak	<i>Quercus virginiana</i>	#30	10' OC	150
myrsine	<i>Rapanea punctata</i>	#3	3' OC	*
cabbage palm	<i>Sabal palmetto</i>	8' CT	10' OC	265
saw palmetto	<i>Serenoa repens</i>	#3	3' OC	*
* Total quantity of grasses and shrubs planted will equal 5,329 plants and will consist of a mixture of the species listed				
Wet Prairie Zone (17 to 18 feet)		Size	Spacing	Quantity
tickseed	<i>Coreopsis</i> sp.	#3	18" OC	*
flat sedge	<i>Cyperus odoratus</i>	#3	18" OC	*
spikerush	<i>Eleocharis</i> sp.	#3	18" OC	*
pipewort	<i>Eriocaulon</i> sp.	#3	18" OC	*
rush fuirena	<i>Fuirena scirpodea</i>	#3	18" OC	*
roundpod St. John's-wort	<i>Hypericum</i> sp.	#3	18" OC	*
gulf hairawn muhly	<i>Muhlenbergia capillaris</i> var. <i>filipes</i>	#3	18" OC	*
maidencane	<i>Panicum hemitomon</i>	#3	18" OC	*
meadowbeauty	<i>Rhexia</i> sp.	#3	18" OC	*
white-top sedge	<i>Rhynchospora colorata</i>	#3	18" OC	*
bulltongue arrowhead	<i>Sagittaria lancifolia</i>	#3	18" OC	*
yelloweyedgrass	<i>Xyris</i> sp.	#3	18" OC	*
* Total quantity of grasses and shrubs planted will equal 4,666 plants and will consist of a mixture of the species listed				



Cypress Zone (16 to 17 feet)		Size	Spacing	Quantity
red maple	<i>Acer rubrum</i>	#7	10' OC	68
giant leathern fern	<i>Acrostichum danaeifolium</i>	#3	18" OC	*
pond apple	<i>Annona glabra</i>	#7	10' OC	67
buttonbush	<i>Cephalanthus occidentalis</i>	#3	18" OC	*
royal fern	<i>Osmunda regalis</i>	#3	18" OC	*
lizard's tail	<i>Saururus cernuus</i>	#3	18" OC	*
pond-cypress	<i>Taxodium ascendens</i>	#7	10' OC	250
* Total quantity of grasses and shrubs planted will equal 2,566 plants and will consist of a mixture of the species listed				
Pond Apple Zone (15 to 16 feet)		Size	Spacing	Quantity
pond apple	<i>Annona glabra</i>	#7	10' OC	727
canna lily	<i>Canna flaccida</i>	#3	18" OC	*
green arrow arum	<i>Peltandra virginica</i>	#3	18" OC	*
cinnamon fern	<i>Osmunda cinnamomea</i>	#3	18" OC	*
pickerelweed	<i>Pontederia cordata</i>	#3	18" OC	*
broadleaf arrowhead	<i>Sagittaria latifolia</i>	#3	18" OC	*
fire flag	<i>Thalia geniculata</i>	#3	18" OC	*
* Total quantity of grasses and shrubs planted will equal 4,845 plants and will consist of a mixture of the species listed				

NOTE: Minimum coverage will equal a density of 1 plant every 2 feet, except in transitional buffer areas, where minimum coverage is 1 plant every 3 feet.



Table 5.3 A list of native plant species, size, spacing, and quantities that will be used within each plant zone within Preserve Area B on Isla Verde.

Transitional Buffer #1 (18 to 20 feet)		Size	Spacing	Quantity
wiregrass	<i>Aristida stricta</i> var. <i>beyrichiana</i>	#3	3' OC	*
American beautyberry	<i>Callicarpa americana</i>	#3	3' OC	*
coco plum	<i>Chrysobalanus icaco</i>	#3	3' OC	*
firebush	<i>Hamelia patens</i>	#3	3' OC	*
gulf hairawn muhly	<i>Muhlenbergia capillaris</i> var. <i>filipes</i>	#3	3' OC	*
wax myrtle	<i>Myrica cerifera</i>	#3	3' OC	*
dahoon holly	<i>Ilex cassine</i>	#15	10' OC	165
live oak	<i>Quercus virginiana</i>	#30	10' OC	150
myrsine	<i>Rapanea punctata</i>	#3	3' OC	*
cabbage palm	<i>Sabal palmetto</i>	8' CT	10' OC	195
saw palmetto	<i>Serenoa repens</i>	#3	3' OC	*
sand cordgrass	<i>Spartina bakeri</i>	#3	3' OC	*
* Total quantity of grasses and shrubs planted will equal 9,468 plants and will consist of a mixture of the species listed				

Transitional Buffer #2 (18 to 20 feet)		Size	Spacing	Quantity
wiregrass	<i>Aristida stricta</i> var. <i>beyrichiana</i>	#3	3' OC	*
American beautyberry	<i>Callicarpa americana</i>	#3	3' OC	*
coco plum	<i>Chrysobalanus icaco</i>	#3	3' OC	*
firebush	<i>Hamelia patens</i>	#3	3' OC	*
gulf hairawn muhly	<i>Muhlenbergia capillaris</i> var. <i>filipes</i>	#3	3' OC	*
wax myrtle	<i>Myrica cerifera</i>	#3	3' OC	*
slash pine	<i>Pinus elliottii</i>	#15	10' OC	250
live oak	<i>Quercus virginiana</i>	#30	10' OC	75
myrsine	<i>Rapanea punctata</i>	#3	3' OC	*
cabbage palm	<i>Sabal palmetto</i>	8' CT	10' OC	240
saw palmetto	<i>Serenoa repens</i>	#3	3' OC	*
sand cordgrass	<i>Spartina bakeri</i>	#3	3' OC	*
* Total quantity of grasses and shrubs planted will equal 2,585 plants and will consist of a mixture of the species listed				
Wet Prairie Zone/Cypress Zone (16 to 18 feet)		Size	Spacing	Quantity
red maple	<i>Acer rubrum</i>	#7	10' OC	153
giant leathern fern	<i>Acrostichum danaeifolium</i>	#3	18" OC	*
pond apple	<i>Annona glabra</i>	#7	10' OC	152
buttonbush	<i>Cephalanthus occidentalis</i>	#3	18" OC	*
tickseed	<i>Coreopsis</i> sp.	#3	18" OC	*



flat sedge	<i>Cyperus odoratus</i>	#3	18" OC	*
spikerush	<i>Eleocharis</i> sp.	#3	18" OC	*
pipewort	<i>Eriocaulon</i> sp.	#3	18" OC	*
rush fuirena	<i>Fuirena scirpodea</i>	#3	18" OC	*
roundpod St. John's-wort	<i>Hypericum</i> sp.	#3	18" OC	*
gulf hairawn muhly	<i>Muhlenbergia capillaris</i> var. <i>filipes</i>	#3	18" OC	*
royal fern	<i>Osmunda regalis</i>	#3	18" OC	*
maidencane	<i>Panicum hemitomon</i>	#3	18" OC	*
meadowbeauty	<i>Rhexia</i> sp.	#3	18" OC	*
white-top sedge	<i>Rhynchospora colorata</i>	#3	18" OC	*
bulltongue arrowhead	<i>Sagittaria lancifolia</i>	#3	18" OC	*
lizard's tail	<i>Saururus cernuus</i>	#3	18" OC	*
pond-cypress	<i>Taxodium ascendens</i>	#7	10' OC	375
yelloweyedgrass	<i>Xyris</i> sp.	#3	18" OC	*
* Total quantity of grasses and shrubs planted will equal 49,906 plants and will consist of a mixture of the species listed				
Pond Apple Zone (15 to 16 feet)		Size	Spacing	Quantity
pond apple	<i>Annona glabra</i>	#7	10' OC	350
canna lily	<i>Canna flaccida</i>	#3	18" OC	*
green arrow arum	<i>Peltandra virginica</i>	#3	18" OC	*
cinnamon fern	<i>Osmunda cinnamomea</i>	#3	18" OC	*
pickerelweed	<i>Pontederia cordata</i>	#3	18" OC	*
broadleaf arrowhead	<i>Sagittaria latifolia</i>	#3	18" OC	*
fire flag	<i>Thalia geniculata</i>	#3	18" OC	*
* Total quantity of grasses and shrubs planted will equal 2,906 plants and will consist of a mixture of the species listed				
Freshwater Marsh Zone (14 to 15 feet)		Size	Spacing	Quantity
rush	<i>Juncus</i> sp.	BR	18" OC	*
American lotus	<i>Nelumbo lutea</i>	BR	18" OC	*
American white waterlily	<i>Nymphaea odorata</i>	BR	18" OC	*
pickerelweed	<i>Pontederia cordata</i>	BR	18" OC	*
bulltongue arrowhead	<i>Sagittaria lancifolia</i>	BR	18" OC	*
fireflag	<i>Thalia geniculata</i>	BR	18" OC	*
* Total quantity of grasses and shrubs planted will equal 8,351 plants and will consist of a mixture of the species listed				



NOTE: Minimum coverage will equal a density of 1 plant every 2 feet, except in transitional buffer areas, where minimum coverage is 1 plant every 3 feet.

Any re-vegetation that might be necessary as a result of exotic vegetation removal or site construction activities shall consist of native plant species indicative of the existing plant community (use species included on the plant lists provided for each plant zone). This will ensure that preserve areas maintain natural plant associations. Re-vegetation plans shall be submitted to the SFWMD for approval prior to implementation.

Planting and re-vegetation will be achieved through the use of nursery stock plant materials or on-site transplants using the built area as a donor site. Herbaceous material shall be installed using liner or 2-inch nursery stock with on-center spacing as described in Tables 5.2 and 5.3. Woody material shall be 4 to 10 feet with on-center spacing to mimic natural association (i.e. informal massing, curvilinear planting arrangement, staggered heights, mixed species, etc.). Adequate water for temporary irrigation must be in place prior to commencement of planting. Irrigation shall continue until plants are established.

5.2.4 Removal of Exotic and Nuisance Vegetation

An exotic plant is a species designated as a Category I or II exotic according to the Florida Exotic Pest Plant Council, please refer to Attachment 3: Florida Exotic Pest Plant Council's 2005 List of Invasive Species. Exotic and nuisance plants shall be eradicated from the site, including preserve areas, concurrent with permitted vegetation removal and site development. A regularly-scheduled maintenance regime will be instituted to control exotic vegetation and keep levels below the acceptable amount.

Removal of exotic and nuisance vegetation will include eradication of Brazilian pepper (*Schinus terebinthifolius*), Old World climbing fern (*Lygodium microphyllum*), Australian pine (*Casuarina equisetifolia*), and cattail (*Typha* spp.). Other exotic plants listed as Category I and II on the Florida Exotic Pest Plant Council's 2005 List of Invasive Species, included as Attachment 3, will also be removed as encountered.

Exotic vegetation in preserve areas shall be removed by the least ecologically-damaging method available. Such methods include hand-pulling, hand-spading, chain saw, and treatment with an appropriate herbicide. No debris such as plant clippings or wood scraps shall be allowed in the preserve areas. Construction debris, abandoned equipment and trash shall be removed from the project area and disposed of according to local, state, and federal regulations.

Dead or diseased plant material may be removed only upon written finding by SFWMD that the material creates a safety hazard to buildings within the fall zone of the material. Re-vegetation may be required for any removed plant material.

5.2.5 Buffer Zones

SFWMD requires a buffer zone of appropriate native vegetation a minimum of 15 feet and an average of 25 feet in width be provided and maintained around all isolated wetland areas. The amount of buffer around Preserve Area A and B is 0.38 acre and 0.68 acre, respectively.

5.2.6 Fencing



A 4' tall chain link fence will be installed around the entire perimeter of both preserve areas. The fence will be posted with signs at each corner identifying the area as a preserve and informing the public that entry is prohibited; please refer to Figure 5.1 for the sign wording and placement.

5.3 Maintenance

A quarterly maintenance program shall be implemented to control invasive exotic and nuisance plant species and maintain preserve areas as functioning habitat. Control efforts will include species designated as a Category I or II exotic according to the Florida Exotic Pest Plant Council and will include any other exotic or nuisance vegetation that impede the growth of native plants and success of mitigation.

Exotic vegetation in preserve areas shall be removed by the least ecologically-damaging method available. Such methods include hand-pulling, hand-spading, chain saw, and treatment with an appropriate herbicide. No debris such as plant clippings or wood scraps shall be allowed in the preserve areas. Construction debris, abandoned equipment, and trash shall be removed from the project area and disposed of according to local, state, and federal regulations.

Dead or diseased plant material may be removed only upon written finding by SFWMD that the material creates a safety hazard to buildings within the fall zone of the material. Re-vegetation may be required for any removed plant material.

5.4 Preserve Area Monitoring

Monitoring of preserve areas shall be conducted in accordance with requirements of the jurisdictional agencies. Monitoring will be conducted by a qualified environmental professional and reports submitted to SFWMD. Monitoring will be conducted semi-annually, in March and April after the dry season and in October and November after the wet season, for 5 years. After the initial 5 year monitoring period, the preserve areas will be subject to periodic review and, if conditions warrant, will be subject to further monitoring and maintenance to ensure environmental integrity consistent with the provisions of this PAMP.

5.4.1 Vegetation Surveys

Upon completion of construction, exotic treatment, and planting activities within the preserve areas, transects and photo stations used to monitor vegetation will be established. Three transects, one in Preserve Area A and two in Preserve Area B will be established within the preserve areas; please see Figures 5.5 and 5.6 for locations of transects. These transects shall remain constant over the monitoring period. Transects shall be established to cross the full range of water depths and topographic gradients existing within the mitigation area.

At the time of station establishment (time zero) and subsequently during each monitoring session, information shall be collected concerning species composition, density and relative health of vegetation present at each station. A sample data sheet is included as Figure 5.7.

Ground layer: Vegetation occurring within the 0 to 1-meter vertical stratum is sampled within a 1 meter squared plot using the transect line as one side. Record species and percent cover of herbs originating within the plot.



Shrub layer: Vegetation occurring within the 1 to 2-meter vertical stratum is sampled within a square plot with each side measuring 3 meters using the PVC pole as the center. Record species and percent cover of shrubs originating within the plot.

Canopy species: Vegetation occurring within the 2-meter and greater vertical stratum is sampled within a square plot with each side measuring three meters using the PVC pole as the center. Record species and percent cover of trees originating within the plot.

Percent cover will be measured using the Braun-Blanquet scale of cover and abundance, Table 5.4. Data will be recorded on field sheets and later entered into a spreadsheet (Figure 5.7: Sample Data Sheet). Vegetation sampling will include exotic species to estimate percent cover over the entire preserve area. Additionally, information on relative health of plants will be recorded in the 'Status and Comments' sections on field sheets.

Table 5.4: Braun-Blanquet scale of cover and abundance.

BRAUN-BLANQUET SCALE OF COVER AND ABUNDANCE	
Scale	Definition
r	Solitary, with small cover
+	(A pronounced cross) few, with small cover
1	Numerous but less than 5% cover, or scattered, with cover up to 5%
2	Any number with 5-25% cover
3	Any number with 26-50% cover
4	Any number with 50-75% cover
5	Any number with more than 75% cover

5.4.2 Photographic Documentation

Photo stations shall be established in each of the locations indicated in Figures 5.1 and 5.2. Photos of each location will provide a panoramic view and record of conditions and changes within the wetland and buffer areas. Photos will also be taken at the endpoints of each transect looking toward the other end so the entire length is photographed. If vegetation obscures the transect, a photo taken along the transect will be included.

5.4.3 Wildlife Utilization

All wildlife species observed during monitoring activities will be recorded and included with vegetation sampling reports.

5.4.4 Staff Gauge and Piezometer

A staff gauge and piezometer shall be installed in each preserve area as shown on Figures 5.1 and 5.2. Water levels shall be monitored and recorded every two weeks.

5.4.5 Reports

Summary reports including a description of the condition of the preserve areas and a list of items needing attention within the preserve areas, will be prepared in April, after the dry season



monitoring. Annual reports documenting current conditions within the mitigation site shall be prepared in November, after the wet season monitoring. Annual reports will contain data from vegetation sampling, photo stations, wildlife utilization, and water level measuring devices (staff gauge and piezometer).

The objective of wet and dry season monitoring shall be to evaluate the success of the preserve area according to criteria established within this PAMP. Reports should also document changes including encroachment and growth of exotic or nuisance vegetation. Additionally, any violations of this PAMP should be addressed in summary or annual reports, including proposed remedial action. Monitoring will continue for a period of 5 years from the date of completion of the project or project phase encompassing the monitored area.

5.4.6 Inspections

SFWMD is authorized to inspect any regulated site or appurtenance. Duly authorized representatives of SFWMD may at reasonable times and upon proper identification enter upon and shall be given access to any premises for the purpose of such inspection.

5.4.7 Success Criteria

The success of the preserve areas shall be quantified through monitoring activities. Success criteria includes: 80 percent survivorship of planted vegetation, 80 percent coverage by native wetland vegetation, 0.5 to 0.7 feet of free-standing water in the deepest part of Preserve Area A and 1.5 to 1.7 feet in the deepest part of Preserve Area B for 5 to 7 months in most years, and no more than 1 percent coverage by exotic and nuisance vegetation. If greater than 20 percent of the planted vegetation dies replacement plants must be installed to achieve 80 percent. Coverage of native vegetation may consist of understory, shrub, and canopy vegetation and may include volunteer native wetland plants in addition to planted vegetation. More than 1 percent coverage of exotic and nuisance vegetation will not meet success criteria and will necessitate further exotic eradication practices by manual means.

5.5 Construction Schedule and Cost Estimate

Any deviation from construction schedule start dates, outlined below in Table 5.5, shall mandate pushing the activity dates of the construction schedule forward. However, moving the dates forward shall require that the construction schedule follow the guidelines and spatial time frames set forth in the following table. Following the initiation of the construction sequence, there will be a time-zero monitoring activity which will occur within 60 days of permit issuance. After the time-zero monitoring report, it is required that the first annual monitoring effort and subsequent report shall be submitted to the SFWMD within 1 year of the date of the time-zero report.



Table 5.5: Construction schedule including start and completion dates for construction, maintenance, and monitoring activities related to preserve areas on Isla Verde.

Activity	Estimated Start Date	Anticipated Completion Date
File conservation easement	01/15/2007	01/15/2007
Install barricades and silt screen	02/02/2007	02/15/2007
Remove exotic vegetation	02/15/2007	02/30/2007
Scrape-down elevation	02/15/2007	04/15/2007
Fill wetlands	02/30/2007	03/30/2007
Construct stormwater outfall	06/01/2007	08/01/2007
SFWMD inspection of grades/slopes	09/01/2007	11/01/2007
Plant wetlands	09/01/2007	11/15/2007
Plant buffers	09/01/2007	11/15/2007
Time zero monitoring	11/30/2007	12/15/2007
Time zero monitoring report to SFWMD	--	12/31/2007
First exotic removal	03/01/2008	03/15/2008
First interim monitoring	04/01/2008	04/15/2008
Second exotic removal	06/01/2008	06/15/2008
Annual exotic removal	10/01/2008	10/15/2008
First annual monitoring	11/01/2008	11/15/2008
First report due to SFWMD	--	11/31/2008
Second interim monitoring	04/01/2009	04/14/2009
Semi-annual exotic removal	06/01/2009	06/15/2009
Annual exotic removal	10/01/2009	10/15/2009
Second annual monitoring	11/01/2009	11/15/2009
Second report due to SFWMD	--	11/30/2009
Third interim monitoring	04/01/2010	04/15/2010
Semi-annual exotic removal	06/01/2010	06/15/2010
Annual exotic removal	10/01/2010	10/15/2010
Third annual monitoring	11/01/2010	11/15/2010
Third report due to SFWMD	--	11/30/2010
Fourth interim monitoring	04/01/2011	04/15/2011
Semi-annual exotic removal	06/01/2011	06/15/2011
Annual exotic removal	10/01/2011	10/15/2011
Fourth annual monitoring	11/01/2011	11/15/2011
Fourth report due to SFWMD	--	11/30/2011
Fifth interim monitoring	04/01/2012	04/15/2012
Semi-annual exotic removal	06/01/2012	06/15/2012
Annual exotic removal	10/01/2012	10/15/2012
Fifth annual monitoring	11/01/2012	11/15/2012
Fifth report due to SFWMD	--	11/30/2012

A detailed cost estimate is included below as Table 5.6. This includes costs for earthmoving, exotic and nuisance plant species removal and maintenance, planting, management, consultant fees, and monitoring activities.



Table 5.6 Cost estimate for mitigation, maintenance, and monitoring activities on preserve areas in Isla Verde, October 3, 2006

Mitigation Activities	Estimated Cost
Earthwork for Scrape Down	\$6,500.00
Survey and Staking	\$1,750.00
Top Soil / Organic Layer	\$3,500.00
Planting Materials (See Detail Of Costs)	\$306,014.15
Irrigation	\$8,500.00
Environmental Professional	\$ 4,200.00
Pine Mulch	\$16,500.00
Subtotal Costs	\$346,964.15
Maintenance & Monitoring Activities	Estimated Cost
5 Years Maintenance (\$ 15,000 per Year)	\$75,000.00
5 Years Monitoring (\$ 10,000 per Year)	\$50,000.00
Subtotal Maintenance & Monitoring	\$125,000.00
5% Contingency	\$23,598.21
Total Estimated Costs	\$495,562.36

Table 5.7 Details of cost estimate of plant materials to be used in Preserve Area A in Isla Verde, October 3, 2006

Tree species/Vegetation Type	Quantity	Unit Costs	Extended
Transitional Buffer			
laurel oak	50	\$25.00	\$1,250.00
live oak	150	\$195.00	\$29,250.00
cabbage palm	265	\$110.00	\$29,150.00
grasses and shrubs	5329	\$7.00	\$37,303.00
Wet Prairie Zone			
grasses and shrubs	4666	\$1.10	\$5,132.60
Cypress Zone			
red maple	68	\$25.00	\$1,700.00
pond apple	67	\$25.00	\$1,675.00
cypress	250	\$25.00	\$6,250.00
grasses and shrubs	2566	\$1.10	\$2,822.60
Pond Apple Zone			
Pond Apple	727	\$25.00	\$18,175.00
grasses and shrubs	4845	\$1.10	\$5,329.50
Sub Total Planting Costs			\$138,037.70

NOTE: See Total Planting Costs in Table 5.8 below.



Table 5.8 Details of cost estimate of plant materials to be used in Preserve Area A in Isla Verde, October 3, 2006

Tree species/Vegetation Type	Quantity	Unit Costs	Extended
Transitional Buffer #1			
dahoon holly	165	\$75.00	\$12,375.00
live oak	150	\$195.00	\$29,250.00
cabbage palm	195	\$110.00	\$21,450.00
grasses and shrubs	9468	\$7.00	\$66,276.00
Transitional Buffer #2			
slash pine	250	\$75.00	\$18,750.00
live oak	75	\$195.00	\$14,625.00
cabbage palm	240	\$110.00	\$26,400.00
grasses and shrubs	2585	\$7.00	\$18,095.00
Wet Prairie/Cypress Zone			
red maple	153	\$25.00	\$3,825.00
pond apple	152	\$25.00	\$3,800.00
cypress	375	\$25.00	\$9,375.00
grasses shrubs	49906	\$1.10	\$54,896.60
Pond Apple Zone			
Pond Apple	350	\$25.00	\$8,750.00
grasses and shrubs	2906	\$1.10	\$ 3,196.60
Freshwater Marsh Zone			
herbaceous plants	8351	\$0.75	\$ 6,263.25
Sub Total Planting Costs			\$167,976.45
Total Planting Costs			\$306,014.15



6.0 ENFORCEMENT PROVISION

The South Florida Water Management District shall have the right to enforce the provisions of the PAMP through any available administrative or civil proceeding which may result in penalties. Appropriate revegetation and other remedies may be required of any person, corporation or other entity found in violation of any of the provisions of the PAMP.

7.0 TRANSFER OF RESPONSIBILITIES

At such time as the developer is ready to transfer control of Isla Verde to the property owners, whether the developer retains ownership of parcels within the project or not, an environmental professional shall certify to SFWMD in writing that the preserve areas are in full compliance with this PAMP. All transfers shall be consistent with the requirements of subsection 4.3.7.8.C of the Basis of Review for Environmental Resource Permit Applications.

7.1 Transfer of Responsibilities—Part II

The developer will be responsible for all requirements of Part II of the PAMP until such time as the developer transfers responsibility to the property owners association. Developer will pay this share of total cost of management activities or fines on a per lot basis if he retains ownership of lots.



PART II - RESPONSIBILITIES OF THE ISLA VERDE PROPERTY OWNERS ASSOCIATION

13.0 GENERAL

14.0 DELINEATION OF PRESERVATION AREAS

15.0 PROHIBITED ACTIVITIES

16.0 MAINTENANCE AND MANAGEMENT ACTIVITIES

17.0 MISCELLANEOUS PROVISIONS AND RESTRICTIONS

18.0 ANNUAL REPORTS

13.0 GENERAL

The owners of parcels within Isla Verde and the Isla Verde Property Owners' Association have continuing management responsibility for the preserve areas on the property.

14.0 DELINEATION OF PRESERVE AREA

For a description of the preserve areas see Part I, Section 3.0.

15.0 PROHIBITED ACTIVITIES

For a description of all prohibited activities in or adjacent to preserve areas see Part I, Section 4.3.

16.0 MAINTENANCE AND MANAGEMENT ACTIVITIES

For a description of all maintenance and management responsibilities see Part I, Sections 5.3 through 5.5.

16.1 Transfer of Responsibilities

After transfer of responsibilities funding for all maintenance and management programs will be the responsibility of the Isla Verde Property Owners' Association. Management of all preserve areas shall be the responsibility of the Isla Verde Property Owners' Association. The property owners' association shall be charged with maintaining the preserve areas in their existing condition and with the periodic removal of invading exotics as noted in Part I, Section 5.3.

17.0 MISCELLANEOUS PROVISIONS AND RESTRICTIONS

For a description of miscellaneous provisions and restrictions see Part I, Sections 6.0 and 7.0.

18.0 MONITORING REPORTS

For a description of requirements for monitoring reports see Part I, Section 5.4.5.

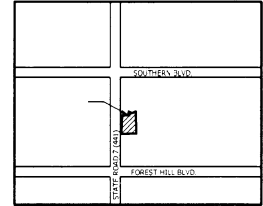


FIGURE 3.1 ISLA VERDE SITE MAP

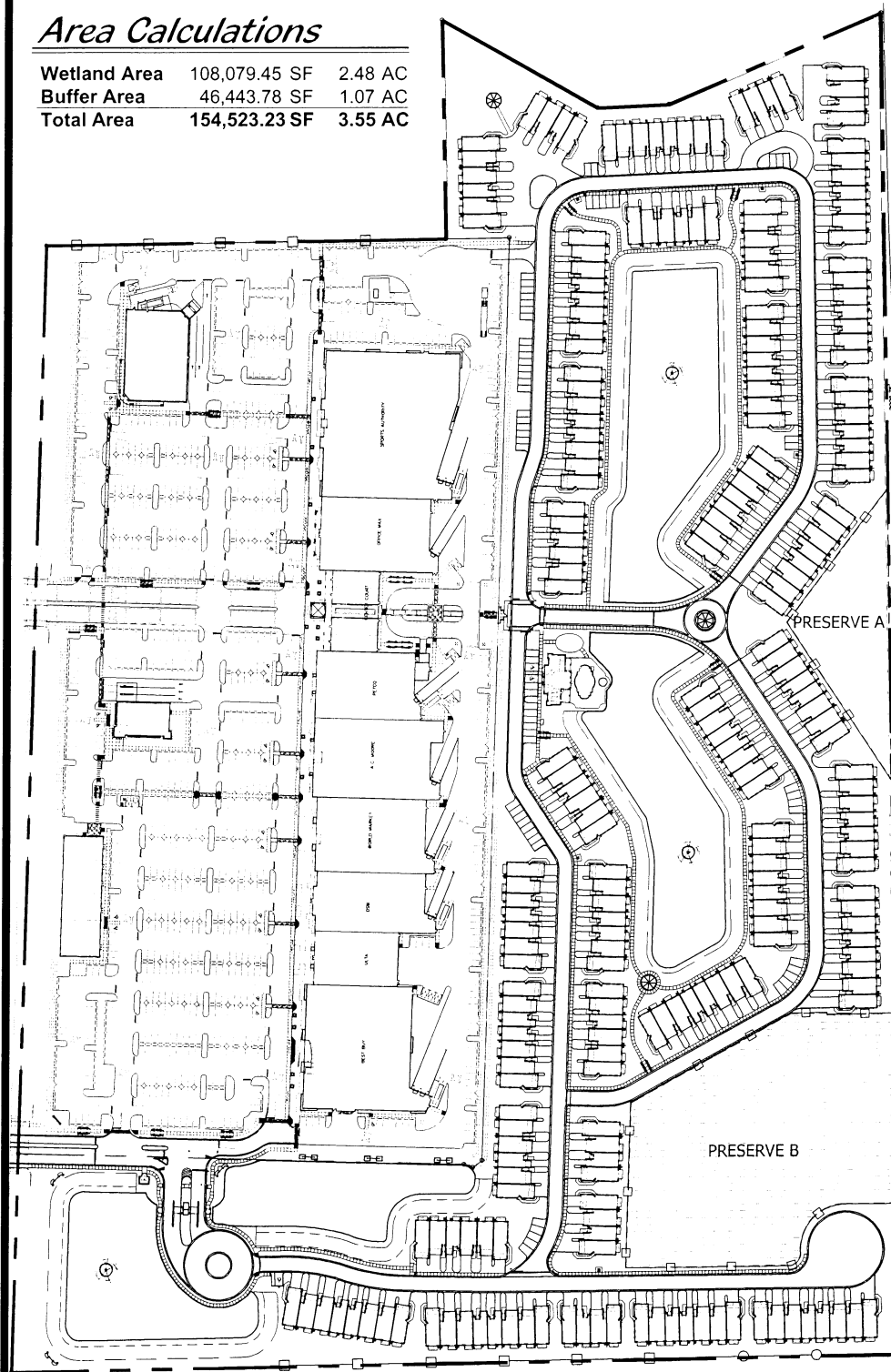


Area Calculations

Wetland Area	108,079.45 SF	2.48 AC
Buffer Area	46,443.78 SF	1.07 AC
Total Area	154,523.23 SF	3.55 AC



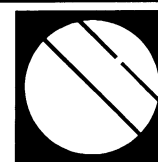
Location Map North



PLAN VIEW North
Scale: 1" = 250'

DESIGNED DEH
DRAWN FMM
APPROVED DEH
JOB NUMBER 04-1216
DATE 10-04-06
REVISIONS 11-13-06

*Isla Verde
SITE MAP*



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FIGURE 5.1 ISLA VERDE PRESERVE AREA A CROSS SECTION PLAN



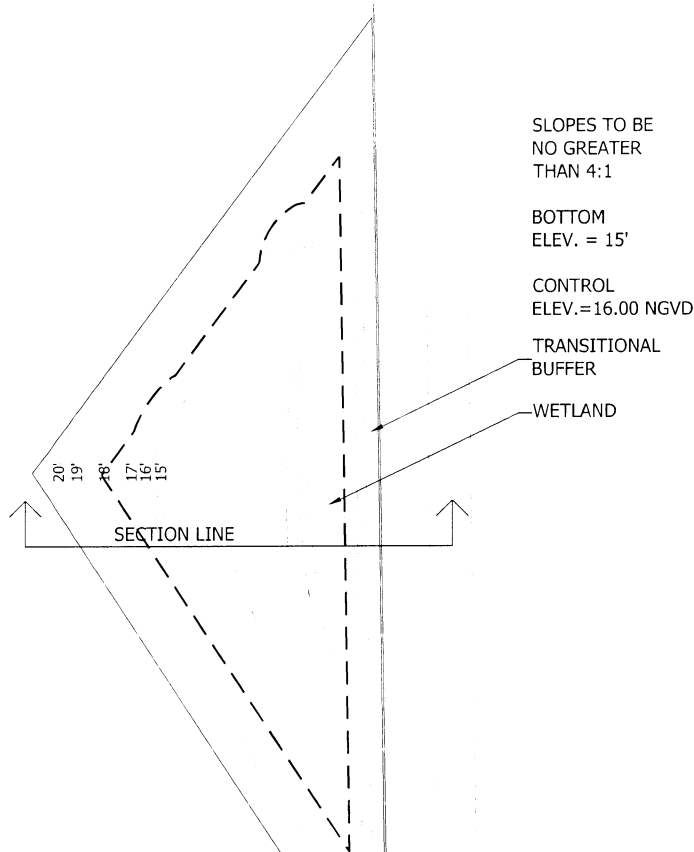
General Notes

Lake Worth Drainage District manages surrounding canal elevations, which on-site lakes and preserve areas are connected to at 16.00 NGVD throughout the year.

Buffer maintains 25' average width except in the area adjacent to the structural barrier (wall) where a 12.5' buffer width is provided.

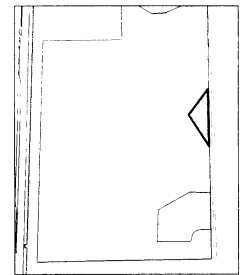
Area Calculations

Wetland Area	16,283.56 SF	0.37 AC
Buffer Area	16,636.38 SF	0.38 AC
Total Area	32,919.94 SF	0.76 AC

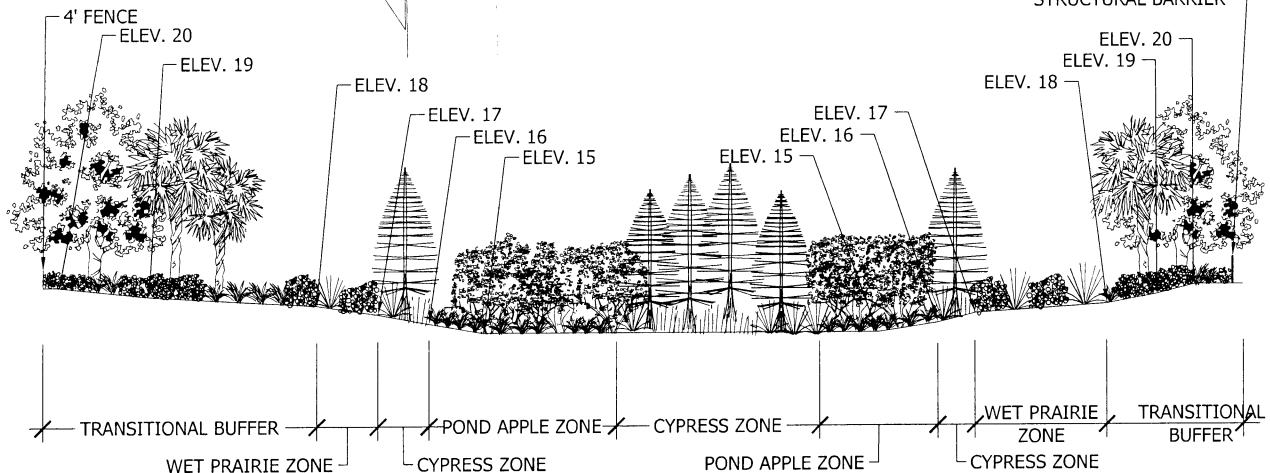


PLAN VIEW

Scale: 1" = 80'



Key Map

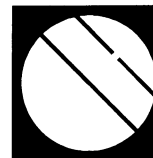


CROSS SECTION

Scale: 1" = 20'

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*Isla Verde
Preserve Area A
Cross Section Plan*



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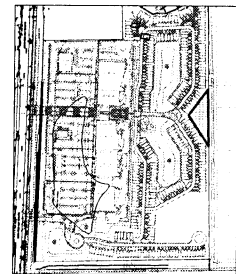
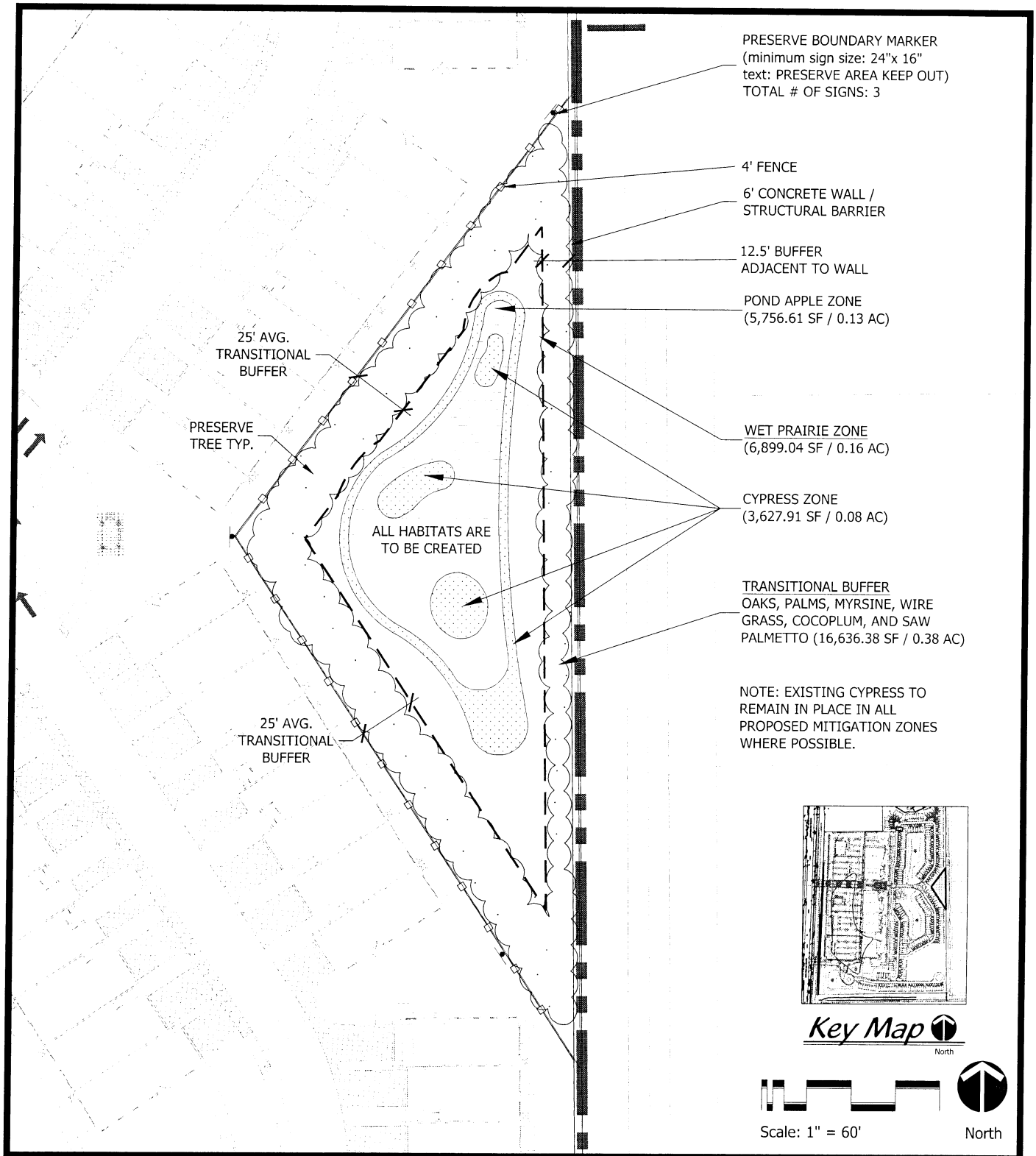
FIGURE 5.2 ISLA VERDE PRESERVE AREA A WETLAND PLAN



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Key Map 



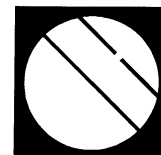
Scale: 1" = 60'



North

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*Isla Verde
Preserve Area A
Wetland Plan*



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FIGURE 5.3 ISLA VERDE PRESERVE AREA B CROSS SECTION PLAN



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PAMP.doc

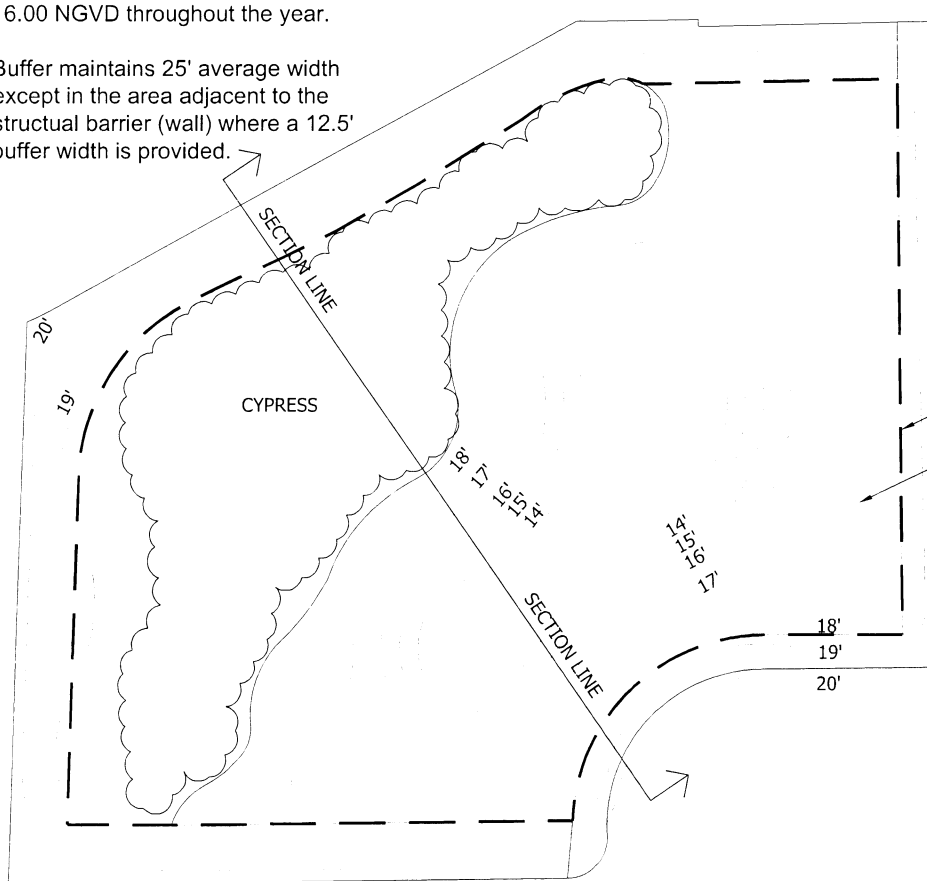
General Notes

Lake Worth Drainage District manages surrounding canal elevations, which on-site lakes and preserve areas are connected to at 16.00 NGVD throughout the year.

Buffer maintains 25' average width except in the area adjacent to the structural barrier (wall) where a 12.5' buffer width is provided.

Area Calculations

Wetland Area	91,795.89 SF	2.11 AC
Buffer Area	29,807.40 SF	0.68 AC
Total Area	121,603.29 SF	2.79 AC



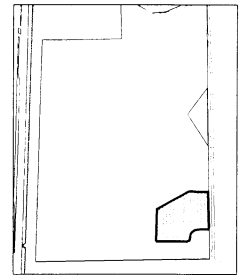
SLOPES TO BE
NO GREATER
THAN 4:1

BOTTOM
ELEV. = 14'

CONTROL
ELEV. = 16.00 NGVD

TRANSITIONAL
BUFFER

WETLAND



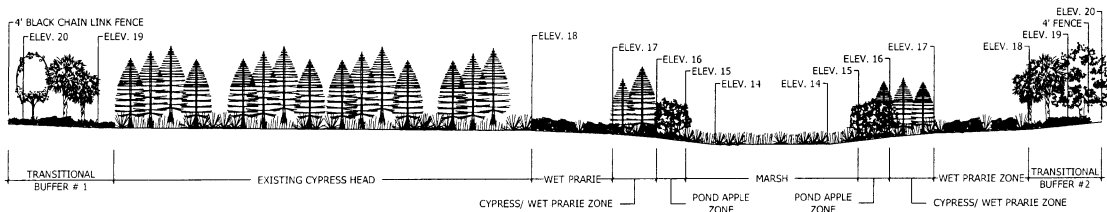
PLAN VIEW

Scale: 1" = 80'



Key Map

North

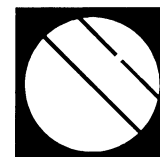


CROSS SECTION

Scale: 1" = 50'

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Isla Verde Preserve Area B Cross Section Plan



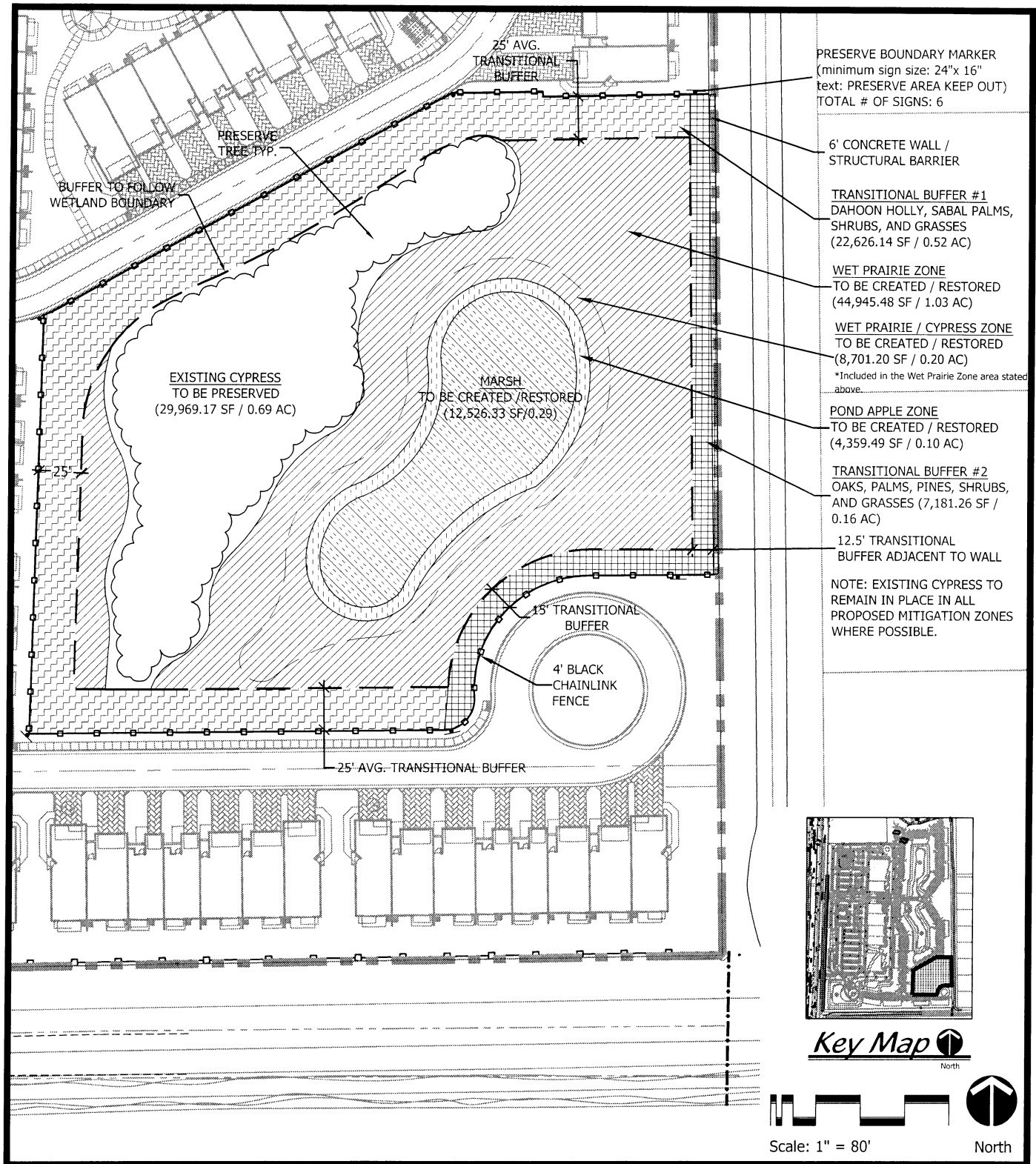
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FIGURE 5.4 ISLA VERDE PRESERVE AREA B WETLAND PLAN



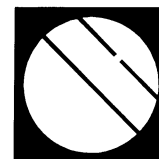
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*Isla Verde
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Wetland Plan*



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FIGURE 5.5 ISLA VERDE PRESERVE AREA A MONITORING PLAN



FIGURE 5.6 ISLA VERDE PRESERVE AREA B MONITORING PLAN



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FIGURE 5.7 SAMPLE DATA SHEET



**ATTACHMENT 1
ENVIRONMENTAL ASSESSMENT,
UNDEVELOPED 53.85 ACRES WEST OF
WHIPPOORWILL WAY AND EAST OF STATE
ROAD 7**



ATTACHMENT 2 LITTORAL PLANTING PLAN



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ATTACHMENT 3
FLORIDA EXOTIC PEST PLANT COUNCIL'S
2005 LIST OF INVASIVE SPECIES



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Cotleur & Hearing

Landscape Architects | Land Planners | Environmental Consultants

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May 7, 2014

Planning, Zoning, and Adjustment Chairman and Boardmembers,

The Applicant has been working diligently with your staff over the last several months to achieve a quality multi-family community, which is before you for consideration this evening. As part of your recommendation, we request your consideration of the following changes to conditions No. 14 and 33 in Resolution 2014-26.

14. *"Building height of all structures shall not exceed 35 feet. The portion of buildings within ~~50~~ 40 feet of the project east and south property lines shall not exceed two-story and a maximum building height of 25 feet as measured to the midpoint of the roof."*
33. *"The six (6) foot high opaque concrete wall along the north, south, and east perimeter buffers shall be constructed on a berm no less than two feet high and shall be completed prior to the issuance of any Certificate of Occupancy for any residential building within residential portion of the project. A six (6) foot high black polyvinyl coated chain link fence may be installed when adjacent to the preserve areas, except for the triangular 0.76-acre preserve area located along the east property line, where an eight-foot high opaque concrete wall is required. The required landscaping shall be installed on both sides of the wall within the north, south, and east perimeter buffers."*

Proposed New Condition:

"The heights of an appropriate number of trees adjacent to the buildings along the eastern perimeter buffer shall be a minimum height of 20 feet at installation."

The subject changes are proposed in order to provide further screening and buffering to the adjacent Whippoorwill residents. The proposed architecture contains a two-story front façade and three-story rear façade. The two-story façade faces the eastern property line, which is adjacent the Whippoorwill community. The proposed site plan provides a greater setback from the eastern property line than the current approved site plan does and it provides more significant landscaping enhancements. In addition, the Applicant is agreeable to locating the six-foot high concrete wall on a berm to provide greater screening to the adjacent residents. The Applicant is also proposing a new condition requiring some of the trees located within the eastern perimeter buffer to be a minimum of 20 feet at installation.

We appreciate the Board's consideration of this request and can answer any questions you may have.

Sincerely yours,

Cotleur & Hearing, Inc.

Donaldson Hearing ASLA, LEED® AP



Kimley-Horn
and Associates, Inc.

RECEIVED

By Planning and Zoning at 5:55 pm, Dec 16, 2013

December 11, 2013

Damian Newell, Associate Planner
City of Wellington
12300 Forest Hill Boulevard
Wellington, FL, 33414

■
Suite 200
1920 Wekiva Way
West Palm Beach, Florida
33411
TEL 561 845 0665

**Re: Isla Verde Residential: Comprehensive Plan Amendment Application
Wellington, Florida
KHA # 144118005**

Dear Mr. Newell:

Kimley-Horn and Associates, Inc. has prepared the following comprehensive plan amendment application to address the requirements of the Village of Wellington:

a. Determine the trip generation for the current future land use designation.

The project site is currently approved for 245 townhomes. The trip generation potential of the approved development is 1,715 daily trips, 106 AM peak hour trips (18 in, 88 out) and 125 PM peak hour trips (84 in, 41 out) Table 1 summarizes this calculation.

TABLE 1 ISLA VERDE RESIDENTIAL/ISLA VERDE COMMERCIAL/ROYAL OFFICE/ROYAL PALM TOYS TRIP GENERATION COMPARISON								
LAND USE	INTENSITY	DAILY Trips	AM PEAK HOUR			PM PEAK HOUR		
			TOTAL	IN	OUT	TOTAL	IN	OUT
<u>Approved Development</u> Condo/Townhomes	245 DU	1,715	106	18	88	125	84	41
Note: Trip generation was calculated using the following data: Daily Traffic Generation Condo/Townhomes [PBC] = $T = 7 (X)$ AM Peak Hour Traffic Generation Condo/Townhomes [PBC] = $\ln(T) = 0.80 \ln(X) + 0.26$; (17% in, 83% out) PM Peak Hour Traffic Generation Condo/Townhomes [PBC] = $\ln(T) = 0.82 \ln(X) + 0.32$; (67% in, 33% out) <div style="text-align: right;">© 2013, Kimley-Horn and Associates, Inc. 12/11/2013</div>								

k:\wpb_tpto\1441\144118005 royal palm toys\december 2013\comp plan_calcs.xlsx\trip gen



b. Determine the trip generation for the proposed future land use designation.

It is proposed to develop the site with 360 apartment units. The trip generation potential of the proposed development is 2,520 daily trips, 180 AM peak hour trips (36 in, 144 out) and 223 PM peak hour trips (145 in, 78 out). Table 2 summarizes this calculation.

TABLE 2 ISLA VERDE RESIDENTIAL/ISLA VERDE COMMERCIAL/ROYAL OFFICE/ROYAL PALM TOYS TRIP GENERATION COMPARISON								
LAND USE	INTENSITY	DAILY Trips	AM PEAK HOUR			PM PEAK HOUR		
			TOTAL	IN	OUT	TOTAL	IN	OUT
<u>Proposed Development</u> Apartments	360 DU	2,520	180	36	144	223	145	78
Trip Differential (Proposed - Approved)		805	74	18	56	98	61	37
Trip Differential (Proposed - Existing)		2,520	180	36	144	223	145	78
Note: Trip generation was calculated using the following data: Daily Traffic Generation Apartments [PBC] = T = 7 (X) AM Peak Hour Traffic Generation Apartments [PBC] = T = 0.49 Ln(X) + 3.73; (20% in, 80% out) PM Peak Hour Traffic Generation Apartments [PBC] = T = 0.62 (X); (65% in, 35% out)								
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c. Determine the net trip increase between the proposed future land use designation and the current future land use designation.

The net increase in trip is summarized in Table 3.



TABLE 3 ISLA VERDE RESIDENTIAL/ISLA VERDE COMMERCIAL/ROYAL OFFICE/ROYAL PALM TOYS TRIP GENERATION COMPARISON								
LAND USE	INTENSITY	DAILY Trips	AM PEAK HOUR			PM PEAK HOUR		
			TOTAL	IN	OUT	TOTAL	IN	OUT
<u>Approved Development</u> Condo/Townhomes	245 DU	1,715	106	18	88	125	84	41
<u>Proposed Development</u> Apartments	360 DU	2,520	180	36	144	223	145	78
Trip Differential (Proposed - Approved)		805	74	18	56	98	61	37
Trip Differential (Proposed - Existing)		2,520	180	36	144	223	145	78
Note: Trip generation was calculated using the following data:								
Daily Traffic Generation								
Condo/Townhomes	[PBC]	=	T = 7 (X)					
Apartments	[PBC]	=	T = 7 (X)					
AM Peak Hour Traffic Generation								
Condo/Townhomes	[PBC]	=	Ln(T) = 0.80 Ln(X) + 0.26; (17% in, 83% out)					
Apartments	[PBC]	=	T = 0.49 Ln(X) + 3.73; (20% in, 80% out)					
PM Peak Hour Traffic Generation								
Condo/Townhomes	[PBC]	=	Ln(T) = 0.82 Ln(X) + 0.32; (67% in, 33% out)					
Apartments	[PBC]	=	T = 0.62 (X); (65% in, 35% out)					
© 2013, Kimley-Horn and Associates, Inc.								
k:\wpb_tpto\1441\144118005 royal palm toys\december 2013\comp_plan_calcs.xlsx\trip gen (3)								
12/11/2013								

- d. Determine the project trip distribution on all roadways based on the following table.

Net Trip Increase	Distance
51 – 1,000	Directly Accessed Links
1,001 – 4,000	1 mile
4,001 – 8,000	2 miles
8,001 – 12,000	3 miles
12,001 – 20,000	4 miles
20,000 – up	5 miles

The net daily trips for analysis for the existing and short term scenarios are 2,520 daily trips, which corresponds to a one-mile radius. The net daily trips for analysis for the long term scenario are 805 daily trips, which corresponds to the directly accessed links. The project trip assignment is to remain the same as under the existing approval. The radius of development impact for the existing and short-term scenarios is 1 mile. The radius of development impact for the long-term scenario is the directly accessed links.



e. Determine LOS with existing traffic and project traffic.

The significantly impacted roadway links will all operate at a level of service (LOS) D or better with the project traffic under existing conditions. Table 4 summarizes the significance calculations for the existing and short-term scenarios. Table 5 summarizes the 2013 capacity analysis.

f. Determine LOS with projected five year traffic and project traffic.

The significantly impacted roadway links will all operate at a level of service (LOS) D or better with the project traffic under 2018 conditions. Table 6 summarizes the 2018 capacity analysis.

g. Determine LOS for 2035 with the increase in traffic due to the proposed land use amendment.

The links directly accessed by the project site will operate at a level of service (LOS) D or better with the project traffic under 2035 conditions. Furthermore, compared to a 3 percent significance threshold, the directly accessed links are not considered to be significantly impacted by the project under the long-range analysis requirements. Table 5 summarizes the 2035 capacity analysis. The model volumes reported on this table are attached.

h. Consistency with the Transportation Element.

This proposed amendment is consistent with Objective 1.1 of the Transportation Element of the adopted Wellington Comprehensive Plan.

Objective 1.1 requires that new development promotes a safe, convenient and efficient motorized and non-motorized transportation system which provides: 1) acceptable levels of service; 2) alternate routes of travel for major road flows; and 3) minimal vehicular intrusion into residential neighborhoods.

All roadway links which are significantly impacted by the project traffic are projected to operate at a level of service (LOS) D or better with the project



traffic under existing, short-term and long-term buildout conditions. The proposed development will provide internal connections between the proposed residential development and the existing commercial retail to minimize the use of State Road 7. Furthermore, the proposed development does not provide direct access to any existing residential neighborhoods. Therefore, the proposed amendment is consistent with the primary objective of the Transportation Element of the adopted Wellington Comprehensive Plan.

We trust that the data collection and analysis provided address the requirements of the Village of Wellington. If there are any additional comments or questions, please contact me at (561) 845-0665.

Sincerely,

KIMLEY HORN AND ASSOCIATES, INC.



Attachments

K:\WPB_TPTO\1441\144118005 Royal Palm Toys\December 2013\12-5-13 cpa.doc



TABLE 4
ISLA VERDE RESIDENTIAL/ISLA VERDE COMMERCIAL/ROYAL OFFICE/ROYAL PALM TOYS
SHORT-TERM SIGNIFICANCE ANALYSIS

ROADWAY SEGMENT	COMMITTED NUMBER OF LANES	Classification	LOS D GEN. SVC. VOLUME	TRIP ASSIGNMENT		AM PEAK HOUR				PM PEAK HOUR			
				% ASSIGN- MENT	NB/EB IN/OUT?	TRIPS		% IMPACT		TRIPS		% IMPACT	
						NB/EB	SB/WB	NB/EB	SB/WB	NB/EB	SB/WB	NB/EB	SB/WB
State Road 7 Stribling Way Forest Hill Blvd Project Driveway Southern Blvd	8LD	Class I	3,940	15%	i	5	22	0.13%	0.56%	No	No	0.56%	0.30%
	8LD	Class I	3,940	40%	i	14	58	0.36%	1.47%	No	Yes	1.47%	0.79%
	8LD	Class II	3,590	60%	o	86	22	2.40%	0.61%	Yes	No	1.31%	1.31%
Forest Hill Blvd Stribling Way US 441/SR 7	6LD	Class II	2,680	2%	i	1	3	0.04%	0.11%	No	No	0.11%	0.07%
	6LD	Class I	2,940	20%	o	29	7	0.99%	0.24%	No	No	0.54%	0.54%

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12/12/2013



TABLE 5 ISLA VERDE RESIDENTIAL/ISLA VERDE COMMERCIAL/ROYAL OFFICE/ROYAL PALM TOYS EXISTING CAPACITY ANALYSIS											
Roadway	From	To	Existing		Direction	Significantly Impacted?	Year 2013 Traffic Volume	Project Traffic	2013 Total Traffic	Meets Standard ??	
			Lanes	Facility Type							
			AM PEAK HOUR								
State Road 7	Forest Hill Boulevard	Project Driveway	8LD	Class I	3,940	NB	No	-	-	-	-
				Class I	3,940	SB	Yes	1,793	58	1,851	Yes
	Project Driveway	Southern Boulevard	8LD	Class II	3,590	NB	Yes	2,000	86	2,086	Yes
				Class II	3,590	SB	No	-	-	-	-
PM PEAK HOUR											
State Road 7	Forest Hill Boulevard	Project Driveway	8LD	Class I	3,940	NB	Yes	2,082	58	2,140	Yes
				Class I	3,940	SB	No	2,193	31	2,224	Yes
	Project Driveway	Southern Boulevard	8LD	Class I	3,940	NB	Yes	-	-	-	-
				Class I	3,940	SB	Yes	2,193	47	2,240	Yes



TABLE 6 ISLA VERDE RESIDENTIAL/ISLA VERDE COMMERCIAL/ROYAL OFFICE/ROYAL PALM TOYS																	
SHORT-TERM CAPACITY ANALYSIS																	
Roadway	From	To	Existing		Direction	Significantly Impacted?	Year 2013 Traffic Volume	Committed Traffic - Option #1			Committed Traffic - Option #2			Utilized (Maximum) Committed Traffic	Project Traffic	2018 Total Traffic	Meets Standard ??
			Lanes	LOS D Service Volume				Committed Traffic (from 2013 TPS)	0.5% Traffic Growth	Committed plus 0.5% Growth	Historic Growth Rate (from TPS)	Max Historic Growth or 0.50%	Max Historic Growth				
AM PEAK HOUR																	
State Road 7	Forest Hill Boulevard Project Driveway	Project Driveway	8LD	3,940	NB	No	-	-	-	-	-	-	-	-	-	-	-
			Class I	3,940	SB	Yes	1,793	758	45	803	2.42%	2.42%	228	803	58	2,654	Yes
			Class II	3,590	NB	Yes	2,000	750	51	801	2.42%	2.42%	254	801	86	2,887	Yes
			Class II	3,590	SB	No	-	-	-	-	-	-	-	-	-	-	-
PM PEAK HOUR																	
State Road 7	Forest Hill Boulevard Project Driveway	Project Driveway	8LD	3,940	NB	Yes	2,082	873	53	926	2.42%	2.42%	264	926	58	3,066	Yes
			Class I	3,940	SB	No	2,193	889	55	944	2.42%	2.42%	279	944	31	3,168	Yes
			Class I	3,940	NB	Yes	-	-	-	-	-	-	-	-	-	-	-
			Class I	3,940	SB	Yes	2,193	889	55	944	2.42%	2.42%	-	944	47	3,184	Yes



TABLE 7
ISLA VERDE RESIDENTIAL/ISLA VERDE COMMERCIAL/ROYAL OFFICE/ROYAL PALM TOYS
LONG TERM (2035) CAPACITY ANALYSIS

ROADWAY SEGMENT	COMMITTED NUMBER OF LANES	FACILITY TYPE	LOS D GEN. SVC. VOLUME	PROJECT TRIPS			PROJECT IMPACT		2035 MODEL VOLUME	MOCF	2035 BACKGROUND AADT	TOTAL DAILY TRAFFIC	V/C	MEETS LOS D STANDARD?
				% ASSIGN- MENT	DAILY TRIPS	%	SIGNIF. THRESHLD.	SIGNIFICA NT?						
State Road 7 Forest Hill Blvd Project Driveway Southern Blvd	8LD	Class II	67,300	60%	483	0.72%	3.00%	No	59700	0.96	57,312	57,795	0.86	Yes
	8LD	Class II	67,300	40%	322	0.48%	3.00%	No	61300	0.96	58,848	59,170	0.88	Yes

Burghdoff, Adam

From: Vinod Sandanasamy [VSandana@pbcgov.org]
Sent: Tuesday, January 11, 2011 3:13 PM
To: Burghdoff, Adam
Subject: RE: 2035 Model Volumes - Wellington

Adam,

The 2035 model volumes for the roadway segments that you requested are given below,

Roadway	Link	Smoothed Volumes
South Shore Blvd.	Big Blue Trace to Forest Hill Blvd	27200
Forest Hill Blvd.	Southern Blvd to Wellington Trace	56800
	Wellington Trace to South Shore Blvd	39500
	South Shore Blvd to SR-7	52900
	SR 7 to Lyons Rd	44800
	Lyons Rd to Pinehurst Dr	44900
	Pinehurst Dr to Jog Rd	48800
STATE ROAD 7	Lake Worth Rd to Stribling Way	66400
	Stribling Way to Forest Hill Blvd	52500
	Forest Hill Blvd to Pioneer Road	59700
	Pioneer Rd to Southern Blvd	61300
	Southern Blvd to Belvedere Rd	69000
	Belvedere Rd to Okeechobee Blvd	46200
	Okeechobee Blvd to Orange Grove Blvd.	31700
Southern Blvd.	Forest Hill/Crestwood to Royal Palm Beach Blvd	68600
	Royal Palm Beach Blvd to SR-7	88100
	SR 7 to Sansbury's Way	67400
	Sansbury's Way to Benoist Farms Road	66500
	Benoist Farms Rd to Pike Road	71700
	Pike Rd to FL Turnpike	73500
	FL Turnpike to Jog Rd	60100
Belvedere Road	SR 7 to Sansbury's Way	38000
	Sansbury's Way to Benoist Farms Road	39100
	Benoist Farms Rd to Skees Road	40700
Okeechobee Blvd.	Wildcat Way to SR 7	58000
	SR 7 to Sansbury's Way	65200
Stribling Way	Forest Hill Blvd to Pioneer Road	13100
	Pierson Road to SR 7	15700
	SR 7 to Lyons Rd	8400
Lyons Road	Stribling Way to Village Walk Circle	12800
	Village Walk Circle to Forest Hill Blvd	9700
	Forest Hill Blvd to Dillman Rd	10200

	Dillman Rd to Southern Blvd	11300
Sansbury's Way	Southern Blvd to Belvedere Rd	10200
	Belvedere Rd to Okeechobee Blvd	18600
Royal Palm Beach Blvd	Southern Blvd to Okeechobee Blvd	27700
Benoist Farms Road	Southern Blvd to Belvedere Rd	8000
Wellington Trace	Big Blue Trace to Greenvview Shores Blvd.	28600
	Forest Hill Blvd. to Big Blue Trace	31500

Let me know if you have any questions.

Note: These projections were provided by the transportation computer model using land use data from adopted comprehensive plans. The computer model is a planning tool and should be used as such.

Vinod Sandanasamy, AICP
Senior Transportation Planner
Palm Beach Metropolitan Planning Organization
2300 North Jog Road, 4th Floor
West Palm Beach, FL 33411-2749
Phone: 561-478 5747
Fax: 561-233 5664
Website: www.pbcgov.com/mpo



Under Florida law, e-mail addresses are public records. If you do not want your e-mail address released in response to a public records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing.

From: Adam.Burghdoff@kimley-horn.com [mailto:Adam.Burghdoff@kimley-horn.com]
Sent: Friday, January 07, 2011 9:58 AM
To: Vinod Sandanasamy
Subject: RE: 2035 Model Volumes - Wellington
Importance: High

Vinod,

Can you update me on the status of the request below?

Thanks,
Adam

Adam M. Burghdoff, E.I.T.

Kimley-Horn and Associates, Inc.
TEL: (561) 845-0665
adam.burghdoff@kimley-horn.com
www.kimley-horn.com

From: Burghdoff, Adam
Sent: Monday, December 06, 2010 5:14 PM



Kimley-Horn
and Associates, Inc.

RECEIVED

By Planning and Zoning at 5:44 pm, Feb 13, 2014

January 16, 2014

Mr. Damian Newell
Village of Wellington Planning, Zoning & Building Department
12300 W. Forest Hill Boulevard
Wellington, FL 33414

■
Suite 200
1920 Wekiva Way
West Palm Beach, Florida
33411
TEL 561 845 0665

**Re: Isla Verde Residential – Response to Traffic Study Comments
Wellington, Florida
KHA # 144843000**

Dear Mr. Newell:

Kimley-Horn and Associates, Inc. received the comments issued by Pinder Troutman Consulting, Inc. dated January 6, 2014 regarding our traffic impact analysis for the above-referenced project. The analysis has been revised to address these comments. Below are our responses to each of the comments issued.

1) Palm Beach County TPS approval letter must be obtained. Certification issue.

Comment noted. The traffic study has been submitted to Palm Beach County Traffic Division for review. A TPS approval letter is pending.

2) On Table 1, the Proposed Commercial Retail for Isla Verde Commercial does not match the Site Plan, which shows 209,326 SF of Retail. Certification issue.

Comment noted. Table 1 has been revised to reflect the square footages on the site plan and the analysis has been updated accordingly.

3) The following certification issue relates to the Forest Hill & SR7 intersection analysis:

- **The PM peak hour project traffic distribution is incorrect.**

Comment noted. The critical movement analysis at this intersection has been revised to reflect the correct project traffic distribution.

4) The following certification issue relates to the Isla Verde Way/Old Hammock & SR 7 intersection analysis:

- **The committed development traffic should consist of the link data committed development traffic. For instance, the TPS database sheets show an AM volume of 750 northbound vehicles that will be added from 2013 to 2018. This volume should be added to the intersection volume development sheets in addition to the 0.5%**



background growth. The corresponding southbound volume should also be added. After these revisions have been made, further comments may be forthcoming.

Comment noted. The critical movement analysis has been revised to include these committed development volumes.

5) The following certification issues relate to the Southern Boulevard & SR 7 intersection analysis:

- **The residential project traffic assignment is incorrect for the eastbound and westbound directions.**
- **The TPS database sheets are not provided for this intersection.**

Comment noted. The volume development worksheets have been revised to reflect the correct residential project traffic assignment and the TPS sheet have been added to the appendix of the report.

6) We are coordinating our review of the Southern Boulevard & SR 7 intersection proportionate share calculations with Palm Beach County, which is not yet complete. Further comments regarding this issue may be forthcoming. Comment.

Comment noted.

We trust that these responses and the revisions to the analysis address the comments provided. If there are any additional comments or questions, please contact me at (561) 841-0665.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

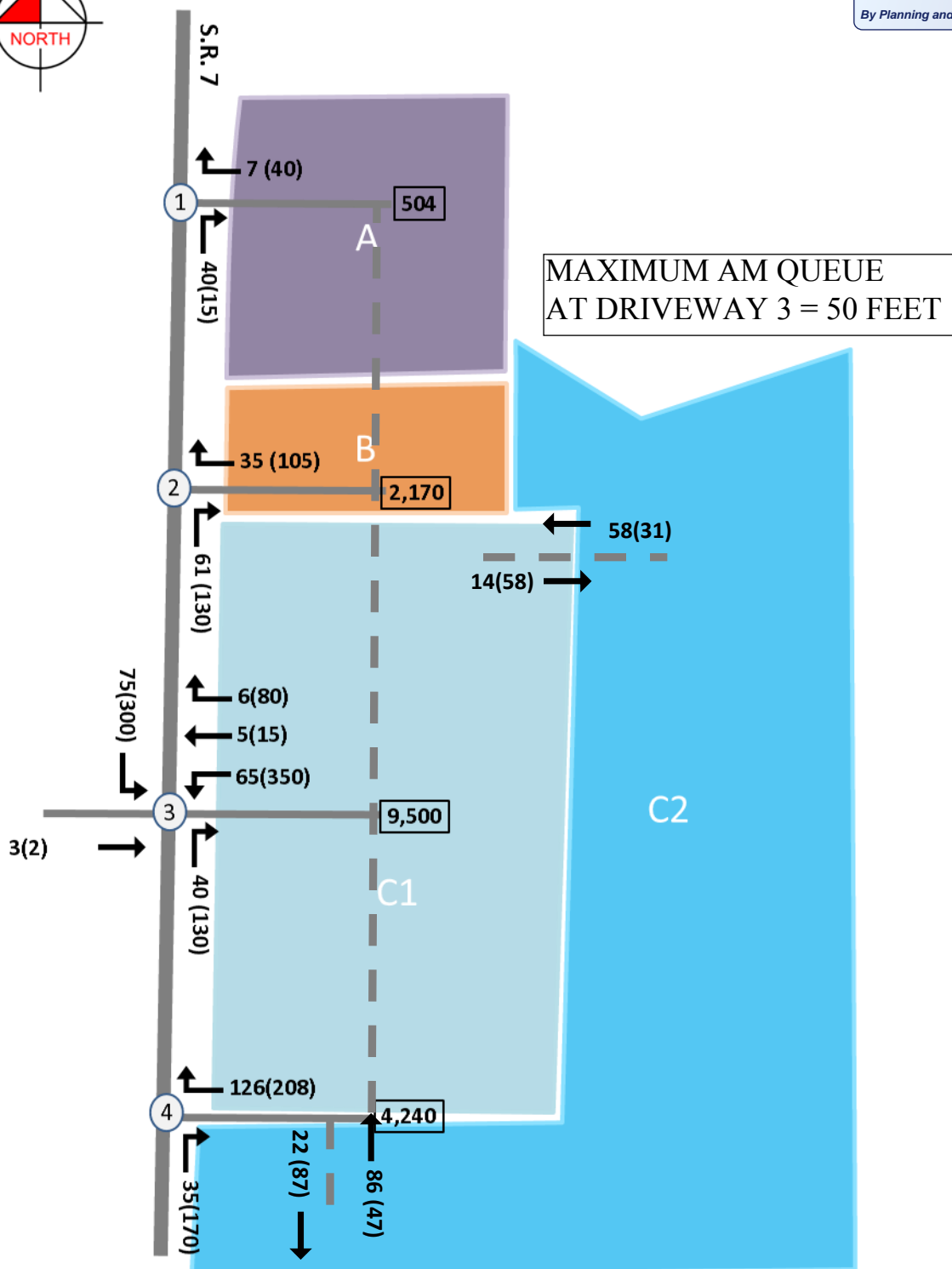
A handwritten signature in blue ink, reading "Christopher W. Heggen".

Christopher W. Heggen, P.E.
Transportation Engineer



RECEIVED

By Planning and Zoning at 5:56 pm, Dec 16, 2013



LEGEND

2,035 WEEKDAY DAILY TRAFFIC VOLUMES

34 AM PEAK-HOUR VOLUME

(109) PM PEAK-HOUR VOLUME



Kimley-Horn
and Associates, Inc.

EXHIBIT A

**FUTURE TOTAL DRIVEWAY VOLUMES
ISLA VERDE RESIDENTIAL/COMMERCIAL/ROYAL
OFFICE/ROYAL PALM TOYS**

TRAFFIC IMPACT ANALYSIS

**ISLA VERDE RESIDENTIAL/
COMMERCIAL/ROYAL PALM TOYS/
ROYAL OFFICE
PALM BEACH COUNTY, FL**

Prepared for:
H. G. Acquisitions, LLC
Tampa, Florida

144843000
December 2013
Revised January 2014
CA 00000696
©Kimley-Horn and Associates, Inc.
1920 Wekiva Way, Suite 200
West Palm Beach, Florida 33411
561/845-0665 TEL

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By Planning and Zoning at 5:44 pm, Feb 13, 2014

TRAFFIC IMPACT ANALYSIS

**ISLA VERDE RESIDENTIAL/
COMMERCIAL/ROYAL PALM TOYS/
ROYAL OFFICE
PALM BEACH COUNTY, FL**

Prepared for:

H.G. Acquisitions, LLC
Tampa, Florida



Kimley-Horn
and Associates, Inc.

144843000
December 2013
Revised January 2014
CA 00000696
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INTRODUCTION

It is proposed to develop commercial and residential uses on a site on the east side of State Road 7 between Forest Hill Boulevard and Pioneer Road in Palm Beach County, Florida. The parcels have collectively have a current TPS approval for a mix of residential, retail, medical office, furniture store, and professional entitlements. It is proposed to allow the previously approved furniture store use to be converted to retail, increase overall retail square footage and develop apartments in place of the previously approved condos. The parcel control numbers (PCNs) for the project site are as follows:

72-42-44-06-07-001-0000
72-42-44-06-07-026-0000
72-42-43-27-05-010-0321
73-42-44-06-09-002-0000
73-42-44-06-09-001-0000
73-42-44-06-10-001-0000
73-42-44-06-10-012-0000
73-42-44-06-10-023-0000
73-42-44-06-10-018-0000

Site access to the development will remain unchanged and is existing via three right-in, right-out driveway connections and a signalized full-access driveway connection to State Road 7. Additionally cross-access and interconnectivity throughout the development is provided.

Kimley-Horn and Associates, Inc. was retained to prepare a traffic impact analysis to evaluate the impact resulting from buildout of this site by 2018. This document presents the methodology used and the findings of the traffic impact analysis. The analysis was conducted in accordance with the requirements of the current Countywide Traffic Performance Standards Ordinance (TPSO) of Palm Beach County.



LEGEND



- PARCEL A – A.K.A. ROYAL OFFICE
- PARCEL B – A.K.A. ROYAL PALM BEACH COMMONS
- PARCEL C1 – A.K.A. ISLA VERDE COMMERCIAL
- PARCEL C2 – A.K.A. ISLA VERDE RESIDENTIAL

FIGURE 1
SITE LOCATION
 ISLA VERDE RESIDENTIAL/COMMERCIAL/ROYAL
 OFFICE/ROYAL PALM TOYS

 Kimley-Horn
 and Associates, Inc.
 144118005

INVENTORY AND PLANNING DATA

Existing peak-hour traffic count data were obtained from Palm Beach County. The count data are provided in Appendix C. H.G. Acquisitions, LLC provided the project development information.

PROJECT TRAFFIC

Project traffic used in this analysis is defined as the vehicle trips expected to be generated by the project, and the distribution and assignment of that traffic over the study roadway network.

Existing and Proposed Land Uses

The existing site contains a mix of commercial retail, general office, and medical office uses. As previously mentioned, the site was approved for a mix of residential, retail, medical office, furniture store, and professional entitlements. It is proposed to replace the approved furniture store with additional retail space and the approved condominiums with apartments. Only 208,900 square feet of approved commercial retail has been in existence for more than five years. Therefore, trips associated with this portion of the development are not subject to traffic concurrency. Table 1 summarizes the existing, approved, and proposed land uses.

Table 1: Land Use Area Summaries (Existing, Approved, & Proposed)

Parcel	Land Use	Existing > 5 Years	Existing Site	Year Built (as reported by PAPA)	Approved Site	Proposed Site
C2	Isla Verde Residential					
	Condo/TH	-	-	-	245 units	-
	Apartments	-	-	-	-	360 units
C1	Isla Verde Commercial					
	Commercial Retail	208,900 s.f.	208,900 s.f.	2008	209,326 s.f.	209,326 s.f.
A	Royal Office					
	General Office	-	24,500 s.f.	2009	24,500 s.f.	24,500 s.f.
	Medical Office	-	5,500 s.f.	2009	5,500 s.f.	5,500 s.f.
	Furniture Store	-	-	-	13,532 s.f.	-
	Retail	-	-	-	-	13,532 s.f.
B	Royal Palm Toys					
	Commercial Retail	-	55,962 s.f.	2012	55,962 s.f.	55,962 s.f.

Trip Generation

The trip generation potential of the development was calculated based upon the trip generation rates and equations provided by Palm Beach County. As indicated in *Table 2*, 4,575 net new external daily trips, 258 net new external AM peak hour trips (107 in / 151 out), and 429 net new external PM peak hour trips (219 in / 211 out) are subject to traffic concurrency. Based on the trip generation potential the maximum radius of development influence is 2 miles.



Table 2: Trip Generation

TABLE 2 ISLA VERDE RESIDENTIAL/COMMERCIAL/ROYAL OFFICE/ROYAL PALM TOYS TRIP GENERATION COMPARISON									
LAND USE	INTENSITY	DAILY Trips	AM PEAK HOUR			PM PEAK HOUR			
			TOTAL	IN	OUT	TOTAL	IN	OUT	
Existing Development									
General Commercial (Retail)	264,862 SF	12,791	265	162	103	1,222	587	635	
General Office	24,500 SF	452	61	54	7	66	11	55	
Medical Office	5,500 SF	199	13	10	3	22	6	16	
	Subtotal	13,442	339	226	113	1,310	604	706	
Internal Capture									
General Commercial (Retail)	Daily AM PM 0.2% 1.1% 0.3%	26	3	2	1	4	2	2	
General Office	7.1% 6.8% 8.0%	32	4	4	0	5	1	4	
Medical Office	7.1% 6.8% 8.0%	14	1	1	0	2	0	2	
	0.5% 2.4% 0.8%	72	8	7	1	11	3	8	
Pass-By Traffic									
General Commercial (Retail)	31.3%	3,995	82	50	32	381	183	198	
General Office	10.0%	42	6	5	1	6	1	5	
Medical Office	10.0%	19	1	1	0	2	1	1	
	Subtotal	4,056	89	56	33	389	185	204	
Net New External Trips									
		9314	242	163	79	910	416	494	
Existing Development >5 Years									
General Commercial (Retail)	208,900 SF	10,962	209	127	82	1,042	500	542	
Pass-By Traffic									
General Commercial (Retail)	33.5%	3,672	70	43	27	349	168	182	
Net New External Trips (Concurrency)									
		7290	139	84	55	693	332	360	
Approved Development									
General Commercial (Retail)	265,288 SF	12,804	265	162	103	1,223	587	636	
Furniture Store	13,532 SF	68	2	1	1	6	3	3	
General Office	24,500 SF	452	61	54	7	66	11	55	
Medical Office	5,500 SF	199	13	10	3	22	6	16	
Condo/Townhomes	245 DU	1,715	106	18	88	125	84	41	
	Subtotal	15,238	447	245	202	1,442	691	751	
Internal Capture									
General Commercial (Retail)	Daily AM PM 0.6% 3.0% 0.7%	80	8	5	3	8	4	4	
General Office	7.0% 8.4% 7.4%	31	5	5	1	5	1	4	
Medical Office	7.0% 8.4% 7.4%	14	1	1	0	2	0	1	
Condo/Townhomes	4.3% 6.6% 5.6%	74	7	1	6	7	5	2	
	1.3% 4.8% 1.5%	199	21	12	10	22	10	11	
Pass-By Traffic									
General Commercial (Retail)	31.3%	3,983	80	49	31	380	182	198	
Furniture Store	5.0%	3	0	0	0	0	0	0	
General Office	10.0%	44	6	5	1	6	1	5	
Medical Office	10.0%	13	1	1	0	2	0	1	
	Subtotal	4,043	87	55	32	388	183	204	
Approved Net New External Trips									
		10,996	339	178	160	1,032	498	536	
Proposed Development									
General Commercial (Retail)	278,820 SF	13,225	279	170	109	1,265	607	658	
General Office	24,500 SF	452	61	54	7	66	11	55	
Medical Office	5,500 SF	199	13	10	3	22	6	16	
Apartments	360 DU	2,520	180	36	144	223	145	78	
	Subtotal	16,396	533	270	263	1,576	769	807	
Internal Capture									
General Commercial (Retail)	Daily AM PM 1.5% 7.5% 2.2%	198	21	14	7	27	11	16	
General Office	8.9% 9.5% 10.2%	40	6	5	1	7	1	6	
Medical Office	8.9% 9.5% 10.2%	18	1	1	0	3	1	2	
Apartments	11.9% 12.2% 12.6%	204	22	5	17	28	19	9	
	3.0% 9.4% 4.2%	460	50	25	25	65	32	33	
Pass-By Traffic									
General Commercial (Retail)	30.8%	4,012	79	48	31	381	184	197	
General Office	10.0%	41	6	5	1	6	1	5	
Medical Office	10.0%	18	1	1	0	2	1	1	
	Subtotal	4,071	86	54	32	389	186	203	
Proposed Net New External Trips									
		11,865	397	191	206	1,122	551	571	
Driveway Volumes									
		15,936	483	245	238	1,511	737	774	
Trip Differential (Proposed - Approved)									
		869	58	13	46	90	53	35	
Residential Trip Differential (Proposed - Existing)									
		2,316	158	31	127	195	126	69	
Commercial Trip Differential (Proposed - Existing)									
		235	(3)	(3)	0	17	9	8	
Residential Trip Differential (Concurrency)									
		2,316	158	31	127	195	126	69	
Commercial Trip Differential (Concurrency)									
		2,259	100	76	24	234	93	142	
Note: Trip generation was calculated using the following data:									
Daily Traffic Generation									
General Commercial (Retail)	[PBC]	=	Ln(T) = 0.65*Ln(X) + 5.83						
Furniture Store	[PBC]	=	T = 5.06 (X)						
General Office	[PBC]	=	Ln(T) = 0.77*Ln(X) + 3.65						
Medical Office	[PBC]	=	T = 36.13 (X)						
Condo/Townhomes	[PBC]	=	T = 7 (X)						
Apartment	[PBC]	=	T = 7 (X)						
AM Peak Hour Traffic Generation									
General Commercial (Retail)	[PBC]	=	T = 1.00(X); (61% in, 39% out)						
Furniture Store	[PBC]	=	T = 0.17 (X); (69% in, 31% out)						
General Office	[PBC]	=	Ln(T) = 0.80 Ln(X) + 1.55; (88% in, 12% out)						
Medical Office	[PBC]	=	T = 2.30 (X); (79% in, 21% out)						
Condo/Townhomes	[PBC]	=	Ln(T) = 0.80 Ln(X) + 0.26; (17% in, 83% out)						
Apartment	[PBC]	=	T = 0.49 Ln(X) + 3.73; (20% in, 80% out)						
PM Peak Hour Traffic Generation									
General Commercial (Retail)	[PBC]	=	Ln(T) = 0.67 Ln(X) + 3.37; (48% in, 52% out)						
Furniture Store	[PBC]	=	T = 0.45 (X); (48% in, 52% out)						
General Office	[PBC]	=	Ln(T) = 0.74 Ln(X) + 1.83; (17% in, 83% out)						
Medical Office	[PBC]	=	Ln(T) = 0.88 Ln(X) + 1.59; (27% in, 73% out)						
Condo/Townhomes	[PBC]	=	Ln(T) = 0.82 Ln(X) + 0.32; (67% in, 33% out)						
Apartment	[PBC]	=	T = 0.62 (X); (65% in, 35% out)						
Pass-by									
General Commercial (Retail)	[PBC]	=	% = 83.18 - 9.30*Ln(X)						
Furniture Store	[PBC]	=	5%						
General Office	[PBC]	=	10%						
Medical Office	[PBC]	=	10%						

Traffic Impact Analysis

Traffic Distribution

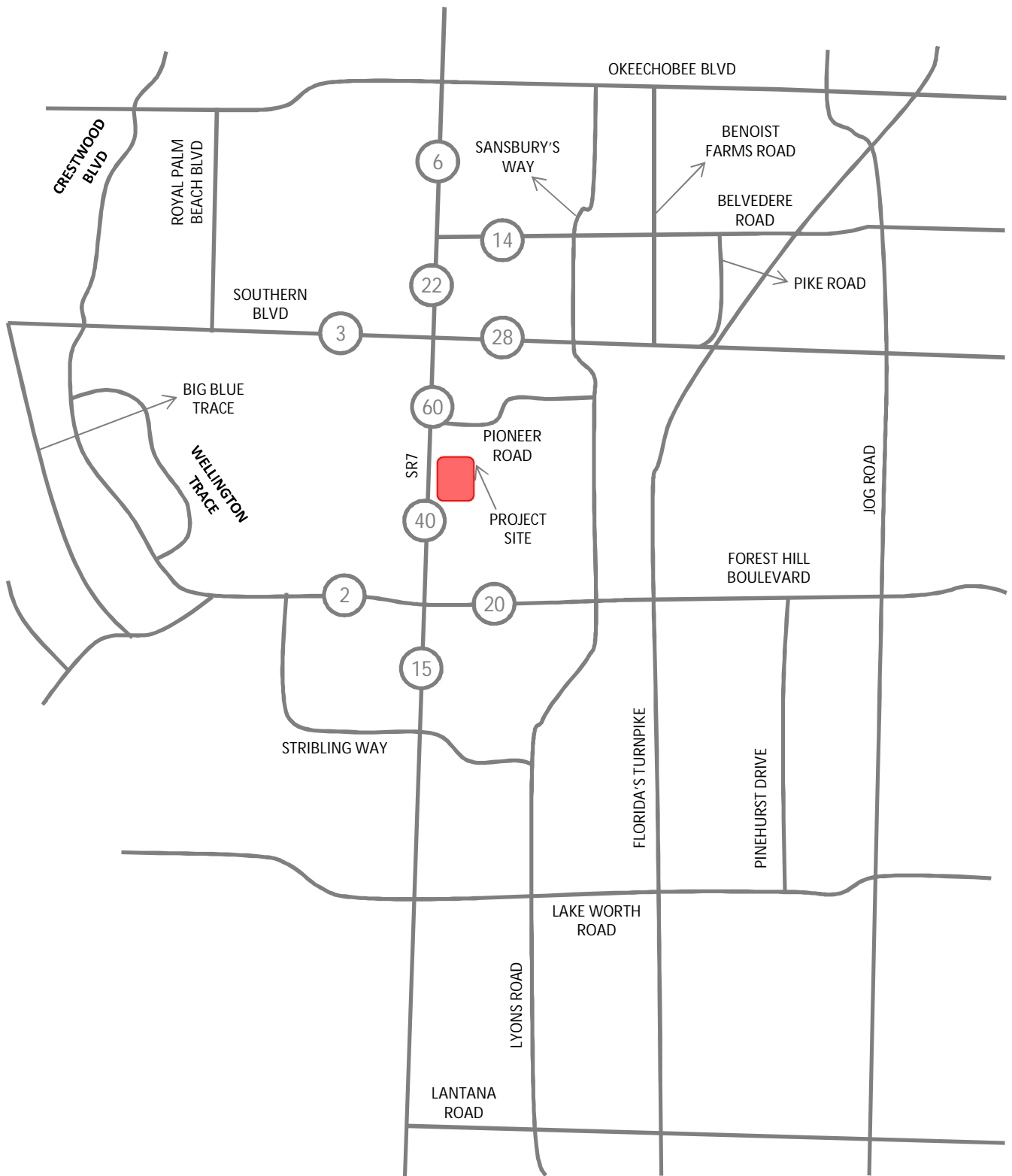
Traffic distribution is the pairing of trip ends from the subject site with other land uses in the area. These trips were assigned to the surrounding roadways based upon a review of the roadway network proposed to be in place at the time of buildout and its travel time characteristics. Because this site was previously approved for a mix of commercial and residential uses, the previously approved trip distribution was used.

The distribution according to cardinal directions is:

NORTH	-	15 percent
SOUTH	-	15 percent
EAST	-	25 percent
WEST	-	32 percent

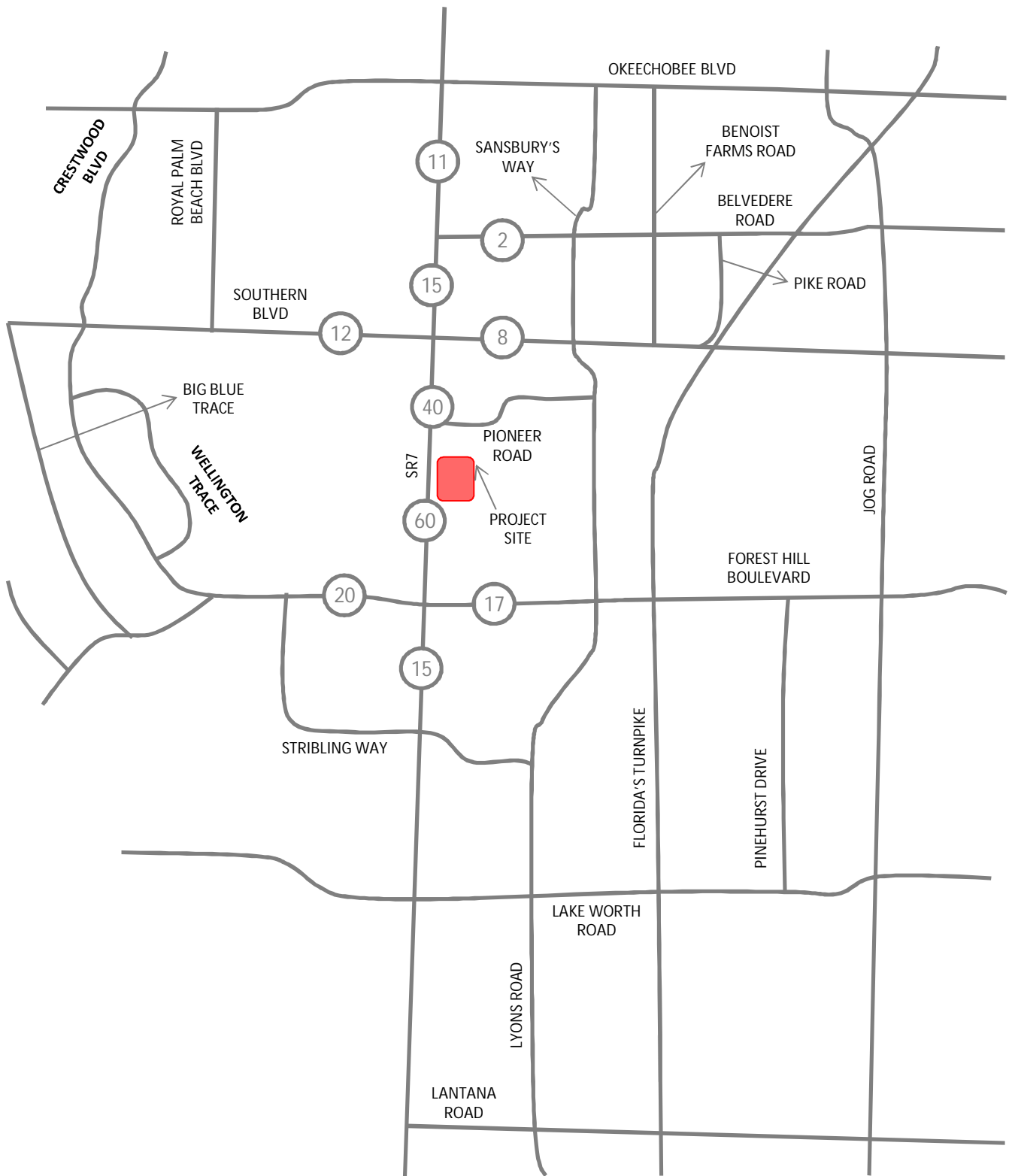
Traffic Assignment

The AM and PM peak hour trips for the project were assigned to the surrounding roadway network proposed to be in place by 2018. *Figure 2* illustrates the project traffic assignment for the residential uses on site. *Figure 3* illustrates the project traffic assignment of the commercial uses on site.



- LEGEND**
- SITE
 - 2 Percent Project Assignment

FIGURE 2
RESIDENTIAL TRAFFIC DISTRIBUTION
ISLA VERDE RESIDENTIAL/COMMERCIAL/ROYAL
OFFICE/ROYAL PALM TOYS
144118006



- LEGEND**
- SITE
 - 2 Percent Project Assignment

FIGURE 3
COMMERCIAL TRAFFIC DISTRIBUTION
ISLA VERDE RESIDENTIAL/COMMERCIAL/ROYAL
OFFICE/ROYAL PALM TOYS
144118006

ROADWAY IMPROVEMENTS

A review was conducted of the Five-Year Plans of Palm Beach County and FDOT, as well as those improvements committed by the developers of projects in the area. Based on the review, there are no committed roadway improvements in the vicinity of the project.

TEST 1 SIGNIFICANCE ANALYSIS

An analysis was undertaken on all of the links included in the Palm Beach County Thoroughfare Map within the 2-mile radius of development influence to determine which roadway links would be significantly impacted under Test 1 criteria. The new external project traffic was assigned to all the thoroughfare roadway links within the radius of development influence. Per Palm Beach County standards, all the links on which the project traffic impact is greater than 1% of the level of service (LOS) D generalized service volume are considered significantly impacted links.

As indicated in *Table 3*, the following roadway segments are significantly impacted during the AM peak hour conditions under Test 1 criteria:

AM PEAK HOUR

- State Road 7, Forest Hill Boulevard to Southern Boulevard, Northbound and Southbound

PM PEAK HOUR

- State Road 7, Forest Hill Boulevard to Belvedere Road, Northbound and Southbound
- Forest Hill Boulevard, Stribling Way to State Road 7, Westbound
- Forest Hill Boulevard, State Road 7 to Lyons Road, Eastbound and Westbound
- Southern Boulevard, State Road 7 to Sansbury's Way, Westbound

Therefore, the identified significantly impacted roadway segments require a peak hour Test 1 Roadway Analysis.

Table 3: Test 1 – Significance Analysis

ISLA VERDE RESIDENTIAL/COMMERCIAL/ROYAL PALM OFFICE/ROYAL PALM TOYS																																
ROADWAY SEGMENT	COMMITTED NUMBER OF LANES	Classification	LOS/D GRV. SVC. VOLUME	Residential					Commercial					Residential + Commercial					Significance													
				%ASSIGN- MENT		TPPS			Concurrence		TPPS			Concurrence		TPPS			% IMPACT		Significant?											
				NB/EB	IN/OUT	NB/EB	SB/MB	NB/EB	SB/MB	NB/EB	SB/MB	NB/EB	SB/MB	NB/EB	SB/MB	NB/EB	SB/MB	NB/EB	SB/MB	NB/EB	SB/MB	NB/EB	SB/MB									
				AM Peak Hour					PM Peak Hour					PM Peak Hour																		
State Road 7	Scribble Way Forest Hill Blvd Project Driveway Southern Blvd Belvedere Road Chocobee Blvd	Class I	3,940	15%	1	5	19	5	11	4	0	0	0	16	23	5	19	0.41%	0.58%	No	No	No	No									
		Class I	3,940	40%	1	12	51	12	51	14	2	0	0	58	65	10	51	1.47%	1.65%	No	Yes	Yes	Yes									
		Class I	3,940	50%	0	76	19	59%	0	10	30	0	1	80	49	16	18	2.40%	0.36%	No	Yes	Yes	Yes									
		Class II	3,940	22%	0	15	28	15	28	4	0	0	0	32	18	8	28	0.89%	0.28%	No	No	No	No									
		Class II	3,500	6%	0	8	2	8	2	3	8	0	0	11	10	8	2	0.31%	0.28%	No	No	No	No									
		Class II	3,500	2%	1	3	1	3	1	15	5	-1	0	0	16	8	0	3	0.60%	0.30%	No	No	No	No								
Southern Boulevard	US 441/287 Lyons Road US 441/587 Royal Palm Beach Blvd Scribble Way Belvedere Road	Class I	2,680	2%	1	3	1	3	20%	1	15	5	0	16	8	0	3	0.60%	0.30%	No	No	No	No									
		Class I	2,940	20%	0	25	6	25	6	17%	0	13	0	-1	29	19	25	5	0.99%	0.65%	No	No	No	No								
		Class I	3,590	3%	1	4	1	4	1	12%	1	9	3	0	10	7	1	4	0.28%	0.19%	No	No	No	No								
		Class I	3,940	28%	0	36	9	36	9	8%	0	2	6	0	38	15	36	9	0.96%	0.38%	No	No	No	No								
		Class I	2,940	14%	0	18	4	18	4	2%	0	0	2	0	18	6	18	4	0.61%	0.20%	No	No	No	No								
		Class I	3,940	15%	1	10	10	15%	1	14	21	1	1	33	31	20	11	0.84%	0.79%	No	Yes	Yes	Yes									
State Road 7	Scribble Way Forest Hill Blvd Project Driveway Southern Blvd Belvedere Road Chocobee Blvd	Class I	3,940	40%	1	50	28	50	28	60%	0	56	85	5	106	113	55	33	2.69%	2.87%	No	Yes										
		Class II	3,590	60%	0	41	76	41	76	40%	0	57	37	3	4	98	113	44	80	2.73%	3.15%	Yes	Yes									
		Class II	3,590	22%	0	15	28	15	28	15%	0	21	14	1	36	42	16	29	1.00%	1.17%	Yes	Yes										
		Class II	3,590	6%	0	4	8	4	8	11%	0	16	10	1	20	18	5	9	0.56%	0.50%	No	No										
		Class II	2,680	2%	1	3	1	3	1	20%	1	19	28	2	2	22	29	5	3	0.82%	1.08%	Yes	Yes									
		Class I	2,940	20%	0	14	25	14	25	17%	0	24	16	1	2	38	41	15	27	1.29%	1.39%	Yes	Yes									
Southern Boulevard	US 441/287 Lyons Road US 441/587 Royal Palm Beach Blvd Scribble Way Belvedere Road	Class I	3,940	3%	1	4	2	4	2	12%	1	11	17	1	1	15	19	5	3	0.38%	0.48%	No	No									
		Class I	3,940	28%	0	19	35	19	35	8%	0	11	7	1	1	30	42	20	36	0.76%	1.07%	Yes	Yes									
		Class I	2,940	14%	0	10	18	10	18	2%	0	13	6	1	1	20	18	5	9	0.56%	0.50%	No	No									
		Class I	3,940	15%	1	10	10	15%	1	14	21	1	1	33	31	20	11	0.84%	0.79%	No	Yes											
		Class I	3,940	40%	1	50	28	50	28	60%	0	56	85	5	106	113	55	33	2.69%	2.87%	No	Yes										
		Class II	3,590	60%	0	41	76	41	76	40%	0	57	37	3	4	98	113	44	80	2.73%	3.15%	Yes	Yes									

TEST 1 LEVEL OF SERVICE D ANALYSIS

As determined in the previous section, a number of roadway segments were significantly impacted during the AM peak and PM peak hour conditions and therefore require further analysis. Intersection analyses are also required at the first significantly impacted major intersection in either direction from the site access point. Intersection analyses were performed at the following intersections:

- SR7 and Forest Hill Boulevard
- SR7 and Southern Boulevard
- SR7 and Old Hammock Way/Isla Verde Way

Intersection Analysis

To evaluate conditions at the intersections of SR 7 & Forest Hill Boulevard and SR 7 & Old Hammock Way the Critical Movement Analysis (CMA) method was utilized. The results are summarized in *Table 4*.

Table 4: Critical Movement Analysis Summary

CRITICAL MOVEMENT ANALYSIS SUMMARY ISLA VERDE RESIDENTIAL/COMMERCIAL/ROYAL OFFICE/ROYAL PALM TOYS		
Intersection	Time Period	Critical Sum
State Road 7 & Forest Hill Boulevard	AM Peak Hour	1,045
	PM Peak Hour	1,379
State Road 7 & Old Hammock Way/Isla Verde Way	AM Peak Hour	943
	PM Peak Hour	1,485

Based on the critical movement analysis, the intersections are expected to meet the CMA threshold during buildout conditions with the exception of State Road 7 & Old Hammock Way during the PM Peak Hour. Therefore a level of service (LOS) analysis is required for this intersection during the PM Peak Hour. The detailed worksheets presenting the analysis are provided in Appendix C.

Traffic Impact Analysis

SR7 & Old Hammock Way Intersection Analysis

In order to analyze the intersection of Old Hammock Way & SR 7 for PM peak hour conditions, *Synchro V8.0* was used. *Table 5* summarizes the level of service and delay analysis for the existing laneage conditions with project traffic included.

Table 5: Level of Service Analysis (Old Hammock Way & SR7 – Existing Laneage)

Proposed Laneage w/ Optimized Timing (2018 Buildout)			
Peak Period	Approach	Delay (sec)	LOS
PM Peak Hour	NB	48.0	D
	SB	36.1	D
	EB	71.8	E
	WB	69.5	E
	Overall	44.4	D

Under optimized signal timing with the existing geometry, the intersection of Southern Boulevard & Old Hammock Way is anticipated to operate acceptably through buildout in 2018. The detailed HCS output worksheets presenting the analysis are provided in Appendix D.

SR7 & Southern Boulevard Intersection Analysis

The intersection of Southern Boulevard & SR7 is a grade-separated urban interchange; therefore, a critical movement analysis was not utilized to evaluate LOS conditions. In order to analyze the intersection, *Synchro V8.0* was used. Intersection analyses were conducted for both the AM and PM peak hours. *Tables 6 and 7* summarize the level of service and delay analyses for both existing and proposed laneage conditions with project traffic included.

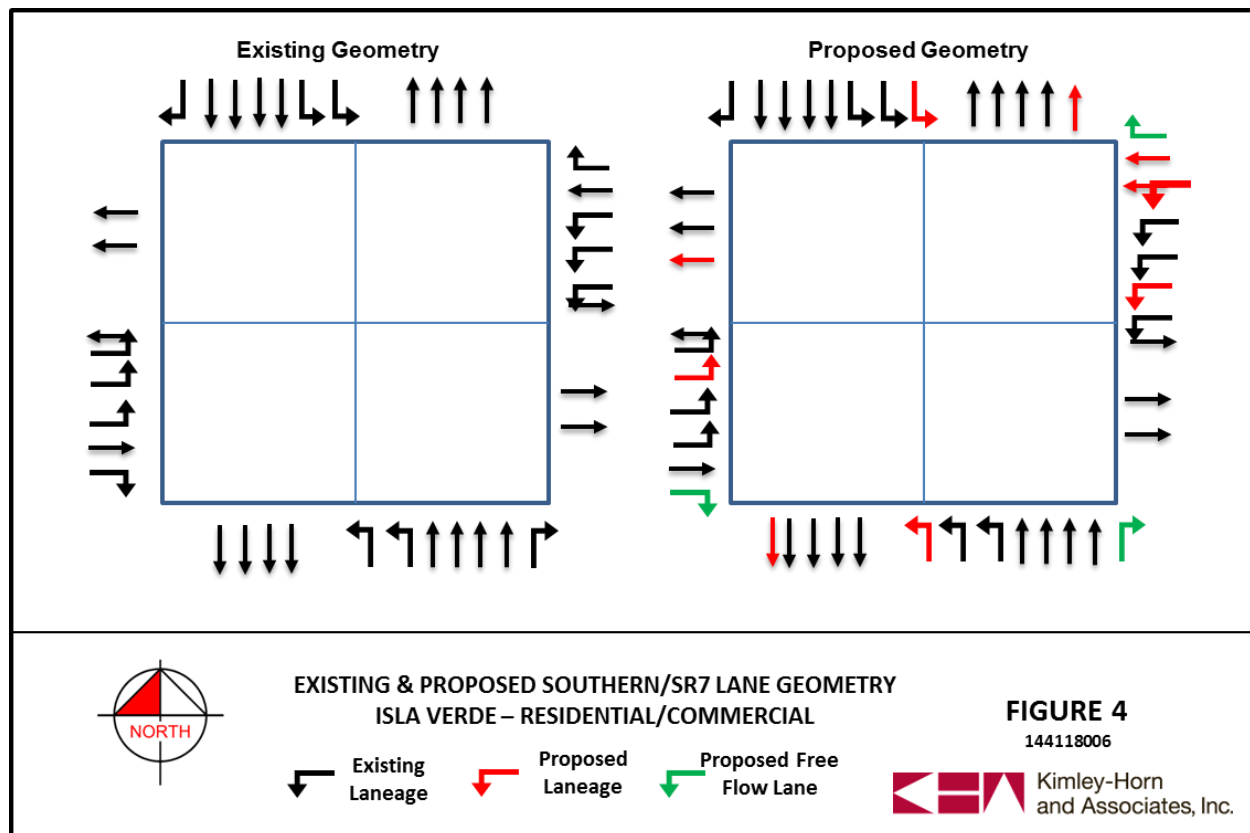
Table 6: Level of Service Analysis (Southern Boulevard & SR7 – Existing Laneage)

Existing Laneage w/ Existing Timing (2018 Buildout)			
Peak Period	Approach	Delay (sec)	LOS
AM Peak Hour	NB	81.2	F
	SB	75.8	E
	EB	56.7	E
	WB	48.6	D
	Overall	70.5	E
PM Peak Hour	NB	57.9	E
	SB	89.6	F
	EB	71.4	E
	WB	66.7	E
	Overall	70.7	E

Table 7: Level of Service Analysis (Southern Boulevard & SR7 – Proposed Laneage)

Proposed Laneage w/ Optimized Timing (2018 Buildout)			
Peak Period	Approach	Delay (sec)	LOS
AM Peak Hour	NB	39.1	D
	SB	60.9	E
	EB	59.8	E
	WB	46.9	D
	Overall	50.5	D
PM Peak Hour	NB	16.9	B
	SB	35.8	D
	EB	62.4	E
	WB	66.8	E
	Overall	39.4	D

Based on the analyses, the intersection of Southern Boulevard & SR7 will not meet the level of service guidelines under existing laneage. *Figure 4* illustrates the proposed geometry. Under optimized signal timing with the proposed geometry, the intersection of Southern Boulevard & SR7 is anticipated to operate acceptably through buildout in 2018. The detailed Synchro output worksheets presenting the analysis are provided in Appendix D.



To determine the development's proportionate share of these improvements, the net new residential and commercial peak hour trips were divided by the additional capacity provided by the proposed intersection improvements. These percentages were then applied to the total cost of the proposed improvements in order to determine the proportionate share calculations for both the proposed commercial and proposed residential developments. *Table 8* summarizes these calculations.

Table 8: Proportionate Share Calculations

ISLA VERDE RESIDENTIAL/COMMERCIAL/ROYAL OFFICE/ROYAL PALM TOYS						
PROPORTIONATE SHARE CALCULATIONS						
	Net Peak Hour Trips	Trips at SR7 & Southern	Additional Capacity	Proportionate Share	Total Cost	Payment
Commercial	13	5	2790	0.18%	\$ 11,010,000	\$ 19,731
Residential	77	41	2790	1.47%	\$ 11,010,000	\$161,796

Roadway Link Analysis

The future traffic volume on each roadway segment was analyzed in comparison to its level of service D service volume. *Table 9* details these calculations for the AM and PM peak hours. As seen in *Table 9*, the significantly impacted roadway segments are projected to operate acceptably during the AM and PM peak hours through buildout of the project in 2018.

Table 9: Test 1 – Directional Capacity Analysis (AM Peak Hour and PM Peak Hour)

TABLE 8 ISLA VERDE RESIDENTIAL/COMMERCIAL/ROYAL PALM TOYS TEST 1 - LEVEL OF SERVICE D - DIRECTIONAL CAPACITY ANALYSIS - AM & PM PEAK HOURS																		
Roadway	From	To	Lanes	Existing		Direction	Significantly Impacted?	Year 2013 Traffic Volume	Committed Traffic - Option #1			Committed Traffic - Option #2			Utilized (Maximum) Committed Traffic	Project Traffic	2018 Total Traffic	Meets Standard ??
				Facility Type	LOS D Service Volume				Committed Traffic	0.5% Traffic Growth	Historic Growth Rate (from TFS)	Historic Growth or 0.50%	Max Historic Growth	Max Historic Growth				
AM PEAK HOUR																		
State Road 7	Forest Hill Boulevard Project Driveway Southern Boulevard	Project Driveway Southern Boulevard	8LD	Class I	3,940	NB	YES	1,985	750	47	797	0.15%	0.50%	47	797	10	2,652	Yes
			8LD	Class I	3,940	SB	YES	1,740	758	44	802	0.15%	0.50%	44	802	51	2,593	Yes
			8LD	Class II	3,590	NB	YES	2,000	750	51	801	0.15%	0.50%	51	801	76	2,877	Yes
				Class II	3,590	SB	YES	1,793	758	45	803	0.15%	0.50%	45	803	18	2,614	Yes
PM PEAK HOUR																		
State Road 7	Forest Hill Boulevard Project Driveway Southern Boulevard	Project Driveway Southern Boulevard	8LD	Class I	3,940	NB	YES	2,297	891	58	949	0.15%	0.50%	58	949	55	3,301	Yes
			8LD	Class I	3,940	SB	YES	2,009	952	51	1,003	0.15%	0.50%	51	1,003	33	3,045	Yes
			8LD	Class I	3,940	NB	YES	2,082	891	53	944	0.15%	0.50%	53	944	44	3,070	Yes
				Class I	3,940	SB	YES	2,093	952	55	1,007	0.15%	0.50%	55	1,007	80	3,280	Yes
				Class II	3,590	NB	YES	2,059	588	52	635	-0.09%	0.50%	52	635	16	2,710	Yes
				Class II	3,590	SB	YES	1,874	595	47	602	-0.09%	0.50%	47	602	29	2,505	Yes
Forest Hill Boulevard	Stribling Way US 441/SR 7	US 441/SR 7	6LD	Class II	2,680	EB	NO	-	-	-	-	-	-	-	-	-	-	-
			6LD	Class II	2,680	WB	YES	2,241	273	57	330	1.99%	2.99%	232	330	3	2,574	Yes
			6LD	Class I	2,940	EB	YES	1,615	392	41	433	2.99%	2.99%	256	433	15	2,053	Yes
				Class I	2,940	WB	YES	1,578	390	40	390	2.99%	2.99%	250	390	27	1,995	Yes
Southern Boulevard	Southern Boulevard	Stribling Way	8LD	Class I	3,940	EB	NO	-	-	-	-	-	-	-	-	-	-	-

TEST 2 SIGNIFICANCE ANALYSIS

An analysis was undertaken on all of the links included in the Palm Beach County Thoroughfare Map within the 2-mile radius of development influence to determine the roadway links that are significantly impacted under Test 2 criteria. The net new external project traffic was assigned to all the thoroughfare roadway links within the radius of development influence. Per Palm Beach County standards, all the links on which the project traffic impact is greater than 3% of the level of service (LOS) E generalized service volume are considered significantly impacted links. As indicated in *Table 10*, none of the roadway segments are significantly impacted under Test 2 criteria.

Table 10: Test 2 – Significance Analysis

ROADWAY SEGMENT		COMMITTED NUMBER OF LANES	Classification	LOS D GEN. SVC.	TEST 2 - SIGNIFICANCE ANALYSIS ISLA VERDE RESIDENTIAL/COMMERCIAL/ROYAL OFFICE/ROYAL PALM TOYS										Significance												
					Residential					Commercial					Residential + Commercial				Significance								
					% ASSIGN- MENT		THPS		Project Trips		Concurrence		THPS		Project Trips		Concurrence		Project Trips		% IMPACT						
					NB/EB IN/OUT?	SE/WB	NB/EB	SW/WB	NB/EB	SW/WB	NB/EB	SW/WB	NB/EB	SW/WB	NB/EB	SW/WB	NB/EB	SW/WB	NB/EB	SW/WB	NB/EB	SW/WB					
				AM Peak Hour																							

VEHICLE CIRCULATION AND QUEUING

Vehicular Circulation

The Isla Verde Commercial and Isla Verde Residential parcels are proposed to be accessed via two right-in/right-out driveways along State Road 7, and one full-access driveway along State Road 7. The Royal Office parcel is proposed to be accessed by one right-in/right-out driveway along State Road 7.

Driveway Classification

According to the Palm Beach County “Guide to Parking Lot and Street Access Design Criteria and Standards”, it is necessary to classify project entrances as minor, intermediate, or major according to the two-way hourly volumes.

1. Minor – Services a maximum daily volume of 500 vehicles.
2. Intermediate – Services a maximum daily volume of 2,000 vehicles.
3. Major – Services a maximum daily volume of more than 2,000 vehicles.

Using these criteria, the following driveway classifications apply:

Driveway Number	Description/Location	Classification
1	Right-In/Right-Out Driveway on SR 7 (Office)	Intermediate
2	Right-In/Right-Out Driveway of SR 7 (Commercial Retail)	Major
3	Full-Access Driveway on SR 7 (Commercial Retail)	Major
4	Right-In/Right-Out Driveway on SR 7 (Retail/Residential)	Major

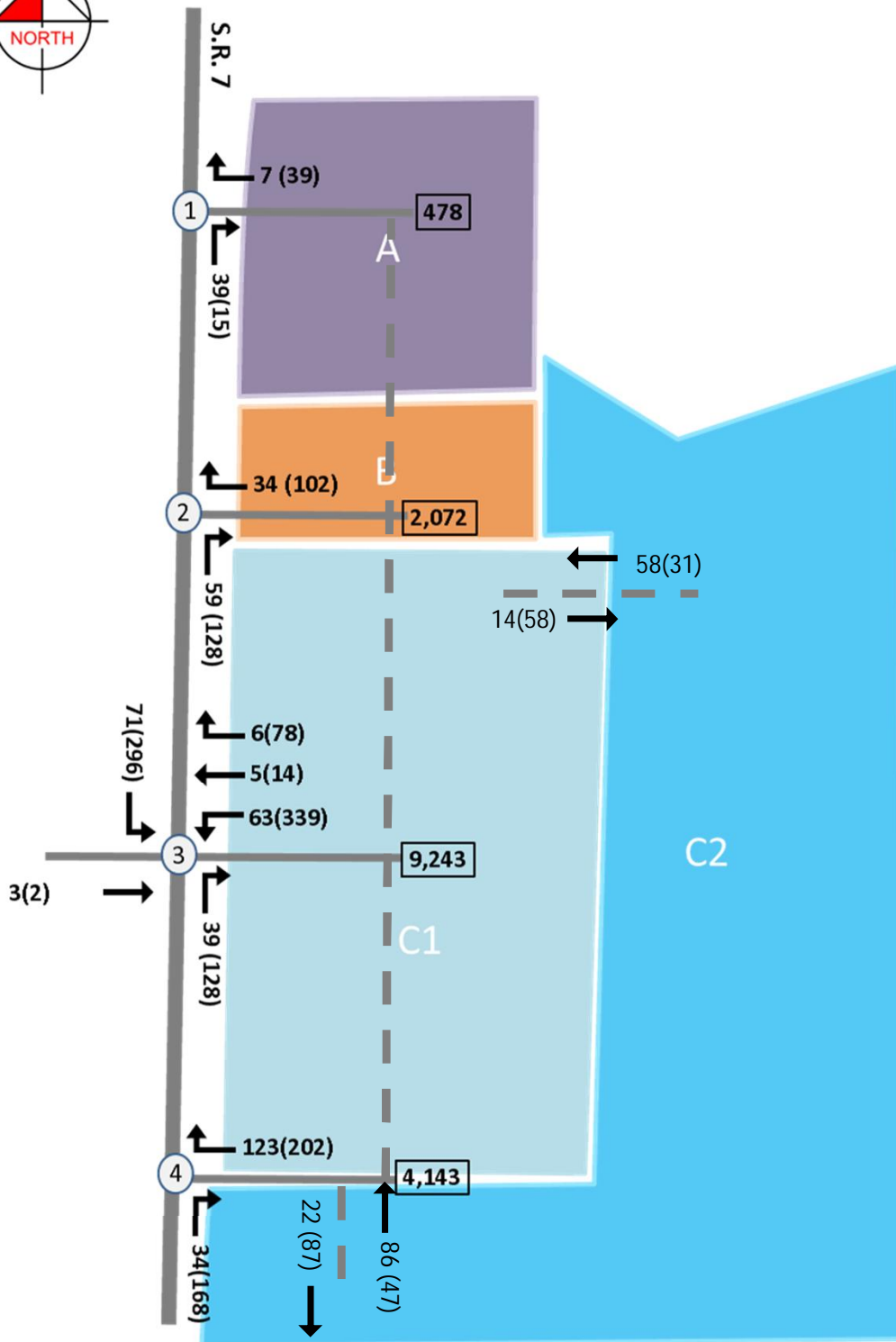
Figure 5 illustrates the location and proposed volumes for the four site driveways.

Turn Lane Requirements

The Palm Beach County “Guide to Parking Lot and Street Access Design Criteria and Standards” provides guidance on the provision of turn lanes at site driveways. According to the standards noted in this document, the volume thresholds for providing exclusive turn lanes are as follows:

- Right-turn Lane – 75 peak hour right turns, with driveway volumes that exceed 1,000 trips per day, and average daily traffic volumes that exceed 10,000 vehicles per day.
- Left-turn Lane – 30 peak hour left turns

Based on the Palm Beach County criteria stated above and the fact that right-turn lanes are existing at all four driveway connections in addition to a left-turn lane at Driveway 3, the project meets Palm Beach County Access Management Standards. No turn lanes or site access modifications are required or proposed.



LEGEND

2,035 WEEKDAY DAILY TRAFFIC VOLUMES

34 AM PEAK-HOUR VOLUME

(109) PM PEAK-HOUR VOLUME



FIGURE 5
FUTURE TOTAL DRIVEWAY VOLUMES
ISLA VERDE RESIDENTIAL/COMMERCIAL/ROYAL
OFFICE/ROYAL PALM TOYS

COMPARISON TO PREVIOUS RESIDENTIAL APPROVAL

The Isla Verde Residential portion of the site is currently approved for 245 townhomes. It is proposed to instead develop this parcel with 360 apartment units. The net difference in the trip generation potential of the proposed and approved uses is 805 net new daily trips, 74 net new AM peak hour trips (18 in, 56 out) and 98 net new PM peak hour trips (61 in, 37 out). The trip differential between the proposed and approved uses on site is summarized in *Table 11*.

As shown in *Table 11*, the proposed residential development is projected to add 45 net new driveway trips (11 in, 34 out) to Driveway 4 and 29 net new driveway trips (7 in, 22 out) to Driveway 3 (the signalized Isla Verde intersection) during the AM peak hour compared to the previous approval. The change in residential development is projected to add 59 net new driveway trips (37 in, 22 out) to Driveway 4 and 39 net new driveway trips (24 in, 15 out) to Driveway 3 (the signalized Isla Verde intersection during the PM peak hour).

Table 12 summarizes the level of service and delay at these driveways with the proposed project traffic. As shown in *Table 12*, both driveways will operate at a level of service (LOS) D or better with the proposed project traffic. The detailed HCS and Synchro output worksheets presenting the analysis are provided in Appendix D.

Table 11: Trip Generation – Proposed vs. Approved Residential Development

TABLE 11 ISLA VERDE RESIDENTIAL/ISLA VERDE COMMERCIAL/ROYAL OFFICE/ROYAL PALM TOYS TRIP GENERATION COMPARISON								
LAND USE	INTENSITY	DAILY Trips	AM PEAK HOUR			PM PEAK HOUR		
			TOTAL	IN	OUT	TOTAL	IN	OUT
Approved Development Condo/Townhomes	245 DU	1,715	106	18	88	125	84	41
Proposed Development Apartments	360 DU	2,520	180	36	144	223	145	78
Trip Differential (Proposed - Approved)		805	74	18	56	98	61	37
Additional Volume at Driveway 3		322	30	7	22	39	24	15
Additional Volume at Driveway 4		483	44	11	34	59	37	22
Trip Differential (Proposed - Existing)		2,520	180	36	144	223	145	78
<p>Note: Trip generation was calculated using the following data:</p> <p>Daily Traffic Generation</p> <p>Condo/Townhomes [PBC] = $T = 7 (X)$</p> <p>Apartments [PBC] = $T = 7 (X)$</p> <p>AM Peak Hour Traffic Generation</p> <p>Condo/Townhomes [PBC] = $\ln(T) = 0.80 \ln(X) + 0.26$; (17% in, 83% out)</p> <p>Apartments [PBC] = $T = 0.49 \ln(X) + 3.73$; (20% in, 80% out)</p> <p>PM Peak Hour Traffic Generation</p> <p>Condo/Townhomes [PBC] = $\ln(T) = 0.82 \ln(X) + 0.32$; (67% in, 33% out)</p> <p>Apartments [PBC] = $T = 0.62 (X)$; (65% in, 35% out)</p> <p style="text-align: right;">© 2013, Kimley-Horn and Associates, Inc. 1/15/2014</p>								

k:\wpb_tpto\1448\144843000 hg isla verde\december 2013\comp_plan_calcs.xlsx\trip gen (3)

Table 12: Driveway Level of Service Summary

Driveway 3 (Old Hammock Way)				Driveway 4		
Peak Period	Approach	Delay (sec)	LOS	Approach	Delay (sec)	LOS
AM Peak Hour	NB	36.7	D	NB	-	-
	SB	18.6	B	SB	-	-
	EB	59.5	E	EB	-	-
	WB	52.2	D	WB	14.4	B
	Overall	29.4	C	Overall	-	-
PM Peak Hour	NB	48.0	D	NB	-	-
	SB	36.1	D	SB	-	-
	EB	71.8	E	EB	-	-
	WB	69.5	E	WB	19.1	C
	Overall	44.4	D	Overall	-	-

CONCLUSION

It is proposed to modify the commercial and residential approvals on a site on the east side of State Road 7 between Forest Hill Boulevard and Pioneer Road in Palm Beach County, Florida. The parcels collectively have a current TPS approval for a mix of residential, retail, medical office, furniture store, and professional entitlements. Of the approved development, only 208,900 square feet of approved commercial retail has been in existence for more than five years. Therefore, credit for this portion of the development is not included in the determination of project significance. Based on the analysis, the proposed development is expected to significantly impact several roadway segments under Test 1 and Test 2 criteria. All significantly impacted roadways meet capacity standards and are expected to operate acceptably through buildout in 2018. Intersection geometric improvements would be required at the intersection of SR7 & Southern Boulevard to meet LOS D criteria. Geometric improvements that would allow the intersection to meet adopted level of service criteria have been identified at this intersection and documented in this report for use in determining proportionate share contribution requirements as deemed applicable.

Based on the driveway analysis, Driveways 2, 3 and 4 are expected to exceed the 75 peak hour right turn threshold. Right-turn lanes are currently provided at these driveways. The full access driveway is expected to exceed the 30 vehicles hour left turn threshold during the peak hours. A left-turn lane currently exists at this driveway; therefore no changes are recommended to the current driveway configuration.

APPENDIX A: TPS DATABASE INFORMATION

Input Data

ROAD NAME: Forest Hill Blvd STATION: 3407
 CURRENT YEAR: 2013 FROM: Stribling Way
 ANALYSIS YEAR: 2018 TO: MIDPOINT
 GROWTH RATE: 1.99% COUNT DATE: 3/12/2013
 PSF: 1

Report Created: 12/10/2013

Link Analysis

Time Period	AM			PM		
Direction	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Existing Volume	3816	2502	1339	4053	1876	2241
Peak Volume	3816	2502	1339	4053	1876	2241
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	3816	2502	1339	4053	1876	2241

Committed Developments

							Type	% Complete
Target Center	0	0	0	0	0	0	NR	100%
Palms West Medical	3	1	2	3	2	1	NR	92%
Groves at Royal Palm	0	0	0	0	0	0	NR	100%
Castellina	4	3	1	5	2	3	Res	0%
Lake Worth SR7 Commercial	2	1	1	3	1	1	NR	88%
Oakmont Estates	1	1	0	1	0	1	Res	73%
Palms West Hospital	2	1	1	2	1	1	NR	95%
Rubin Commercial	5	3	2	17	8	9	NR	0%
Western Plaza	6	3	3	11	5	6	NR	88%
Isla Verde	22	12	10	67	32	35	NR	68%
Palomino Exec Park	0	0	0	0	0	0	NR	100%
Southern Palm Crossing	0	0	0	0	0	0	NR	100%
Ching SR 7	0	0	0	0	0	0	NR	100%
Buena Vida	10	4	6	12	7	5	Res	70%
Olympia	23	6	17	24	15	9	Res	90%
Village Professional Park	71	27	44	123	65	58	NR	0%
Royal Palm Retail	0	0	0	0	0	0	NR	100%
Wellington Mall	12	6	6	45	23	21	NR	90%
Wellington Regional Medical Center	74	22	52	87	59	29	NR	54%
Southern Center	1	0	0	3	1	2	NR	90%
Wellington View	9	4	5	6	3	2	Res	75%
Wellington Parc	14	7	7	14	5	9	NR	0%
Pioneer Road Commercial / Residential	19	7	12	63	33	30	NR	0%
Village Green	4	1	2	7	4	3	NR	35%
Enclave at Royal Palm Beach	23	5	18	28	18	10	Res	0%
Cheddar's Cafe	8	5	3	9	4	5	NR	60%
Wellington Charter School	129	71	58	35	17	19	NR	0%
Total Committed Developments	442	190	250	565	305	259		
Total Committed Residential	70	23	47	76	45	30		
Total Committed Non-Residential	372	167	203	489	260	229		
Double Count Reduction	18	6	12	19	11	8		
Total Discounted Committed Developments	424	184	238	546	294	251		
Historical Growth	396	259	139	420	195	232		
Comm Dev+1% Growth	619	312	306	753	390	365		
Growth Volume Used	619	312	306	753	390	365		
Total Volume	4435	2814	1645	4806	2266	2606		

Lanes

LOS D Capacity

Link Meets Test 1?

LOS E Capacity

Link Meets Test 2?

6LD					
4880	2680	2680	4880	2680	2680
YES	NO	YES	YES	YES	YES
5150	2830	2830	5150	2830	2830
YES	YES	YES	YES	YES	YES

Input Data

ROAD NAME: Forest Hill Blvd

STATION: 3407

Report Created: 12/10/2013

CURRENT YEAR: 2013

FROM: MIDPOINT

ANALYSIS YEAR: 2018

TO: S State Road 7

GROWTH RATE: 1.99%

COUNT DATE: 3/12/2013

PSF: 1

Link Analysis

Time Period

Direction

Existing Volume

Peak Volume

Diversion(%)

Volume after Diversion

2-way	AM		2-way	PM	
	NB/EB	SB/WB		NB/EB	SB/WB
3816	2502	1339	4053	1876	2241
3816	2502	1339	4053	1876	2241
0	0	0	0	0	0
3816	2502	1339	4053	1876	2241

Committed Developments

Type % Complete

Target Center	0	0	0	0	0	0	NR	100%
Palms West Medical	3	1	2	3	2	1	NR	92%
Groves at Royal Palm	0	0	0	0	0	0	NR	100%
Lake Worth SR7 Commercial	2	1	1	3	1	1	NR	88%
Palms West Hospital	2	1	1	2	1	1	NR	95%
Rubin Commercial	5	3	2	17	8	9	NR	0%
Western Plaza	6	3	3	11	5	6	NR	88%
Isla Verde	22	12	10	67	32	35	NR	68%
Palomino Exec Park	0	0	0	0	0	0	NR	100%
Southern Palm Crossing	0	0	0	0	0	0	NR	100%
Ching SR 7	0	0	0	0	0	0	NR	100%
Buena Vida	10	4	6	12	7	5	Res	70%
Olympia	23	6	17	24	15	9	Res	90%
Village Professional Park	71	27	44	123	65	58	NR	0%
Royal Palm Retail	0	0	0	0	0	0	NR	100%
Wellington Mall	25	12	14	94	45	49	NR	90%
Wellington Regional Medical Center	74	22	52	87	59	29	NR	54%
Southern Center	1	0	0	3	1	2	NR	90%
Wellington View	9	4	5	6	3	2	Res	75%
Wellington Parc	14	7	7	14	5	9	NR	0%
Pioneer Road Commercial / Residential	19	7	12	63	33	30	NR	0%
Enclave at Royal Palm Beach	23	5	18	28	18	10	Res	0%
Cheddar's Cafe	8	5	3	9	4	5	NR	60%
Wellington Charter School	129	71	58	35	17	19	NR	0%
Total Committed Developments	446	191	255	601	321	280		
Total Committed Residential	65	19	46	70	43	26		
Total Committed Non-Residential	381	172	209	531	278	254		
Double Count Reduction	16	5	12	18	11	7		

Total Discounted Committed Developments 430 186 243 583 310 273

Historical Growth 396 259 139 420 195 232

Comm Dev+1% Growth 625 314 311 790 406 387

Growth Volume Used 625 314 311 790 406 387

Total Volume	4441	2816	1650	4843	2282	2628
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Lanes	6LD					
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LOS D Capacity	4880	2680	2680	4880	2680	2680
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Link Meets Test 1?	YES	NO	YES	YES	YES	YES
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LOS E Capacity	5150	2830	2830	5150	2830	2830
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Link Meets Test 2?	YES	YES	YES	YES	YES	YES
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Input Data

ROAD NAME: Forest Hill Blvd STATION: 3423
CURRENT YEAR: 2013 FROM: Midpoint
ANALYSIS YEAR: 2018 TO: Lyons Rd
GROWTH RATE: 2.99% COUNT DATE: 3/12/2013
PSF: 1

Report Created: 12/10/2013

Link Analysis

Time Period	AM			PM		
Direction	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Existing Volume	2665	1370	1295	3192	1615	1578
Peak Volume	2665	1370	1295	3192	1615	1578
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	2665	1370	1295	3192	1615	1578

Committed Developments Type % Complete

Target Center	0	0	0	0	0	0	NR	100%
Palms West Medical	1	0	1	1	1	0	NR	92%
Groves at Royal Palm	0	0	0	0	0	0	NR	100%
Castellina	32	24	8	40	15	25	Res	0%
Lake Worth SR7 Commercial	2	1	1	2	1	1	NR	88%
Oakmont Estates	7	5	2	9	3	6	Res	73%
Palms West Hospital	1	0	0	1	0	0	NR	95%
Rubin Commercial	9	4	5	29	15	14	NR	0%
Western Plaza	3	1	2	5	3	3	NR	88%
Isla Verde	19	9	10	57	30	28	NR	68%
Palomino Exec Park	0	0	0	0	0	0	NR	100%
Southern Palm Crossing	0	0	0	0	0	0	NR	100%
Ching SR 7	0	0	0	0	0	0	NR	100%
Buena Vida	14	9	5	17	7	11	Res	70%
Olympia	34	25	8	35	13	22	Res	90%
Village Professional Park	71	44	27	123	58	65	NR	0%
Royal Palm Retail	0	0	0	0	0	0	NR	100%
Wellington Mall	22	10	12	82	39	43	NR	90%
Shoppes At Southern Pines	4	2	2	11	6	6	NR	72%
Wellington Regional Medical Center	119	35	83	140	94	46	NR	54%
Southern Center	1	0	1	5	3	2	NR	90%
Wellington View	23	11	12	15	9	6	Res	75%
Wellington Parc	14	7	8	14	9	5	NR	0%
Pioneer Road Commercial / Residential	12	8	4	39	19	20	NR	0%
Village Green	27	10	17	53	29	24	NR	35%
Enclave at Royal Palm Beach	34	27	7	42	15	28	Res	0%
Cheddar's Cafe	6	2	4	8	4	3	NR	60%
Wellington Charter School	129	58	71	35	19	17	NR	0%
Total Committed Developments	584	292	290	763	392	375		
Total Committed Residential	144	101	42	158	62	98		
Total Committed Non-Residential	440	191	248	605	330	277		
Double Count Reduction	36	25	11	40	16	25		
Total Discounted Committed Developments	548	267	279	723	376	350		
Historical Growth	423	217	205	506	256	250		
Comm Dev+1% Growth	684	337	345	886	458	430		
Growth Volume Used	684	337	345	886	458	430		
Total Volume	3349	1707	1640	4078	2073	2008		

Lanes

LOS D Capacity

Link Meets Test 1?

LOS E Capacity

Link Meets Test 2?

6LD					
4880	2940	2940	4880	2940	2940
YES	YES	YES	YES	YES	YES
5150	2940	2940	5150	2940	2940
YES	YES	YES	YES	YES	YES

Input Data

ROAD NAME: Forest Hill Blvd

STATION: 3423

Report Created: 12/10/2013

CURRENT YEAR: 2013

FROM: S State Road 7

ANALYSIS YEAR: 2018

TO: Midpoint

GROWTH RATE: 2.99%

COUNT DATE: 3/12/2013

PSF: 1

Link Analysis

Time Period

Direction

Existing Volume

Peak Volume

Diversion(%)

Volume after Diversion

2-way	AM		2-way	PM	
	NB/EB	SB/WB		NB/EB	SB/WB
2665	1370	1295	3192	1615	1578
2665	1370	1295	3192	1615	1578
0	0	0	0	0	0
2665	1370	1295	3192	1615	1578

Committed Developments

Type % Complete

Target Center	0	0	0	0	0	0	NR	100%
Palms West Medical	1	0	1	1	1	0	NR	92%
Groves at Royal Palm	0	0	0	0	0	0	NR	100%
Castellina	32	24	8	40	15	25	Res	0%
Lake Worth SR7 Commercial	2	1	1	2	1	1	NR	88%
Oakmont Estates	7	5	2	9	3	6	Res	73%
Palms West Hospital	1	0	0	1	0	0	NR	95%
Rubin Commercial	9	4	5	29	15	14	NR	0%
Western Plaza	3	1	2	5	3	3	NR	88%
Isla Verde	19	9	10	57	30	28	NR	68%
Palomino Exec Park	0	0	0	0	0	0	NR	100%
Southern Palm Crossing	0	0	0	0	0	0	NR	100%
Ching SR 7	0	0	0	0	0	0	NR	100%
Buena Vida	30	12	19	37	23	15	Res	70%
Olympia	26	7	20	28	18	10	Res	90%
Village Professional Park	71	44	27	123	58	65	NR	0%
Royal Palm Retail	0	0	0	0	0	0	NR	100%
Wellington Mall	22	10	12	82	39	43	NR	90%
Shoppes At Southern Pines	4	2	2	11	6	6	NR	72%
Wellington Regional Medical Center	119	35	83	140	94	46	NR	54%
Southern Center	1	0	1	5	3	2	NR	90%
Wellington View	23	11	12	15	9	6	Res	75%
Wellington Parc	14	7	8	14	9	5	NR	0%
Pioneer Road Commercial / Residential	12	8	4	39	19	20	NR	0%
Village Green	27	10	17	53	29	24	NR	35%
Enclave at Royal Palm Beach	34	27	7	42	15	28	Res	0%
Cheddar's Cafe	6	2	4	8	4	3	NR	60%
Wellington Charter School	129	58	71	35	19	17	NR	0%
Total Committed Developments	592	277	316	776	413	367		
Total Committed Residential	152	86	68	171	83	90		
Total Committed Non-Residential	440	191	248	605	330	277		
Double Count Reduction	38	22	17	43	21	23		

Total Discounted Committed Developments	554	255	299	733	392	344
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Historical Growth	423	217	205	506	256	250
Comm Dev+1% Growth	690	325	365	896	474	424
Growth Volume Used	690	325	365	896	474	424
Total Volume	3355	1695	1660	4088	2089	2002

Lanes

	6LD					
LOS D Capacity	4880	2940	2940	4880	2940	2940
Link Meets Test 1?	YES	YES	YES	YES	YES	YES
LOS E Capacity	5150	2940	2940	5150	2940	2940
Link Meets Test 2?	YES	YES	YES	YES	YES	YES

Input Data

ROAD NAME: Forest Hill Blvd STATION: 3221
 CURRENT YEAR: 2013 FROM: Midpoint
 ANALYSIS YEAR: 2018 TO: Pinehurst Dr
 GROWTH RATE: 1.15% COUNT DATE: 1/16/2013
 PSF: 1

Report Created: 12/10/2013

Link Analysis

Time Period	AM			PM		
Direction	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Existing Volume	2742	1405	1395	3157	1629	1604
Peak Volume	2742	1405	1395	3157	1629	1604
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	2742	1405	1395	3157	1629	1604

Committed Developments

							Type	% Complete
Palms West Medical	1	0	1	1	1	0	NR	92%
Castellina	28	21	7	35	13	22	Res	0%
Oakmont Estates	6	4	1	7	3	5	Res	73%
Palms West Hospital	1	0	0	1	0	0	NR	95%
Isla Verde	17	8	9	50	26	24	NR	68%
Ching SR 7	0	0	0	0	0	0	NR	100%
Buena Vida	14	9	5	17	7	11	Res	70%
Olympia	34	25	8	35	13	22	Res	90%
Village Professional Park	53	33	21	92	44	49	NR	0%
Wellington Mall	17	8	9	64	30	33	NR	90%
Shoppes At Southern Pines	4	2	2	11	6	6	NR	72%
Wellington Regional Medical Center	74	22	52	87	59	29	NR	54%
Wellington View	21	11	10	14	6	8	Res	75%
Pioneer Road Commercial / Residential	7	5	3	24	12	13	NR	0%
Village Green	13	5	8	25	13	11	NR	35%
Wellington Charter School	59	26	32	16	9	8	NR	0%
Total Committed Developments	349	179	168	479	242	241		
Total Committed Residential	103	70	31	108	42	68		
Total Committed Non-Residential	246	109	137	371	200	173		
Double Count Reduction	26	18	8	27	11	17		

Total Discounted Committed Developments 323 161 160 452 231 224

Historical Growth	162	83	82	186	96	95
Comm Dev+1% Growth	463	233	231	613	314	306
Growth Volume Used	463	233	231	613	314	306
Total Volume	3205	1638	1626	3770	1943	1910

Lanes

	6LD					
LOS D Capacity	4880	2940	2940	4880	2940	2940
Link Meets Test 1?	YES	YES	YES	YES	YES	YES
LOS E Capacity	5150	2940	2940	5150	2940	2940
Link Meets Test 2?	YES	YES	YES	YES	YES	YES

Input Data

ROAD NAME: Forest Hill Blvd STATION: 3221
 CURRENT YEAR: 2013 FROM: Lyons Rd
 ANALYSIS YEAR: 2018 TO: Midpoint
 GROWTH RATE: 1.15% COUNT DATE: 1/16/2013

Report Created: 12/10/2013

PSF: 1

Link Analysis

Time Period Direction	AM			PM		
	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Existing Volume	2742	1405	1395	3157	1629	1604
Peak Volume	2742	1405	1395	3157	1629	1604
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	2742	1405	1395	3157	1629	1604

Committed Developments

							Type	% Complete
Palms West Medical	1	0	1	1	1	0	NR	92%
Castellina	28	21	7	35	13	22	Res	0%
Oakmont Estates	6	4	1	7	3	5	Res	73%
Palms West Hospital	1	0	0	1	0	0	NR	95%
Isla Verde	17	8	9	50	26	24	NR	68%
Ching SR 7	0	0	0	0	0	0	NR	100%
Buena Vida	14	9	5	17	7	11	Res	70%
Olympia	34	25	8	35	13	22	Res	90%
Village Professional Park	53	33	21	92	44	49	NR	0%
Wellington Mall	17	8	9	64	30	33	NR	90%
Shoppes At Southern Pines	4	2	2	11	6	6	NR	72%
Wellington Regional Medical Center	74	22	52	87	59	29	NR	54%
Wellington View	21	11	10	14	6	8	Res	75%
Pioneer Road Commercial / Residential	7	5	3	24	12	13	NR	0%
Village Green	13	5	8	25	13	11	NR	35%
Wellington Charter School	59	26	32	16	9	8	NR	0%
Total Committed Developments	349	179	168	479	242	241		
Total Committed Residential	103	70	31	108	42	68		
Total Committed Non-Residential	246	109	137	371	200	173		
Double Count Reduction	26	18	8	27	11	17		

Total Discounted Committed Developments 323 161 160 452 231 224

Historical Growth	162	83	82	186	96	95
Comm Dev+1% Growth	463	233	231	613	314	306
Growth Volume Used	463	233	231	613	314	306
Total Volume	3205	1638	1626	3770	1943	1910

Lanes

	6LD					
LOS D Capacity	4880	2940	2940	4880	2940	2940
Link Meets Test 1?	YES	YES	YES	YES	YES	YES
LOS E Capacity	5150	2940	2940	5150	2940	2940
Link Meets Test 2?	YES	YES	YES	YES	YES	YES

Input Data

ROAD NAME: N State Road 7 STATION: 3408
 CURRENT YEAR: 2013 FROM: MIDPOINT
 ANALYSIS YEAR: 2018 TO: Southern Blvd
 GROWTH RATE: 2.42% COUNT DATE: 3/20/2013
 PSF: 1

Report Created: 12/10/2013

Time Period Direction	AM			PM		
	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Existing Volume	3710	2000	1793	4274	2082	2193
Peak Volume	3710	2000	1793	4274	2082	2193
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	3710	2000	1793	4274	2082	2193

Committed Developments							Type	% Complete
Target Center	0	0	0	0	0	0	NR	100%
Palms West Medical	1	1	0	1	0	1	NR	92%
Groves at Royal Palm	0	0	0	0	0	0	NR	100%
Kings Academy	23	15	8	9	4	5	NR	70%
Castellina	46	34	12	58	21	37	Res	0%
Lake Worth SR7 Commercial	2	1	1	3	1	1	NR	88%
Martingale Meadows	11	3	8	15	10	6	Res	0%
Oakmont Estates	10	8	3	13	5	8	Res	73%
Palms West Hospital	1	0	0	1	0	0	NR	95%
Highland Dunes	97	31	66	95	57	38	Res	0%
Rubin Commercial	31	17	14	105	51	54	NR	0%
Western Plaza	17	9	8	33	16	17	NR	88%
Isla Verde	44	21	23	134	70	65	NR	68%
Palomino Exec Park	0	0	0	0	0	0	NR	100%
Southern Palm Crossing	0	0	0	0	0	0	NR	100%
Ching SR 7	0	0	0	0	0	0	NR	100%
Buena Vida	12	8	5	15	6	9	Res	70%
Olympia	30	22	7	31	12	20	Res	90%
United Auto Group	0	0	0	0	0	0	NR	100%
Village Professional Park	142	87	55	246	116	130	NR	0%
Royal Palm Retail	0	0	0	0	0	0	NR	100%
Fox DRI	5	2	2	10	5	5	NR	94%
Wellington Mall	13	6	7	47	22	25	NR	90%
Southern Mills	14	11	2	15	3	12	NR	38%
Shoppes At Southern Pines	4	2	2	11	6	6	NR	72%
Wellington Regional Medical Center	168	50	118	198	133	65	NR	54%
Pioneer Trail	11	8	3	15	6	10	Res	69%
Cypress Point MUPD	22	18	4	27	7	20	NR	0%
Southern Center	4	2	1	18	9	9	NR	90%
Wellington View	3	1	1	2	1	1	Res	75%
Aldi / Royal Palm Industrial	20	14	6	9	2	7	NR	5%
Wellington Parc	22	10	12	22	14	8	NR	0%
Pioneer Road Commercial / Residential	81	52	29	266	128	138	NR	0%
Village Green	27	10	17	53	29	24	NR	35%
Enclave at Royal Palm Beach	54	43	11	67	24	44	Res	0%
Seven Eleven	30	15	15	30	15	15	NR	0%
Palm Beach Auto Auction	15	14	2	25	13	12	NR	50%
03-W Marginal Elementary	0	0	0	0	0	0	NR	100%
Weldon RPB	24	13	11	70	34	36	NR	0%

Target Center	0	0	0	0	0	0	NR	100%
Palms West Medical	1	1	0	1	0	1	NR	92%
Groves at Royal Palm	0	0	0	0	0	0	NR	100%
Kings Academy	23	15	8	9	4	5	NR	70%
Castellina	46	34	12	58	21	37	Res	0%
Lake Worth SR7 Commercial	2	1	1	3	1	1	NR	88%
Martingale Meadows	11	3	8	15	10	6	Res	0%
Oakmont Estates	10	8	3	13	5	8	Res	73%
Palms West Hospital	1	0	0	1	0	0	NR	95%
Highland Dunes	97	31	66	95	57	38	Res	0%
Rubin Commercial	31	17	14	105	51	54	NR	0%
Western Plaza	15	8	7	27	13	14	NR	88%
Isla Verde	66	35	31	202	97	104	NR	68%
Palomino Exec Park	0	0	0	0	0	0	NR	100%
Southern Palm Crossing	0	0	0	0	0	0	NR	100%
Ching SR 7	0	0	0	0	0	0	NR	100%
Buena Vida	12	8	5	15	6	9	Res	70%
Olympia	30	22	7	31	12	20	Res	90%
United Auto Group	0	0	0	0	0	0	NR	100%

Village Professional Park	213	82	131	370	196	175	NR	0%
Royal Palm Retail	0	0	0	0	0	0	NR	100%
Fox DRI	5	2	2	10	5	5	NR	94%
Wellington Mall	13	6	7	47	22	25	NR	90%
Southern Mills	14	11	2	15	3	12	NR	38%
Shoppes At Southern Pines	4	2	2	11	6	6	NR	72%
Wellington Regional Medical Center	158	111	47	186	61	125	NR	54%
Pioneer Trail	7	2	5	10	6	4	Res	69%
Cypress Point MUPD	22	18	4	27	7	20	NR	0%
Southern Center	4	2	1	18	9	9	NR	90%
Wellington View	3	1	1	2	1	1	Res	75%
Wellington Parc	22	10	12	22	14	8	NR	0%
Pioneer Road Commercial / Residential	66	23	43	217	113	104	NR	0%
Village Green	27	10	17	53	29	24	NR	35%
Enclave at Royal Palm Beach	87	18	69	110	71	38	Res	0%
Seven Eleven	30	15	15	30	15	15	NR	0%
Palm Beach Auto Auction	15	14	2	25	13	12	NR	50%
03-W Marginal Elementary	0	0	0	0	0	0	NR	100%
Cheddar's Cafe	23	15	8	27	12	16	NR	60%
PBC Stockade	37	35	2	40	7	33	NR	36%
Wellington Charter School	492	222	270	135	71	63	NR	0%
Total Committed Developments	1587	782	802	1930	938	992		
Total Committed Residential	303	127	176	349	189	161		
Total Committed Non-Residential	1284	655	626	1581	749	831		
Double Count Reduction	76	32	44	87	47	40		

Total Discounted Committed Developments 1511 750 758 1843 891 952

Historical Growth	26	14	13	32	17	15
Comm Dev+1% Growth	1694	844	847	2063	1008	1054
Growth Volume Used	1694	844	847	2063	1008	1054
Total Volume	5279	2689	2587	6369	3305	3063

Lanes

LOS D Capacity	6530	3940	3940	6530	3940	3940
Link Meets Test 1?	YES	YES	YES	YES	YES	YES
LOS E Capacity	6880	3940	3940	6880	3940	3940
Link Meets Test 2?	YES	YES	YES	YES	YES	YES

Input Data

ROAD NAME: N State Road 7 STATION: 3406
 CURRENT YEAR: 2013 FROM: Southern Blvd
 ANALYSIS YEAR: 2018 TO: Midpoint
 GROWTH RATE: -0.09% COUNT DATE: 3/20/2013
 PSF: 1

Report Created: 12/10/2013

Time Period Direction	AM			PM		
	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Existing Volume	2766	1269	1518	3933	2059	1874
Peak Volume	2766	1269	1518	3933	2059	1874
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	2766	1269	1518	3933	2059	1874

Committed Developments							Type	% Complete
Target Center	0	0	0	0	0	0	NR	100%
Palms West Medical	1	0	1	2	1	0	NR	92%
Groves at Royal Palm	0	0	0	0	0	0	NR	100%
Kings Academy	28	19	9	11	5	6	NR	70%
Martingale Meadows	9	7	2	13	5	8	Res	0%
Palms West Hospital	1	0	1	1	1	0	NR	95%
Highland Dunes	85	58	27	83	33	50	Res	0%
Rubin Commercial	45	20	25	151	78	73	NR	0%
Western Plaza	17	8	9	33	17	16	NR	88%
Isla Verde	17	8	9	50	26	24	NR	68%
Lennar Commercial	0	0	0	0	0	0	NR	100%
Southern Palm Crossing	0	0	0	0	0	0	NR	100%
University Center	0	0	0	0	0	0	NR	100%
Ching SR 7	0	0	0	0	0	0	NR	100%
Olympia	9	7	2	9	3	6	Res	90%
United Auto Group	0	0	0	0	0	0	NR	100%
Vista Center DRI	37	29	9	40	11	29	NR	65%
Village Professional Park	71	44	27	123	58	65	NR	0%
Royal Palm Retail	0	0	0	0	0	0	NR	100%
Fox DRI	9	4	4	17	9	8	NR	94%
Porto Sol	24	6	18	29	18	11	Res	46%
Wellington Mall	6	3	3	24	11	12	NR	90%
Southern Mills	9	1	8	10	8	2	NR	38%
Shoppes At Southern Pines	4	2	2	11	6	6	NR	72%
Wellington Regional Medical Center	64	19	45	76	51	25	NR	54%
Pioneer Trail	4	3	1	6	2	4	Res	69%
Cypress Point MUPD	7	1	6	9	7	2	NR	0%
Southern Center	4	2	1	17	8	9	NR	90%
Aldi / Royal Palm Industrial	91	62	29	39	10	29	NR	5%
Pioneer Road Commercial / Residential	37	24	13	121	58	63	NR	0%
Village Green	9	3	6	18	10	8	NR	35%
Enclave at Royal Palm Beach	23	18	5	28	10	18	Res	0%
Seven Eleven	5	3	3	6	3	3	NR	0%
Palm Beach Auto Auction	20	2	18	34	16	18	NR	50%
03-W Marginal Elementary	0	0	0	0	0	0	NR	100%
Weldon RPB	45	25	20	130	63	67	NR	0%
Total Committed Developments	681	378	303	1091	528	562		
Total Committed Residential	154	99	55	168	71	97		
Total Committed Non-Residential	527	279	248	923	457	465		

Double Count Reduction	39	25	14	42	18	24
Total Discounted Committed Developments	642	353	289	1049	510	538
Historical Growth	-13	-6	-7	-18	-10	-9
Comm Dev+1% Growth	783	418	366	1250	615	634
Growth Volume Used	783	418	366	1250	615	634
Total Volume	3549	1687	1884	5183	2674	2508

Lanes

	8LD					
LOS D Capacity	6530	3590	3590	6530	3590	3590
Link Meets Test 1?	YES	YES	YES	YES	YES	YES
LOS E Capacity	6880	3780	3780	6880	3780	3780
Link Meets Test 2?	YES	YES	YES	YES	YES	YES

Input Data

ROAD NAME: N State Road 7 STATION: 3406
CURRENT YEAR: 2013 FROM: Midpoint
ANALYSIS YEAR: 2018 TO: Belvedere Rd
GROWTH RATE: -0.09% COUNT DATE: 3/20/2013
PSF: 1

Report Created: 12/10/2013

Link Analysis

Time Period	AM			PM		
Direction	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Existing Volume	2766	1269	1518	3933	2059	1874
Peak Volume	2766	1269	1518	3933	2059	1874
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	2766	1269	1518	3933	2059	1874

Committed Developments

						Type	% Complete
Target Center	0	0	0	0	0	NR	100%
Palms West Medical	1	0	1	2	1	NR	92%
Groves at Royal Palm	0	0	0	0	0	NR	100%
Kings Academy	28	19	9	11	5	NR	70%
Martingale Meadows	9	7	2	13	5	Res	0%
Palms West Hospital	1	0	1	1	1	NR	95%
Highland Dunes	85	58	27	83	33	Res	0%
Rubin Commercial	45	20	25	151	78	NR	0%
Western Plaza	17	8	9	33	17	NR	88%
Isla Verde	17	8	9	50	26	NR	68%
Lennar Commercial	0	0	0	0	0	NR	100%
Southern Palm Crossing	0	0	0	0	0	NR	100%
University Center	0	0	0	0	0	NR	100%
Ching SR 7	0	0	0	0	0	NR	100%
Olympia	9	7	2	9	3	Res	90%
United Auto Group	0	0	0	0	0	NR	100%
Vista Center DRI	37	29	9	40	11	NR	65%
Village Professional Park	71	44	27	123	58	NR	0%
Royal Palm Retail	0	0	0	0	0	NR	100%
Fox DRI	9	4	4	17	9	NR	94%
Porto Sol	24	6	18	29	18	Res	46%
Wellington Mall	6	3	3	24	11	NR	90%
Southern Mills	9	1	8	10	8	NR	38%
Shoppes At Southern Pines	4	2	2	11	6	NR	72%
Wellington Regional Medical Center	64	19	45	76	51	NR	54%

Pioneer Trail	4	3	1	6	2	4	Res	69%
Cypress Point MUPD	7	1	6	9	7	2	NR	0%
Southern Center	6	2	3	26	14	13	NR	90%
Aldi / Royal Palm Industrial	91	62	29	39	10	29	NR	5%
Pioneer Road Commercial / Residential	37	24	13	121	58	63	NR	0%
Village Green	9	3	6	18	10	8	NR	35%
Enclave at Royal Palm Beach	23	18	5	28	10	18	Res	0%
Seven Eleven	5	3	3	6	3	3	NR	0%
Palm Beach Auto Auction	20	2	18	34	16	18	NR	50%
03-W Marginal Elementary	0	0	0	0	0	0	NR	100%
Weldon RPB	45	25	20	130	63	67	NR	0%
PBC Stockade	75	5	70	80	67	13	NR	36%
Total Committed Developments	758	383	375	1180	601	579		
Total Committed Residential	154	99	55	168	71	97		
Total Committed Non-Residential	604	284	320	1012	530	482		
Double Count Reduction	39	25	14	42	18	24		
Total Discounted Committed Developments	719	358	361	1138	583	555		
Historical Growth	-13	-6	-7	-18	-10	-9		
Comm Dev+1% Growth	860	423	438	1339	688	651		
Growth Volume Used	860	423	438	1339	688	651		
Total Volume	3626	1692	1956	5272	2747	2525		

Lanes

	8LD					
LOS D Capacity	6530	3590	3590	6530	3590	3590
Link Meets Test 1?	YES	YES	YES	YES	YES	YES
LOS E Capacity	6880	3780	3780	6880	3780	3780
Link Meets Test 2?	YES	YES	YES	YES	YES	YES

E-W Street: Forest Hill Blvd	Input Data	Report Created: 12/10/2013
N-S STREET: N State Road 7	COUNT DATE: 2/23/2011	
TIME PERIOD: AM	CURRENT YEAR: 2011	
GROWTH RATE: -0.87%	ANALYSIS YEAR: 2018	
SIGNAL ID: 33400	PSF: 1	

	Intersection Volume Development												Type	% Complete		
	Eastbound			Westbound			Northbound			Southbound						
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right				
Existing Volume	710	888	495	321	579	305	287	1230	235	266		1150		370		
Diversions	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%		0%		0%		
Peak Season Volume	710	888	495	321	579	305	287	1230	235	266		1150		370		
Committed Developments																
Pioneer Road Commercial / Residential	9	0	0	0	0	6	0	15	0	5		13		7	NR	0%
Western Plaza	3	0	0	0	0	1	0	3	0	1		2		2	NR	89%
Enclave at Royal Palm Beach	4	0	0	0	0	6	0	6	0	25		23		17	Res	0%
Wellington Mall	0	0	5	5	0	0	4	4	4	0		5		0	NR	90%
Cheddar's Cafe	12	0	0	0	0	10	0	9	0	6		5		7	NR	0%
Oakmont Estates	1	1	0	4	1	0	0	18	12	0		6		1	Res	37%
Castellina	3	3	0	8	1	0	0	34	24	0		12		1	Res	0%
Village Green	2	2	0	31	4	0	0	18	18	0		31		4	NR	0%
Wellington Parc	0	0	14	14	0	0	15	24	16	0		22		0	NR	0%
Lake Worth SR7 Commercial	0	0	1	1	0	0	1	1	1	0		1		0	NR	88%
Buena Vida	0	4	0	5	6	8	0	0	3	5		0		0	Res	70%
Wellington Regional Medical Center	0	22	22	0	52	83	52	80	0	35		34		0	NR	54%
Village Professional Park	39	0	0	0	0	39	0	39	0	9		9		9	NR	0%
Isla Verde	12	0	0	0	0	10	0	9	0	9		8		11	NR	68%
Rubin Commercial	3	0	0	0	0	5	0	10	0	4		8		2	NR	0%
Southern Center	0	0	0	0	0	1	0	1	0	0		1		0	NR	90%
Palms West Medical	0	0	0	0	1	1	1	1	0	0		0		0	NR	92%
Wellington View	0	6	0	5	7	2	0	0	5	2		0		0	Res	65%
Olympia	0	6	6	0	17	20	17	20	0	7		7		0	Res	90%
Total Committed Developments	88	44	48	73	89	192	90	292	83	108		187		61		
Total Committed Residential	8	20	6	22	32	36	17	78	44	39		48		19		
Total Committed Non-Residential	80	24	42	51	57	156	73	214	39	69		139		42		
Double Count Reduction	2	5	2	6	8	9	4	20	8	10		12		5		
Total Discounted Committed	86	39	46	67	81	183	86	272	75	98		175		56		
Historical Growth	-42	-53	-29	-19	-34	-18	-17	-73	-14	-16		-68		-22		
Comm Dev+1% Growth	137	103	82	90	123	205	107	361	92	117		258		83		
Growth Volume Used	137	103	82	90	123	205	107	361	92	117		258		83		
Total Volume	847	991	577	411	702	510	394	1591	327	383		1408		453		

E-W Street: Forest Hill Blvd	Input Data	Report Created: 12/10/2013
N-S STREET: N State Road 7	COUNT DATE: 2/23/2011	
TIME PERIOD: PM	CURRENT YEAR: 2011	
GROWTH RATE: -0.87%	ANALYSIS YEAR: 2018	
SIGNAL ID: 33400	PSF: 1	

Intersection Volume Development														
	Eastbound			Westbound			Northbound			Southbound				
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right		
Existing Volume	669	1196	360	340	985	365	677	1583	406	346	1309	629		
Diversions	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%		
Peak Season Volume	669	1196	360	340	985	365	677	1583	406	346	1309	629		
Committed Developments														
												Type	% Complete	
Pioneer Road Commercial / Residential	8	0	0	0	0	5	0	13	0	5	15	9	NR	0%
Western Plaza	5	0	0	0	0	2	0	5	0	3	5	5	NR	89%
Enclave at Royal Palm Beach	16	0	0	0	0	24	0	22	0	13	12	9	Res	0%
Wellington Mall	0	0	19	19	0	0	17	17	17	0	19	0	NR	90%
Cheddar's Cafe	10	0	0	0	0	8	0	7	0	11	10	13	NR	0%
Oakmont Estates	1	1	0	13	2	0	0	11	8	0	20	2	Res	37%
Castellina	2	2	0	25	3	0	0	21	15	0	37	3	Res	0%
Village Green	6	6	0	36	5	0	0	46	46	0	36	5	NR	0%
Wellington Parc	0	0	19	20	0	0	21	34	22	0	30	0	NR	0%
Lake Worth SR7 Commercial	0	0	1	1	0	0	1	1	1	0	1	0	NR	88%
Buena Vida	0	7	0	4	5	6	0	0	6	9	0	0	Res	70%

Wellington Regional Medical Center	0	59	59	0	29	46	29	44	0	94	90	0	NR	54%
Village Professional Park	28	0	0	0	0	28	0	28	0	45	45	45	NR	0%
Isla Verde	36	0	0	0	0	30	0	27	0	33	29	38	NR	68%
Rubin Commercial	8	0	0	0	0	14	0	28	0	15	30	9	NR	0%
Southern Center	1	0	0	0	0	2	0	5	0	3	5	2	NR	90%
Palms West Medical	0	1	1	0	0	0	0	0	0	1	1	0	NR	92%
Wellington View	0	5	0	3	4	1	0	0	4	1	0	0	Res	65%
Olympia	0	15	15	0	9	10	9	10	0	18	18	0	Res	90%
Total Committed Developments	121	96	114	121	57	176	77	319	119	251	403	140		
Total Committed Residential	19	30	15	45	23	41	9	64	33	41	87	14		
Total Committed Non-Residential	102	66	99	76	34	135	68	255	86	210	316	126		
Double Count Reduction	5	8	4	11	6	10	2	16	8	10	22	4		
Total Discounted Committed	116	88	110	110	51	166	75	303	111	241	381	136		
Historical Growth	-40	-71	-21	-20	-58	-22	-40	-94	-24	-21	-78	-37		
Comm Dev+1% Growth	164	174	136	135	122	192	124	417	140	266	475	181		
Growth Volume Used	164	174	136	135	122	192	124	417	140	266	475	181		
Total Volume	833	1370	496	475	1107	557	801	2000	546	612	1784	810		

Input Data

ROAD NAME: Southern Blvd STATION: 3415
CURRENT YEAR: 2013 FROM: Midpoint
ANALYSIS YEAR: 2018 TO: Sansburys Way
GROWTH RATE: 0.64% COUNT DATE: 3/18/2013
PSF: 1

Report Created: 12/10/2013

Link Analysis

Time Period	AM			PM		
Direction	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Existing Volume	5482	3647	1890	5142	2230	2933
Peak Volume	5482	3647	1890	5142	2230	2933
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	5482	3647	1890	5142	2230	2933

Committed Developments

							Type	% Complete
Target Center	0	0	0	0	0	0	NR	100%
Palms West Medical	1	0	1	2	1	0	NR	92%
Groves at Royal Palm	0	0	0	0	0	0	NR	100%
Kings Academy	12	8	4	4	2	2	NR	70%
Martingale Meadows	24	18	6	34	13	22	Res	0%
Palms West Hospital	1	0	1	1	1	0	NR	95%
Highland Dunes	242	165	78	238	94	144	Res	0%
ProLogis Pike Road	41	34	7	37	8	29	NR	0%
Rubin Commercial	26	12	14	87	45	42	NR	0%
Western Plaza	9	4	5	16	8	8	NR	88%
Belvedere Commerce Center	11	6	5	27	13	14	NR	0%
Isla Verde	9	4	5	27	14	13	NR	68%
Southern Palm Crossing	0	0	0	0	0	0	NR	100%
Ching SR 7	0	0	0	0	0	0	NR	100%
Olympia	6	5	2	6	2	4	Res	90%
United Auto Group	0	0	0	0	0	0	NR	100%
Village Professional Park	32	20	12	55	26	29	NR	0%
Royal Palm Retail	0	0	0	0	0	0	NR	100%
Fox DRI	2	1	1	5	2	2	NR	94%
Wellington Mall	3	1	2	12	6	6	NR	90%
Southern Mills	41	6	34	44	35	8	NR	38%
Shoppes At Southern Pines	12	7	5	34	17	18	NR	72%
Wellington Regional Medical Center	40	12	28	47	31	15	NR	54%
Pioneer Trail	4	3	1	6	2	4	Res	69%
Cypress Point MUPD	43	36	8	53	14	40	NR	0%
Southern Center	3	1	2	15	8	7	NR	90%
Wellington View	10	5	5	6	4	3	Res	75%
Aldi / Royal Palm Industrial	30	10	21	13	10	3	NR	5%
Pioneer Road Commercial / Residential	21	13	7	68	32	35	NR	0%
Village Green	9	3	6	18	10	8	NR	35%
Enclave at Royal Palm Beach	23	18	5	28	10	18	Res	0%
Seven Eleven	49	24	25	50	25	25	NR	0%
Palm Beach Auto Auction	42	38	4	70	37	34	NR	50%
03-W Marginal Elementary	0	0	0	0	0	0	NR	100%
PBC Stockade	100	7	93	106	89	17	NR	36%
Total Committed Developments	846	461	387	1109	559	550		
Total Committed Residential	309	214	97	318	125	195		
Total Committed Non-Residential	537	247	290	791	434	355		
Double Count Reduction	77	49	24	80	31	49		

Total Discounted Committed Developments	769	412	363	1029	528	501
Historical Growth	179	119	62	167	73	96
Comm Dev+1% Growth	1049	598	459	1291	642	651
Growth Volume Used	1049	598	459	1291	642	651
Total Volume	6531	4245	2349	6433	2872	3584

Lanes

	8LD					
LOS D Capacity	6530	3940	3940	6530	3940	3940
Link Meets Test 1?	NO	NO	YES	YES	YES	YES
LOS E Capacity	6880	3940	3940	6880	3940	3940
Link Meets Test 2?	YES	NO	YES	YES	YES	YES

Input Data

ROAD NAME: Southern Blvd STATION: 3415
CURRENT YEAR: 2013 FROM: N State Road 7
ANALYSIS YEAR: 2018 TO: Midpoint
GROWTH RATE: 0.64% COUNT DATE: 3/18/2013
PSF: 1

Report Created: 12/10/2013

Link Analysis

	AM			PM		
Time Period	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Direction						
Existing Volume	5482	3647	1890	5142	2230	2933
Peak Volume	5482	3647	1890	5142	2230	2933
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	5482	3647	1890	5142	2230	2933

Committed Developments

						Type	% Complete
Target Center	0	0	0	0	0	NR	100%
Palms West Medical	1	0	1	2	1	NR	92%
Groves at Royal Palm	0	0	0	0	0	NR	100%
Kings Academy	12	8	4	4	2	NR	70%
Martingale Meadows	24	18	6	34	13	Res	0%
Palms West Hospital	1	0	1	1	1	NR	95%
Highland Dunes	242	165	78	238	94	Res	0%
ProLogis Pike Road	41	34	7	37	8	NR	0%
Rubin Commercial	26	12	14	87	45	NR	0%
Western Plaza	12	6	5	22	11	NR	88%
Belvedere Commerce Center	11	6	5	27	13	NR	0%
Isla Verde	9	4	5	27	14	NR	68%
Southern Palm Crossing	0	0	0	0	0	NR	100%
Ching SR 7	0	0	0	0	0	NR	100%
Olympia	6	5	2	6	2	Res	90%
United Auto Group	0	0	0	0	0	NR	100%
Village Professional Park	32	20	12	55	26	NR	0%
Royal Palm Retail	0	0	0	0	0	NR	100%
Fox DRI	2	1	1	5	2	NR	94%
Wellington Mall	3	1	2	12	6	NR	90%
Southern Mills	41	6	34	44	35	NR	38%
Shoppes At Southern Pines	12	7	5	34	17	NR	72%
Wellington Regional Medical Center	40	12	28	47	31	NR	54%
Pioneer Trail	4	3	1	6	2	Res	69%
Cypress Point MUPD	43	36	8	53	14	NR	0%
Southern Center	3	1	2	15	8	NR	90%

Wellington View	10	5	5	6	4	3	Res	75%
Aldi / Royal Palm Industrial	30	10	21	13	10	3	NR	5%
Pioneer Road Commercial / Residential	21	13	7	68	32	35	NR	0%
Village Green	9	3	6	18	10	8	NR	35%
Enclave at Royal Palm Beach	23	18	5	28	10	18	Res	0%
Seven Eleven	49	24	25	50	25	25	NR	0%
Palm Beach Auto Auction	42	38	4	70	37	34	NR	50%
03-W Marginal Elementary	0	0	0	0	0	0	NR	100%
PBC Stockade	50	47	3	53	9	44	NR	36%
Total Committed Developments	799	503	297	1062	482	580		
Total Committed Residential	309	214	97	318	125	195		
Total Committed Non-Residential	490	289	200	744	357	385		
Double Count Reduction	77	54	24	80	31	49		
Total Discounted Committed Developments	722	449	273	982	451	531		
Historical Growth	179	119	62	167	73	96		
Comm Dev+1% Growth	1002	635	369	1244	565	681		
Growth Volume Used	1002	635	369	1244	565	681		
Total Volume	6484	4282	2259	6386	2795	3614		
Lanes	8LD							
LOS D Capacity	6530	3940	3940	6530	3940	3940		
Link Meets Test 1?	YES	NO	YES	YES	YES	YES		
LOS E Capacity	6880	3940	3940	6880	3940	3940		
Link Meets Test 2?	YES	NO	YES	YES	YES	YES		

E-W Street: Southern Blvd
N-S STREET: N State Road 7
TIME PERIOD: AM
GROWTH RATE: 0.77%
SIGNAL ID: 30775

Input Data
COUNT DATE: 2/5/2013
CURRENT YEAR: 2013
ANALYSIS YEAR: 2018
PSF: 1

Report Created: 01/08/2014

Intersection Volume Development												
	Eastbound			Westbound			Northbound			Southbound		
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right
Existing Volume	530	95	420	479	40	171	406	1211	579	323	1104	289
Diversions	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%
Peak Season Volume	530	95	420	479	40	171	406	1211	579	323	1104	289
Committed Developments												Type % Complete
Pioneer Road Commercial / Residential	0	0	9	10	0	0	7	14	8	0	18	0 NR 0%
Palms West Hospital	0	0	0	0	1	0	1	0	0	0	0	1 NR 95%
Western Plaza	0	6	0	5	5	5	0	0	6	6	0	0 NR 88%
Shoppes At Southern Pines	0	1	0	1	1	1	0	0	1	1	0	0 NR 72%
Aldi / Royal Palm Industrial	21	0	0	0	0	21	0	14	0	10	7	10 NR 5%
Enclave at Royal Palm Beach	0	0	2	4	0	0	6	17	17	0	4	0 Res 0%
Southern Mills	2	9	3	0	33	0	11	0	0	0	0	7 NR 38%
Palm Beach Auto Auction	0	12	0	2	2	2	0	0	14	18	0	0 NR 50%
Wellington Mall	0	0	2	2	0	0	2	3	2	0	3	0 NR 90%
Martingale Meadows	7	18	8	0	6	0	3	0	0	0	0	2 Res 0%
Village Green	0	0	7	7	0	0	4	4	4	0	7	0 NR 35%
Pioneer Trail	0	0	0	1	0	0	1	3	3	0	1	0 Res 69%
Isla Verde	0	0	7	5	0	0	6	8	4	0	9	0 NR 68%
Village Professional Park	0	0	21	17	0	0	5	9	4	0	39	0 NR 0%
PBC Stockade	0	12	0	3	1	0	0	0	35	0	0	0 NR 36%
Fox DRI	0	0	0	0	0	1	0	2	0	1	2	0 NR 94%
Rubin Commercial	20	12	14	0	14	0	17	0	0	0	0	25 NR 0%
Highland Dunes	6	18	7	0	18	0	7	0	0	0	0	6 Res 0%
Wellington Regional Medical Center	0	0	28	28	0	0	12	19	12	0	45	0 NR 54%
Weldon RPB	0	0	0	0	0	0	0	13	0	0	11	0 NR 0%
Cypress Point MUPD	0	12	0	4	3	1	0	0	18	6	0	0 NR 0%
Olympia	0	0	2	2	0	0	6	7	5	0	2	0 Res 90%
Palms West Medical	0	0	0	0	1	0	1	0	0	0	0	1 NR 92%
Southern Center	0	1	1	0	2	2	2	2	0	1	1	0 NR 90%
Kings Academy	0	0	0	4	0	0	0	16	8	0	8	0 NR 70%
Total Committed Developments	56	101	111	95	87	33	91	131	141	43	157	52
Total Committed Residential	13	36	19	7	24	0	23	27	25	0	7	8
Total Committed Non-Residential	43	65	92	88	63	33	68	104	116	43	150	44
Double Count Reduction	3	9	5	2	6	0	6	7	6	0	2	2
Total Discounted Committed	53	92	106	93	81	33	85	124	135	43	155	50
Historical Growth	21	4	16	19	2	7	16	47	23	13	43	11
Comm Dev+1% Growth	80	97	127	117	83	42	106	186	165	59	211	65
Growth Volume Used	80	97	127	117	83	42	106	186	165	59	211	65
Total Volume	610	192	547	596	123	213	512	1397	744	382	1315	354

E-W Street: Southern Blvd
N-S STREET: N State Road 7
TIME PERIOD: PM
GROWTH RATE: 0.77%
SIGNAL ID: 30775

Input Data
COUNT DATE: 2/5/2013
CURRENT YEAR: 2013
ANALYSIS YEAR: 2018
PSF: 1

Report Created: 01/08/2014

Intersection Volume Development												
	Eastbound			Westbound			Northbound			Southbound		
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right
Existing Volume	732	74	419	753	158	306	577	1633	493	224	1379	503
Diversions	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%
Peak Season Volume	732	74	419	753	158	306	577	1633	493	224	1379	503
Committed Developments												Type % Complete
Pioneer Road Commercial / Residential	0	0	8	8	0	0	9	17	9	0	15	0 NR 0%
Palms West Hospital	1	1	1	0	0	0	0	0	0	0	0	0 NR 95%
Western Plaza	0	11	0	11	11	11	0	0	11	11	0	0 NR 88%
Shoppes At Southern Pines	0	6	0	6	6	6	0	0	6	6	0	0 NR 72%
Aldi / Royal Palm Industrial	3	0	0	0	0	3	0	2	0	10	7	10 NR 5%
Enclave at Royal Palm Beach	0	0	6	16	0	0	3	9	9	0	16	0 Res 0%

Southern Mills	6	25	8	0	9	0	3	0	0	0	0	2	NR	38%
Palm Beach Auto Auction	0	12	0	12	11	16	0	0	13	18	0	0	NR	50%
Wellington Mall	0	0	6	6	0	0	6	11	6	0	12	0	NR	90%
Martingale Meadows	5	13	6	0	22	0	10	0	0	0	0	8	Res	0%
Village Green	0	0	8	8	0	0	10	10	10	0	8	0	NR	35%
Pioneer Trail	0	0	2	4	0	0	1	2	2	0	4	0	Res	69%
Isla Verde	0	0	21	14	0	0	23	29	15	0	27	0	NR	68%
Village Professional Park	0	0	16	13	0	0	25	45	20	0	28	0	NR	0%
PBC Stockade	0	2	0	33	11	0	0	0	6	0	0	0	NR	36%
Fox DRI	0	0	0	0	0	2	0	5	0	2	5	0	NR	94%
Rubin Commercial	78	45	54	0	42	0	51	0	0	0	0	73	NR	0%
Highland Dunes	11	31	13	0	31	0	13	0	0	0	0	11	Res	0%
Wellington Regional Medical Center	0	0	15	15	0	0	31	51	31	0	25	0	NR	54%
Weldon RPB	0	0	0	0	0	0	0	34	0	0	36	0	NR	0%
Cypress Point MUPD	0	5	0	20	13	7	0	0	7	2	0	0	NR	0%
Olympia	0	0	5	4	0	0	3	3	2	0	6	0	Res	90%
Palms West Medical	1	1	1	0	0	0	0	0	0	0	0	0	NR	92%
Southern Center	0	8	9	0	7	7	8	8	0	8	9	0	NR	90%
Kings Academy	0	0	0	2	0	0	0	4	2	0	5	0	NR	70%
Total Committed Developments	105	160	179	172	163	52	196	230	149	57	203	104		
Total Committed Residential	16	44	32	24	53	0	30	14	13	0	26	19		
Total Committed Non-Residential	89	116	147	148	110	52	166	216	136	57	177	85		
Double Count Reduction	4	11	8	6	13	0	8	4	3	0	7	5		
Total Discounted Committed	101	149	171	166	150	52	188	226	146	57	196	99		
Historical Growth	29	3	16	29	6	12	23	64	19	9	54	20		
Comm Dev+1% Growth	138	153	192	204	158	68	217	309	171	68	266	125		
Growth Volume Used	138	153	192	204	158	68	217	309	171	68	266	125		
Total Volume	870	227	611	957	316	374	794	1942	664	292	1645	628		

APPENDIX B: PCN SHEETS



Gary R. Nikolits, CFA
Property Appraiser
 Palm Beach County

Property Appraiser's Public Access

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Location Address 420 S STATE ROAD 7 100

Municipality ROYAL PALM BEACH

Parcel Control Number 72-42-44-06-07-001-0000

Subdivision ROYAL OFFICE PARK

Official Records Book Page

Sale Date

Legal Description ROYAL OFFICE PARK PAR A

Owners

ROYAL OFFICE PARK LTD

Mailing address

7900 GLADES RD STE 600
BOCA RATON FL 33434 4105

No Sales Information Available.

No Exemption Information Available.

Number of Units	*Total Square Feet 30329	Acres 5.3935
Use Code 1900 - PROF OFFICES	Zoning -	

Tax Year	2012	2011	2010
Improvement Value	\$0	\$0	\$0
Land Value	\$0	\$0	\$0
Total Market Value	\$3,870,000	\$3,870,000	\$3,870,000

All values are as of January 1st each year

Tax Year	2012	2011	2010
Assessed Value	\$3,870,000	\$3,870,000	\$3,870,000
Exemption Amount	\$0	\$0	\$0
Taxable Value	\$3,870,000	\$3,870,000	\$3,870,000

Tax Year	2012	2011	2010
Ad Valorem	\$81,534	\$83,213	\$83,940
Non Ad Valorem	\$6,647	\$6,707	\$228
Total tax	\$88,181	\$89,920	\$84,168



Gary R. Nikolits, CFA
Property Appraiser
 Palm Beach County

Property Appraiser's Public Access

PAPA ▶



Location Address S STATE ROAD 7

Municipality ROYAL PALM BEACH

Parcel Control Number 72-42-44-06-07-026-0000

Subdivision ROYAL OFFICE PARK

Official Records Book

Page

Sale Date

Legal Description ROYAL OFFICE PARK TR Z K/A WETLAND PRESERVE

Owners

ROYAL OFFICE PARK LTD

Mailing address

7900 GLADES RD STE 600
BOCA RATON FL 33434 4105

No Sales Information Available.

No Exemption Information Available.

Number of Units

*Total Square Feet 0

Acres 2.76

Use Code 9600 - SEWG/WASTE LAND

Zoning -

Tax Year	2012	2011	2010
Improvement Value	\$0	\$0	\$0
Land Value	\$828	\$828	\$828
Total Market Value	\$828	\$828	\$828

All values are as of January 1st each year

Tax Year	2012	2011	2010
Assessed Value	\$828	\$828	\$828
Exemption Amount	\$0	\$0	\$0
Taxable Value	\$828	\$828	\$828

Tax Year	2012	2011	2010
Ad Valorem	\$17	\$18	\$18
Non Ad Valorem	\$114	\$114	\$114
Total tax	\$131	\$132	\$132



Gary R. Nikolits, CFA
Property Appraiser
 Palm Beach County

Property Appraiser's Public Access

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Location Address S STATE ROAD 7

Municipality ROYAL PALM BEACH

Parcel Control Number 72-42-43-27-05-010-0321

Subdivision PALM BEACH FARMS CO PL 3 PB2P45-54

Official Records Book 24351

Page 1358

Sale Date FEB-2011

Legal Description PALM BEACH FARMS CO PL NO 3 N 1/2 OF TR 32 BLK 10

Owners

PEBB ENTERPRISES ROYAL PALM BCH PROP LLC

Mailing address7900 GLADES RD STE 600
BOCA RATON FL 33434 4105

Sales Date	Price	OR Book/Page	Sale Type	Owner
FEB-2011	\$1,975,000	24351 / 1358	WARRANTY DEED	PEBB ENTERPRISES ROYAL PALM BCH PROP LLC
AUG-2005	\$700,000	19185 / 0237	WARRANTY DEED	RPB VENTURE LTD
JUN-1982	\$50,000	03751 / 0269	WARRANTY DEED	WASSER GEORGE K
MAY-1981	\$100	03542 / 1517	WARRANTY DEED	

No Exemption Information Available.

Number of Units 0

*Total Square Feet 55962

Acres 4.09

Use Code 1300 - DEPARTMENT STORE

Zoning AR - (72-ROYAL PALM BEACH)

Tax Year	2012	2011	2010
Improvement Value	\$0	\$0	\$0
Land Value	\$1,781,600	\$1,781,600	\$801,720
Total Market Value	\$1,781,600	\$1,781,600	\$801,720

All values are as of January 1st each year

Tax Year	2012	2011	2010
Assessed Value	\$1,781,600	\$881,892	\$801,720
Exemption Amount	\$0	\$0	\$0
Taxable Value	\$1,781,600	\$881,892	\$801,720

Tax Year	2012	2011	2010
Ad Valorem	\$37,535	\$26,322	\$17,389
Non Ad Valorem	\$190	\$190	\$190
Total tax	\$37,725	\$26,512	\$17,579



Gary R. Nikolits, CFA
Property Appraiser
 Palm Beach County

Property Appraiser's Public Access

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Location Address 758 S STATE ROAD 7

Municipality WELLINGTON

Parcel Control Number 73-42-44-06-09-002-0000

Subdivision ISLA VERDE OF WELLINGTON COMMERCIAL PL

Official Records Book

Page

Sale Date

Legal Description ISLA VERDE OF WELLINGTON COMMERCIAL PL PAR B

OwnersPEBB ENTERPRISES ROYAL PALM BCH PROP
LLC**Mailing address**6400 N ANDREWS AVE STE 500
FORT LAUDERDALE FL 33309 9112

No Sales Information Available.

No Exemption Information Available.

Number of Units

*Total Square Feet 0

Acres 1.06

Use Code 1000 - VACANT COMMERCIAL

Zoning -

Tax Year	2012	2011	2010
Improvement Value	\$0	\$0	\$0
Land Value	\$0	\$0	\$0
Total Market Value	\$0	\$0	\$0

All values are as of January 1st each year

Tax Year	2012	2011	2010
Assessed Value	\$0	\$0	\$0
Exemption Amount	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0

Tax Year	2012	2011	2010
Ad Valorem	\$0	\$0	\$0
Non Ad Valorem	\$0	\$0	\$0
Total tax	\$0	\$0	\$0



Gary R. Nikolits, CFA
Property Appraiser
 Palm Beach County

Property Appraiser's Public Access

PAPA ▶



Location Address 1000 S STATE ROAD 7 1

Municipality WELLINGTON

Parcel Control Number 73-42-44-06-09-001-0000

Subdivision ISLA VERDE OF WELLINGTON COMMERCIAL PL

Official Records Book

Page

Sale Date

Legal Description ISLA VERDE OF WELLINGTON COMMERCIAL PL PAR A

Owners

SHOPPES AT ISLA VERDE LTD

Mailing address

7900 GLADES RD STE 600
BOCA RATON FL 33434 4105

No Sales Information Available.

No Exemption Information Available.

Number of Units

*Total Square Feet 210736 Acres 21.86

Use Code 1600 - SHOPPING CENTER CMMITY

Zoning -

Tax Year	2012	2011	2010
Improvement Value	\$0	\$0	\$0
Land Value	\$0	\$0	\$0
Total Market Value	\$0	\$0	\$0

All values are as of January 1st each year

Tax Year	2012	2011	2010
Assessed Value	\$0	\$0	\$0
Exemption Amount	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0

Tax Year	2012	2011	2010
Ad Valorem	\$0	\$0	\$0
Non Ad Valorem	\$0	\$0	\$0
Total tax	\$0	\$0	\$0



Gary R. Nikolits, CFA
Property Appraiser
 Palm Beach County

Property Appraiser's Public Access

PAPA ▶



Location Address

Municipality WELLINGTON

Parcel Control Number 73-42-44-06-10-001-0000

Subdivision ISLA VERDE OF WELLINGTON RESIDENTIAL REPL

Official Records Book

Page

Sale Date

Legal Description ISLA VERDE OF WELLINGTON RESIDENTIAL REPL PAR A K/A RESIDENTIAL

Owners

ISLA VERDE LLC

Mailing address

 7900 GLADES RD STE 600
 BOCA RATON FL 33434 4105

No Sales Information Available.

No Exemption Information Available.

Number of Units

*Total Square Feet 0

Acres 22.1501

Use Code 0000 - VACANT

Zoning -

Tax Year	2012	2011	2010
Improvement Value	\$0	\$0	\$0
Land Value	\$0	\$0	\$0
Total Market Value	\$0	\$0	\$0

All values are as of January 1st each year

Tax Year	2012	2011	2010
Assessed Value	\$0	\$0	\$0
Exemption Amount	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0

Tax Year	2012	2011	2010
Ad Valorem	\$0	\$0	\$0
Non Ad Valorem	\$0	\$0	\$0
Total tax	\$0	\$0	\$0



Gary R. Nikolits, CFA
Property Appraiser
 Palm Beach County

Property Appraiser's Public Access

PAPA ▶



Location Address

Municipality WELLINGTON

Parcel Control Number 73-42-44-06-10-012-0000

Subdivision ISLA VERDE OF WELLINGTON RESIDENTIAL REPL

Official Records Book

Page

Sale Date

 Legal Description ISLA VERDE OF WELLINGTON RESIDENTIAL REPL TRS L, L1, L2 & L3 K/A
 LANDSCAPE, BUFFER & OPEN SPACE

Owners

ISLA VERDE LLC

Mailing address

 ISLA VERDE WELLINGTON MASTER ASSN C/O 7900 GLADES
 RD STE 600
 BOCA RATON FL 33434 4105

No Sales Information Available.

No Exemption Information Available.

Number of Units

*Total Square Feet 0

Acres 1.8433

Use Code 9400 - R/W - BUFFER

Zoning -

Tax Year	2012	2011	2010
Improvement Value	\$0	\$0	\$0
Land Value	\$0	\$0	\$0
Total Market Value	\$0	\$0	\$0

All values are as of January 1st each year

Tax Year	2012	2011	2010
Assessed Value	\$0	\$0	\$0
Exemption Amount	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0

Tax Year	2012	2011	2010
Ad Valorem	\$0	\$0	\$0
Non Ad Valorem	\$0	\$0	\$0
Total tax	\$0	\$0	\$0



Gary R. Nikolits, CFA
Property Appraiser
 Palm Beach County

Property Appraiser's Public Access

PAPA ▶



Location Address

Municipality WELLINGTON

Parcel Control Number 73-42-44-06-10-023-0000

Subdivision ISLA VERDE OF WELLINGTON RESIDENTIAL REPL

Official Records Book

Page

Sale Date

 Legal Description ISLA VERDE OF WELLINGTON RESIDENTIAL REPL TRS W, W1, W2 & W3 K/A
 STORMWATER MGMT & DRAINAGE

Owners

ISLA VERDE LLC

Mailing address

 ISLA VERDE WELLINGTON MASTER ASSN C/O 7900 GLADES
 RD STE 600
 BOCA RATON FL 33434 4105

No Sales Information Available.

No Exemption Information Available.

Number of Units

*Total Square Feet 0

Acres 6.2464

Use Code 9500 - RIVER/LAKES

Zoning -

Tax Year	2012	2011	2010
Improvement Value	\$0	\$0	\$0
Land Value	\$0	\$0	\$0
Total Market Value	\$0	\$0	\$0

All values are as of January 1st each year

Tax Year	2012	2011	2010
Assessed Value	\$0	\$0	\$0
Exemption Amount	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0

Tax Year	2012	2011	2010
Ad Valorem	\$0	\$0	\$0
Non Ad Valorem	\$0	\$0	\$0
Total tax	\$0	\$0	\$0



Gary R. Nikolits, CFA
Property Appraiser
 Palm Beach County

Property Appraiser's Public Access

PAPA ▶



Location Address

Municipality WELLINGTON

Parcel Control Number 73-42-44-06-10-018-0000

Subdivision ISLA VERDE OF WELLINGTON RESIDENTIAL REPL

Official Records Book

Page

Sale Date

Legal Description ISLA VERDE OF WELLINGTON RESIDENTIAL REPL TR R K/A PRIVATE STREET

Owners

ISLA VERDE LLC

Mailing address

7900 GLADES RD STE 600
BOCA RATON FL 33434 4105

No Sales Information Available.

No Exemption Information Available.

Number of Units

*Total Square Feet 0

Acres 0.4056

Use Code 9400 - R/W - BUFFER

Zoning -

Tax Year	2012	2011	2010
Improvement Value	\$0	\$0	\$0
Land Value	\$0	\$0	\$0
Total Market Value	\$0	\$0	\$0

All values are as of January 1st each year

Tax Year	2012	2011	2010
Assessed Value	\$0	\$0	\$0
Exemption Amount	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0

Tax Year	2012	2011	2010
Ad Valorem	\$0	\$0	\$0
Non Ad Valorem	\$0	\$0	\$0
Total tax	\$0	\$0	\$0

APPENDIX C: VOLUME DEVELOPMENT SHEETS

Growth Rate =	0.50%	*Actual growth rate is 0.15%
Peak Season =	1	1
Buildout Year =	2018	2018
Years =	7	7

AM Peak Hour												
	Northbound			Southbound			Eastbound			Westbound		
	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT
Existing Volume on 02/23/2011	287	1,230	235	266	1,150	370	710	888	495	321	579	305
Peak Season Volume	287	1,230	235	266	1,150	370	710	888	495	321	579	305
Traffic Volume Growth	10	44	8	9	41	13	25	32	18	11	21	11
Committed Development	86	272	75	98	175	56	86	39	46	67	81	183
0.5% Traffic Volume Growth	10	44	8	9	41	13	25	32	18	11	21	11
Committed + 0.5% Growth	96	316	83	107	216	69	111	71	64	78	102	194
Max (Committed + 0.5% or Historic Growth)	96	316	83	107	216	69	111	71	64	78	102	194
Background Traffic Volumes	383	1,546	318	373	1,366	439	821	959	559	399	681	499
Project Traffic (Residential)												
Inbound Traffic Assignment		15.0%					2.0%					20.0%
Inbound Traffic Volumes		5					1					6
Outbound Traffic Assignment				20.0%	15.0%	2.0%						
Outbound Traffic Volumes				25	19	3						
Project Traffic		5		25	19	3	1					6
Project Traffic (Retail)												
Inbound Traffic Assignment		15.0%					20.0%					17.0%
Inbound Traffic Volumes		11					15					13
Outbound Traffic Assignment				17.0%	15.0%	20.0%						
Outbound Traffic Volumes				4	4	5						
Project Traffic		11		4	4	5	15					13
RTOR Reduction						(60)			(10)			(10)
TOTAL TRAFFIC	383	1,562	318	402	1,389	387	837	959	549	399	681	508
Critical Volume Analysis												
No. of Lanes	3	4	1	3	4	2	3	3	2	2	3	1
Approach Volume	2,263			2,178			2,345			1,588		
Per Lane Volume	128	391	318	134	347	194	279	320	275	200	227	508
Overlap Reduction	0	0	(200)	0	0	(194)	0	0	(200)	0	0	(134)
Net Per Lane Volume	128	391	118	134	347	0	279	320	75	200	227	374
North-South Critical	NB LT + SB TH = 475					SB LT + NB TH = 525						
East-West Critical	EB LT + WB RT = 519					WB LT + EB TH = 520						
Maximum Critical Sum	525 + 520					= 1,045						
STATUS ?						UNDER						

Growth Rate =	0.50%	*Actual growth rate is 0.15%
Peak Season =	1	1
Buildout Year =	2018	2018
Years =	7	7

PM Peak Hour												
	Northbound			Southbound			Eastbound			Westbound		
	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT
Existing Volume on 02/23/2011	677	1,583	406	346	1,309	629	669	1,196	360	340	985	365
Peak Season Volume	677	1,583	406	346	1,309	629	669	1,196	360	340	985	365
Traffic Volume Growth	24	56	14	12	47	22	24	42	13	12	35	13
Committed Development	75	303	111	241	381	136	116	88	110	110	51	166
0.5% Traffic Volume Growth	49	56	14	12	47	22	24	42	13	12	35	13
Committed + 0.5% Growth	124	359	125	253	428	158	140	130	123	122	86	179
Max (Committed + 0.5% or Historic Growth)	124	359	125	253	428	158	140	130	123	122	86	179
Background Traffic Volumes	801	1,942	531	599	1,737	787	809	1,326	483	462	1,071	544
Project Traffic (Residential)												
Inbound Traffic Assignment		15.0%					2.0%					20.0%
Inbound Traffic Volumes		5					1					6
Outbound Traffic Assignment				20.0%	15.0%	2.0%						
Outbound Traffic Volumes				25	19	3						
Project Traffic		5		25	19	3	1					6
Project Traffic												
Inbound Traffic Assignment		15.0%					20.0%					17.0%
Inbound Traffic Volumes		1					2					2
Outbound Traffic Assignment				17.0%	15.0%	20.0%						
Outbound Traffic Volumes				1	1	2						
Project Traffic		1		1	1	2	2					2
RTOR Reduction						(60)			(10)			(10)
TOTAL TRAFFIC	801	1,948	531	625	1,757	732	812	1,326	473	462	1,071	542
Critical Volume Analysis												
No. of Lanes	3	4	1	3	4	2	3	3	2	2	3	1
Approach Volume	3,280			3,114			2,611			2,075		
Per Lane Volume	267	487	531	208	439	366	271	442	237	231	357	542
Overlap Reduction	0	0	(231)	0	0	(271)	0	0	(237)	0	0	(208)
Net Per Lane Volume	267	487	300	208	439	95	271	442	0	231	357	334
North-South Critical	NB LT + SB TH = 706					SB LT + NB TH = 695						
East-West Critical	EB LT + WB TH = 628					WB LT + EB TH = 673						
Maximum Critical Sum	706			+ 673			= 1,379					
STATUS ?						NEAR						

CRITICAL SUM INTERSECTION ANALYSIS SHEET
ISLA VERDE RESIDENTIAL/COMMERCIAL/ROYAL OFFICE/ROYAL PALM TOYS
STATE ROAD 7 & SOUTHERN BOULEVARD
Existing Geometry

Growth Rate = 0.50% *Actual growth rate is 0.15%
Peak Season = 1 1
Buildout Year = 2018 2018
Years = 5 5

<u>AM Peak Hour</u>												
	Northbound			Southbound			Eastbound			Westbound		
	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT
Existing Volume on 02/05/2013	406	1,211	579	323	1,104	289	530	95	420	479	40	171
Peak Season Volume	406	1,211	579	323	1,104	289	530	95	420	479	40	171
Traffic Volume Growth	10	31	15	8	28	7	13	2	11	12	1	4
Committed Development	97	122	134	43	149	62	65	107	118	92	96	33
0.5% Traffic Volume Growth	10	31	15	8	28	7	13	2	11	12	1	4
Committed + 0.5% Growth	107	153	149	51	177	69	78	109	129	104	97	37
Max (Committed + 0.5% or Historic Growth)	107	153	149	51	177	69	78	109	129	104	97	37
Background Traffic Volumes	513	1,364	728	374	1,281	358	608	204	549	583	137	208
Project Traffic (Residential)												
Inbound Traffic Assignment					22.0%				3.0%	28.0%		
Inbound Traffic Volumes					7				1	9		
Outbound Traffic Assignment	3.0%	22.0%	28.0%									
Outbound Traffic Volumes	4	28	36									
Project Traffic	4	28	36		7				1	9		
Project Traffic Commercial												
Inbound Traffic Assignment					15.0%				12.0%	8.0%		
Inbound Traffic Volumes												
Outbound Traffic Assignment	12.0%	15.0%	8.0%									
Outbound Traffic Volumes												
Project Traffic												
RTOR Reduction												
TOTAL TRAFFIC	517	1,392	764	374	1,288	358	608	204	550	592	137	208

CRITICAL SUM INTERSECTION ANALYSIS SHEET
ISLA VERDE RESIDENTIAL/COMMERCIAL/ROYAL OFFICE/ROYAL PALM TOYS
STATE ROAD 7 & SOUTHERN BOULEVARD
Existing Geometry

Growth Rate = 0.50% *Actual growth rate is 0.15%
Peak Season = 1 1
Buildout Year = 2018 2018
Years = 5 5

PM Peak Hour												
	Northbound			Southbound			Eastbound			Westbound		
	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT
Existing Volume on 02/05/2013	577	1,633	493	224	1,379	503	732	74	419	753	158	306
Peak Season Volume	577	1,633	493	224	1,379	503	732	74	419	753	158	306
Traffic Volume Growth	15	41	12	6	35	13	18	2	11	19	4	8
Committed Development	209	219	143	56	192	121	123	175	191	163	174	51
0.5% Traffic Volume Growth	29	41	12	6	35	13	18	2	11	19	4	8
Committed + 0.5% Growth	238	260	155	62	227	134	141	177	202	182	178	59
Max (Committed + 0.5% or Historic Growth)	238	260	155	62	227	134	141	177	202	182	178	59
Background Traffic Volumes	815	1,893	648	286	1,606	637	873	251	621	935	336	365
Project Traffic (Residential)												
Inbound Traffic Assignment					22.0%				3.0%	28.0%		
Inbound Traffic Volumes					28				4	35		
Outbound Traffic Assignment	3.0%	22.0%	28.0%									
Outbound Traffic Volumes	2	15	19									
Project Traffic	2	15	19		28				4	35		
Project Traffic												
Inbound Traffic Assignment					15.0%				12.0%	8.0%		
Inbound Traffic Volumes					1				1	1		
Outbound Traffic Assignment	12.0%	15.0%	8.0%									
Outbound Traffic Volumes	1	1	1									
Project Traffic	1	1	1		1				1	1		
RTOR Reduction												
TOTAL TRAFFIC	818	1,909	668	286	1,635	637	873	251	626	971	336	365

CRITICAL SUM INTERSECTION ANALYSIS SHEET
ISLA VERDE RESIDENTIAL/COMMERCIAL/ROYAL OFFICE/ROYAL PALM TOYS
STATE ROAD 7 & OLD HAMMOCK WAY/ISLA VERDE WAY
Existing Geometry

Growth Rate = 0.50% *Actual growth rate is 0.15%
Peak Season = 1.05 1.05
Buildout Year = 2018 2018
Years = 6 6

AM Peak Hour													
	Northbound			Southbound			Eastbound			Westbound			
	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT	
Existing Volume on 10/03/2012	89	1,748	9	31	1,797	45	77	2	107	13	1	5	
Peak Season Volume	93	1,835	9	33	1,887	47	81	2	112	14	1	5	
Traffic Volume Growth	3	56	0	1	57	1	2	0	3	0	0	0	
Committed Development	0	750	0	0	758	0	0	0	0	0	0	0	
0.5% Traffic Volume Growth	3	56	0	1	57	1	2	0	3	0	0	0	
Committed + 0.5% Growth	3	806	0	1	815	1	2	0	3	0	0	0	
Max (Committed + 0.5% or Historic Growth)	3	806	0	1	815	1	2	0	3	0	0	0	
Background Traffic Volumes	96	2,641	9	34	2,702	48	83	2	115	14	1	5	
Project Traffic (Residential)													
Inbound Traffic Assignment													
Inbound Traffic Volumes													
Outbound Traffic Assignment													
Outbound Traffic Volumes													
Project Traffic													
Project Traffic													
Inbound Traffic Assignment													
Inbound Traffic Volumes													
Outbound Traffic Assignment													
Outbound Traffic Volumes													
Project Traffic			39	71				3		63	5	6	
RTOR Reduction			(60)			(60)			(10)			(10)	
TOTAL TRAFFIC	96	2,641	0	71	2,702	0	83	3	105	63	5	0	
Critical Volume Analysis													
No. of Lanes	1	4	1	1	4	1	1	1	0	1	1	0	
Approach Volume	2,737			2,773			191			68			
Per Lane Volume	96	660	0	71	676	0	83	108	0	63	5	0	
Overlap Reduction	0	0	0	0	0	0	0	0	0	0	0	0	
Net Per Lane Volume	96	660	0	71	676	0	83	108	0	63	5	0	
North-South Critical	NB LT + SB TH = 772					SB LT + NB TH = 731							
East-West Critical	EB LT + WB TH = 88					WB LT + EB TH = 171							
Maximum Critical Sum	772					+ 171					= 943		
STATUS ?					UNDER								

CRITICAL SUM INTERSECTION ANALYSIS SHEET
ISLA VERDE RESIDENTIAL/COMMERCIAL/ROYAL OFFICE/ROYAL PALM TOYS
STATE ROAD 7 & OLD HAMMOCK WAY/ISLA VERDE WAY
Existing Geometry

Growth Rate = 0.50% *Actual growth rate is 0.15%
Peak Season = 1.05 1.05
Buildout Year = 2018 2018
Years = 6 6

PM Peak Hour												
	Northbound			Southbound			Eastbound			Westbound		
	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT
Existing Volume on 10/03/2012	141	1,976	73	159	1,801	95	55	2	91	135	10	143
Peak Season Volume	148	2,075	77	167	1,891	100	58	2	96	142	11	150
Traffic Volume Growth	4	63	2	5	57	3	2	0	3	4	0	5
Committed Development	0	891	0	0	952	0	0	0	0	0	0	0
0.5% Traffic Volume Growth	9	63	2	5	57	3	2	0	3	4	0	5
Committed + 0.5% Growth	9	954	2	5	1,009	3	2	0	3	4	0	5
Max (Committed + 0.5% or Historic Growth)	9	954	2	5	1,009	3	2	0	3	4	0	5
Background Traffic Volumes	157	3,029	79	172	2,900	103	60	2	99	146	11	155
Project Traffic (Residential)												
Inbound Traffic Assignment												
Inbound Traffic Volumes												
Outbound Traffic Assignment												
Outbound Traffic Volumes												
Project Traffic												
Project Traffic												
Inbound Traffic Assignment												
Inbound Traffic Volumes												
Outbound Traffic Assignment												
Outbound Traffic Volumes												
Project Traffic			128	296				2		339	14	78
RTOR Reduction			(60)			(60)			(10)			(10)
TOTAL TRAFFIC	157	3,029	68	296	2,900	43	60	4	89	339	14	68
Critical Volume Analysis												
No. of Lanes	1	4	1	1	4	1	1	1	0	1	1	0
Approach Volume	3,254			3,239			153			421		
Per Lane Volume	157	757	68	296	725	43	60	93	0	339	82	0
Overlap Reduction	0	0	(68)	0	0	(43)	0	0	0	0	0	0
Net Per Lane Volume	157	757	0	296	725	0	60	93	0	339	82	0
North-South Critical	NB LT + SB TH = 882					SB LT + NB TH = 1053						
East-West Critical	EB LT + WB TH = 142					WB LT + EB TH = 432						
Maximum Critical Sum	1053					+ 432		= 1,485				
STATUS ?							OVER					

APPENDIX D: HCS AND SYNCHRO OUTPUT























TWO-WAY STOP CONTROL SUMMARY								
General Information					Site Information			
Analyst	KHA Analyst				Intersection	SR7 & Driveway 4		
Agency/Co.	KHA				Jurisdiction	PBC		
Date Performed	10/14/2013				Analysis Year	2018		
Analysis Time Period	AM Peak							
Project Description								
East/West Street:					North/South Street:			
Intersection Orientation: North-South					Study Period (hrs): 0.25			
Vehicle Volumes and Adjustments								
Major Street	Northbound			Southbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)		1117	34		0			
Peak-Hour Factor, PHF	1.00	0.95	0.95	1.00	0.95	0.95		
Hourly Flow Rate, HFR (veh/h)	0	1175	35	0	0	0		
Percent Heavy Vehicles	0	--	--	0	--	--		
Median Type	Raised curb							
RT Channelized			0			0		
Lanes	0	2	1	0	2	0		
Configuration		T	R		T			
Upstream Signal		0			0			
Minor Street	Eastbound			Westbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)						123		
Peak-Hour Factor, PHF	1.00	1.00	1.00	1.00	1.00	0.95		
Hourly Flow Rate, HFR (veh/h)	0	0	0	0	0	129		
Percent Heavy Vehicles	0	0	0	0	0	0		
Percent Grade (%)	0			0				
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0			0		
Lanes	0	0	0	0	0	1		
Configuration						R		
Delay, Queue Length, and Level of Service								
Approach	Northbound	Southbound	Westbound			Eastbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration					R			
v (veh/h)					129			
C (m) (veh/h)					513			
v/c					0.25			
95% queue length					0.99			
Control Delay (s/veh)					14.4			
LOS					B			
Approach Delay (s/veh)	--	--	14.4					
Approach LOS	--	--	B					

TWO-WAY STOP CONTROL SUMMARY								
General Information					Site Information			
Analyst	KHA Analyst				Intersection	SR7 & Driveway 4		
Agency/Co.	KHA				Jurisdiction	PBC		
Date Performed	10/14/2013				Analysis Year	2018		
Analysis Time Period	PM Peak							
Project Description								
East/West Street:					North/South Street:			
Intersection Orientation: North-South					Study Period (hrs): 0.25			
Vehicle Volumes and Adjustments								
Major Street	Northbound			Southbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)		1262	168		1151			
Peak-Hour Factor, PHF	1.00	0.95	0.95	1.00	0.95	0.95		
Hourly Flow Rate, HFR (veh/h)	0	1328	176	0	1211	0		
Percent Heavy Vehicles	0	--	--	0	--	--		
Median Type	Raised curb							
RT Channelized			0			0		
Lanes	0	2	1	0	2	0		
Configuration		T	R		T			
Upstream Signal		0			0			
Minor Street	Eastbound			Westbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)						202		
Peak-Hour Factor, PHF	1.00	1.00	1.00	1.00	1.00	0.95		
Hourly Flow Rate, HFR (veh/h)	0	0	0	0	0	212		
Percent Heavy Vehicles	0	0	0	0	0	0		
Percent Grade (%)	0			0				
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0			0		
Lanes	0	0	0	0	0	1		
Configuration						R		
Delay, Queue Length, and Level of Service								
Approach	Northbound	Southbound	Westbound			Eastbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration					R			
v (veh/h)					212			
C (m) (veh/h)					464			
v/c					0.46			
95% queue length					2.35			
Control Delay (s/veh)					19.1			
LOS					C			
Approach Delay (s/veh)	--	--	19.1					
Approach LOS	--	--	C					

HCM 2010 Signalized Intersection Summary

12: SR 7/US 441 & Old Hammock Way/Isla Verde Drive























12/11/2013

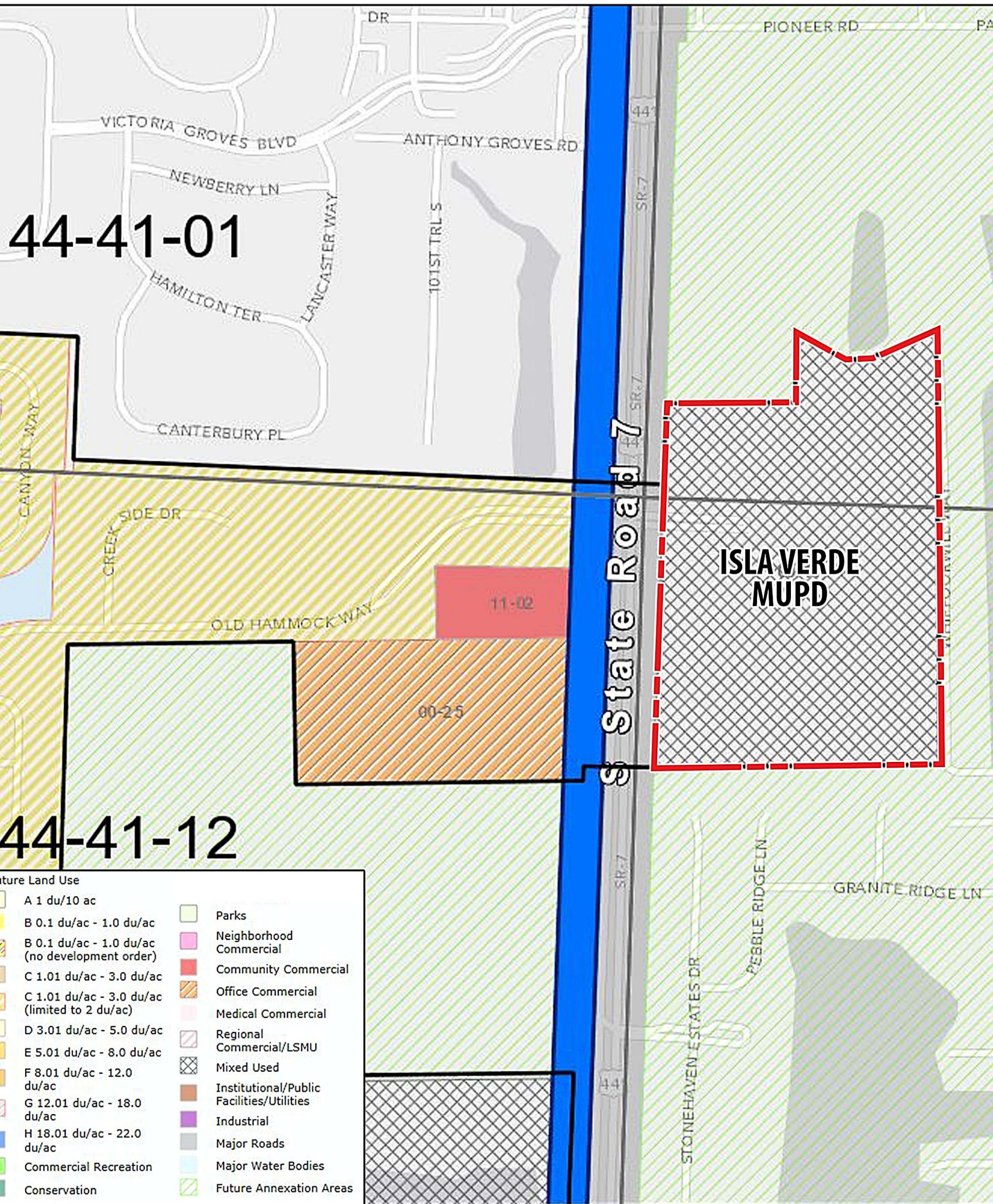
												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (veh/h)	98	3	127	65	5	0	113	2234	0	83	2296	0
Number	3	8	18	7	4	14	1	6	16	5	2	12
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Adj Sat Flow veh/h/ln	186.3	186.3	186.3	186.3	186.3	186.3	186.3	186.3	186.3	186.3	186.3	186.3
Lanes	1	1	0	1	1	0	1	4	1	1	4	1
Cap, veh/h	278	4	152	158	148	0	141	2645	654	436	3714	918
Arrive On Green	0.06	0.10	0.07	0.05	0.08	0.00	0.08	0.41	0.00	0.25	0.58	0.00
Sat Flow, veh/h	1774	37	1552	1774	1863	0	1774	6408	1583	1774	6408	1583
Grp Volume(v), veh/h	98	0	130	65	5	0	113	2234	0	83	2296	0
Grp Sat Flow(s),veh/h/ln	1774	0	1589	1774	1863	0	1774	1602	1583	1774	1602	1583
Q Serve(g_s), s	6.2	0.0	10.2	4.2	0.3	0.0	7.9	39.6	0.0	4.7	29.6	0.0
Cycle Q Clear(g_c), s	6.2	0.0	10.2	4.2	0.3	0.0	7.9	39.6	0.0	4.7	29.6	0.0
Prop In Lane	1.00		0.98	1.00		0.00	1.00		1.00	1.00		1.00
Lane Grp Cap(c), veh/h	278	0	155	158	148	0	141	2645	654	436	3714	918
V/C Ratio(X)	0.35	0.00	0.84	0.41	0.03	0.00	0.80	0.84	0.00	0.19	0.62	0.00
Avail Cap(c_a), veh/h	306	0	227	360	414	0	338	2645	654	634	3714	918
HCM Platoon Ratio	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	1.00	0.00	0.63	0.63	0.00	0.67	0.67	0.00
Uniform Delay (d), s/veh	47.0	0.0	57.3	50.4	53.5	0.0	57.0	33.3	0.0	37.6	17.4	0.0
Incr Delay (d2), s/veh	0.8	0.0	11.1	1.7	0.0	0.0	2.6	2.3	0.0	0.1	0.5	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile Back of Q (50%), veh/ln	2.9	0.0	4.8	2.0	0.2	0.0	3.6	15.3	0.0	2.0	10.5	0.0
Lane Grp Delay (d), s/veh	47.7	0.0	68.4	52.1	53.5	0.0	59.6	35.6	0.0	37.6	17.9	0.0
Lane Grp LOS	D		E	D	D		E	D		D	B	
Approach Vol, veh/h		228			70			2347			2379	
Approach Delay, s/veh		59.5			52.2			36.7			18.6	
Approach LOS		E			D			D			B	
Timer												
Assigned Phs	3	8		7	4		1	6		5	2	
Phs Duration (G+Y+Rc), s	14.0	19.3		11.7	17.0		17.0	57.0		38.0	78.0	
Change Period (Y+Rc), s	6.0	7.0		6.0	7.0		7.0	5.0		7.0	5.0	
Max Green Setting (Gmax), s	10.0	18.0		20.0	28.0		24.0	52.0		45.0	73.0	
Max Q Clear Time (g_c+I1), s	8.2	12.2		6.2	2.3		9.9	41.6		6.7	31.6	
Green Ext Time (p_c), s	0.0	0.1		0.1	0.3		0.3	8.9		0.4	27.6	
Intersection Summary												
HCM 2010 Ctrl Delay			29.4									
HCM 2010 LOS			C									
Notes												

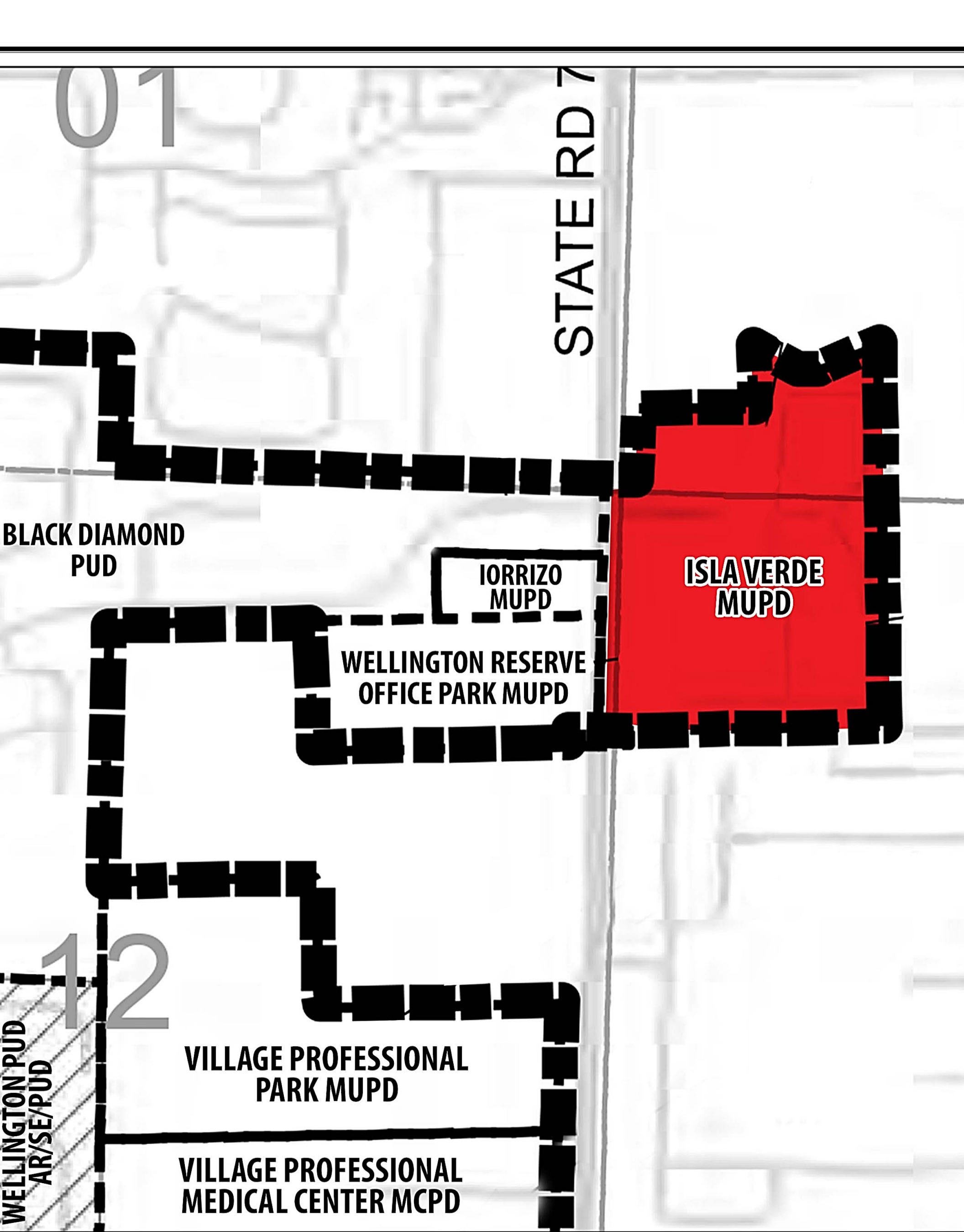
HCM 2010 Signalized Intersection Summary







12: SR 7/US 441 & Old Hammock Way/Isla Verde Drive

1/15/2014

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (veh/h)	60	4	89	339	14	68	157	3029	68	296	2900	43
Number	3	8	18	7	4	14	1	6	16	5	2	12
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Adj Sat Flow veh/h/ln	186.3	186.3	186.3	186.3	186.3	186.3	186.3	186.3	186.3	186.3	186.3	186.3
Lanes	1	1	0	1	1	0	1	4	1	1	4	1
Cap, veh/h	215	5	109	360	54	264	180	3053	911	333	3693	850
Arrive On Green	0.04	0.07	0.05	0.17	0.20	0.18	0.10	0.41	0.41	0.19	0.50	0.50
Sat Flow, veh/h	1774	69	1525	1774	277	1348	1774	7451	1583	1774	7451	1583
Grp Volume(v), veh/h	60	0	93	339	0	82	157	3029	68	296	2900	43
Grp Sat Flow(s),veh/h/ln	1774	0	1594	1774	0	1625	1774	1863	1583	1774	1863	1583
Q Serve(g_s), s	4.7	0.0	8.7	22.9	0.0	6.6	13.2	61.2	0.8	24.6	48.6	1.0
Cycle Q Clear(g_c), s	4.7	0.0	8.7	22.9	0.0	6.6	13.2	61.2	0.8	24.6	48.6	1.0
Prop In Lane	1.00		0.96	1.00		0.83	1.00		1.00	1.00		1.00
Lane Grp Cap(c), veh/h	215	0	114	360	0	318	180	3053	911	333	3693	850
V/C Ratio(X)	0.28	0.00	0.81	0.94	0.00	0.26	0.87	0.99	0.07	0.89	0.79	0.05
Avail Cap(c_a), veh/h	388	0	179	371	0	318	199	3053	911	352	3693	850
HCM Platoon Ratio	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	0.00	1.00	0.09	0.09	0.09	0.64	0.64	0.64
Uniform Delay (d), s/veh	61.6	0.0	70.7	41.6	0.0	52.6	67.0	44.4	5.4	59.9	31.5	6.3
Incr Delay (d2), s/veh	0.7	0.0	7.3	31.9	0.0	0.2	3.5	3.4	0.0	15.0	1.1	0.1
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile Back of Q (50%), veh/ln	2.2	0.0	4.0	16.7	0.0	2.8	6.1	28.7	0.6	12.4	22.0	0.5
Lane Grp Delay (d), s/veh	62.3	0.0	78.0	73.5	0.0	52.8	70.4	47.8	5.4	74.9	32.6	6.3
Lane Grp LOS	E		E	E		D	E	D	A	E	C	A
Approach Vol, veh/h		153			421			3254			3239	
Approach Delay, s/veh		71.8			69.5			48.0			36.1	
Approach LOS		E			E			D			D	
Timer												
Assigned Phs	3	8		7	4		1	6		5	2	
Phs Duration (G+Y+Rc), s	12.3	17.8		31.1	36.6		22.4	67.0		35.4	80.0	
Change Period (Y+Rc), s	6.0	7.0		6.0	7.0		7.0	5.0		7.0	5.0	
Max Green Setting (Gmax), s	21.0	17.0		26.0	22.0		17.0	62.0		30.0	75.0	
Max Q Clear Time (g_c+I1), s	6.7	10.7		24.9	8.6		15.2	63.2		26.6	50.6	
Green Ext Time (p_c), s	0.1	0.1		0.2	0.3		0.2	0.0		0.4	22.2	
Intersection Summary												
HCM 2010 Ctrl Delay			44.4									
HCM 2010 LOS			D									
Notes												



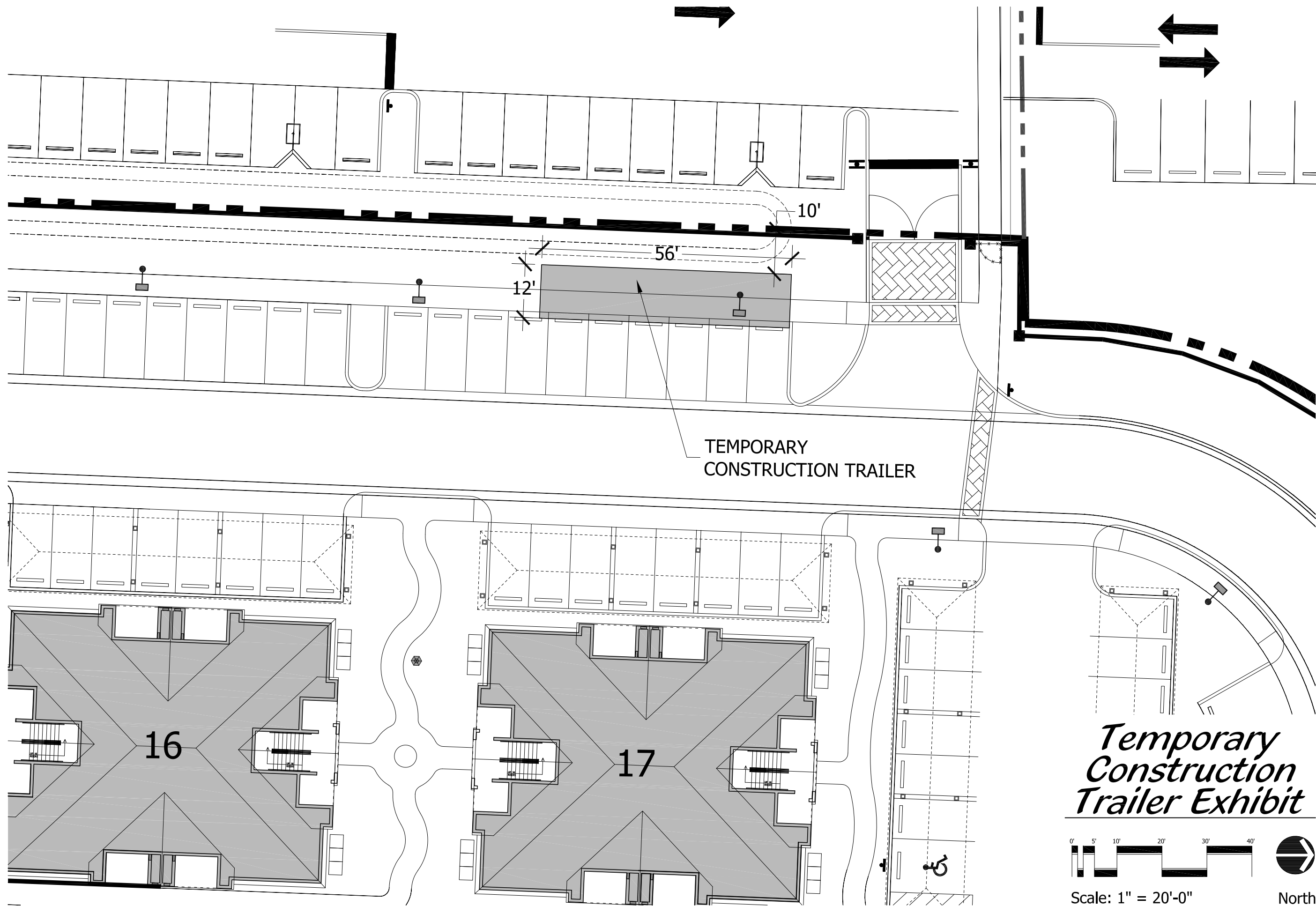


-  VILLAGE BOUNDARY LINE
-  DENOTES SFWMD STA
-  DENOTES WELLINGTON PUD
-  DENOTES PRESERVE
-  DENOTES PRIVATE PARCEL
-  DENOTES EZOD

Zoning Map
Wellington Isles
Wellington, FL



1934 Commerce Lane • Suite 1 • Jupiter, FL • 33405
561.747.6336 • 561.747.1377



TEMPORARY
CONSTRUCTION TRAILER

*Temporary
Construction
Trailer Exhibit*

0' 5' 10' 20' 30' 40'

Scale: 1" = 20'-0"

North


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Hearing**
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www.cotleurhearing.com
Lic# LC-C000239

Isla Verde Residential
Wellington Isles, LLC
Village of Wellington, Florida

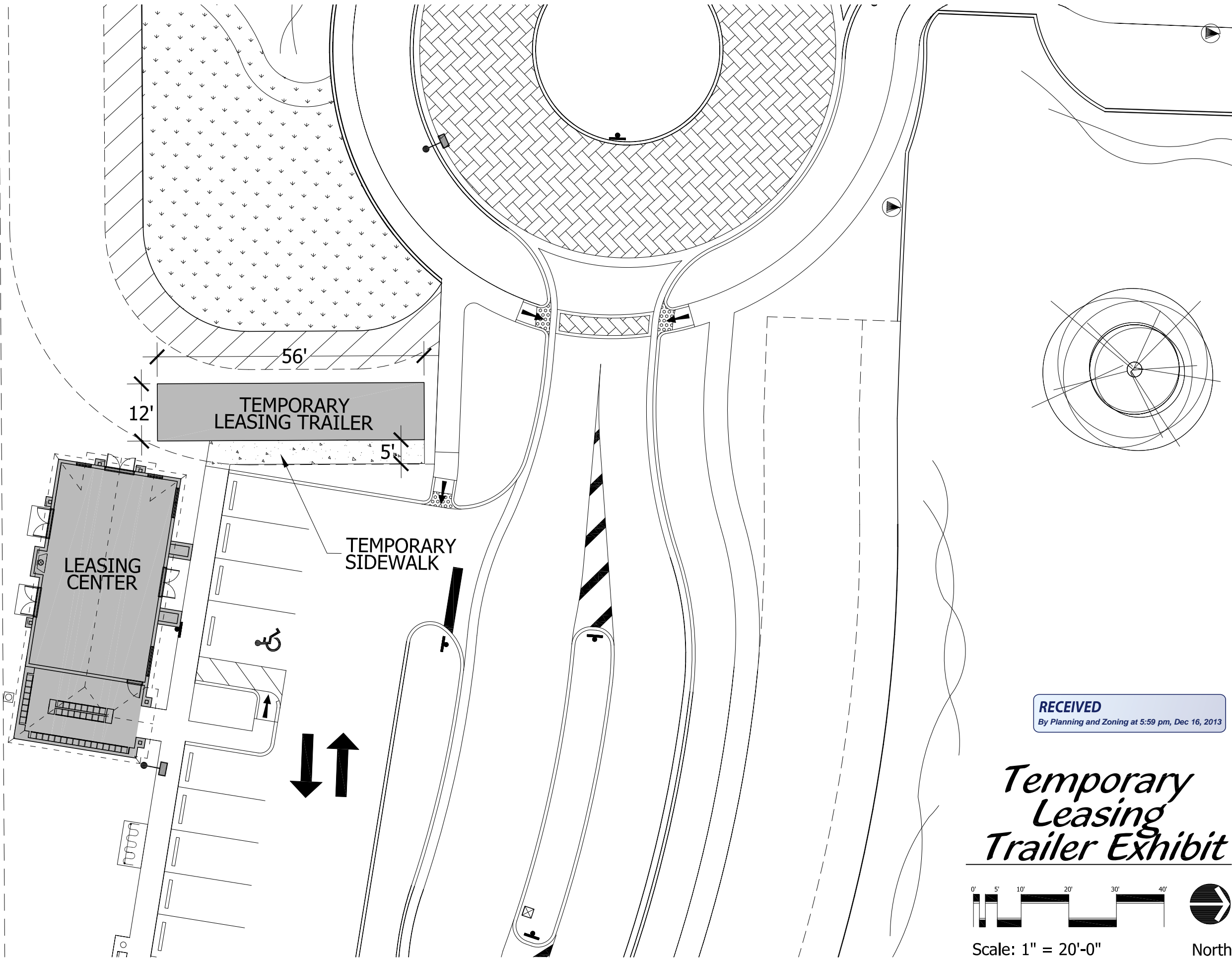
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JOB NUMBER 04-1216-03
DATE 12-16-13
REVISIONS _____

December 13, 2013 11:38:06 a.m.
Drawing: 04-1216.03 SP.DWG

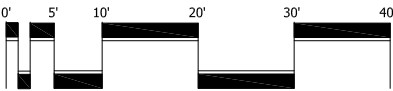
SHEET 1 OF 1

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Temporary Leasing Trailer Exhibit



Scale: 1" = 20'-0"



North



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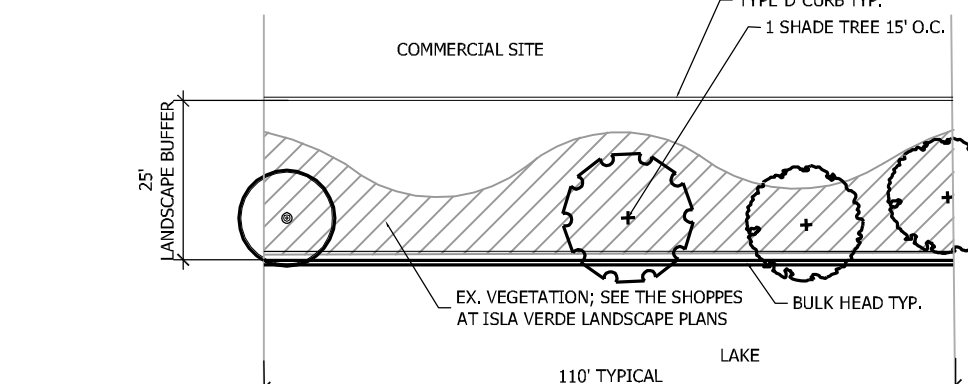
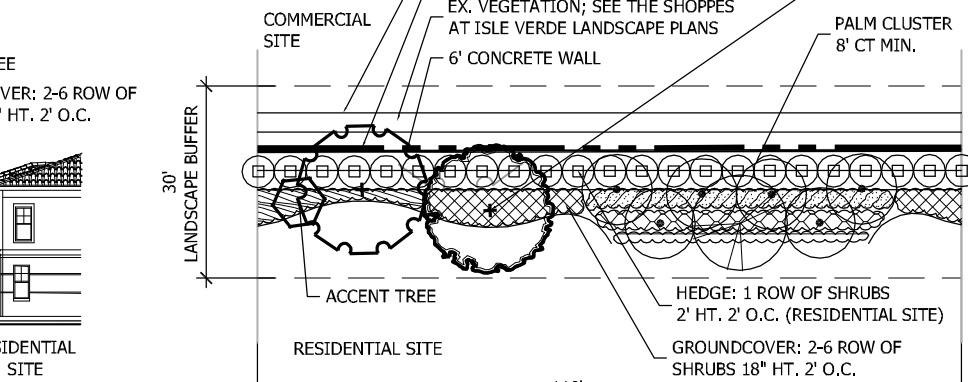
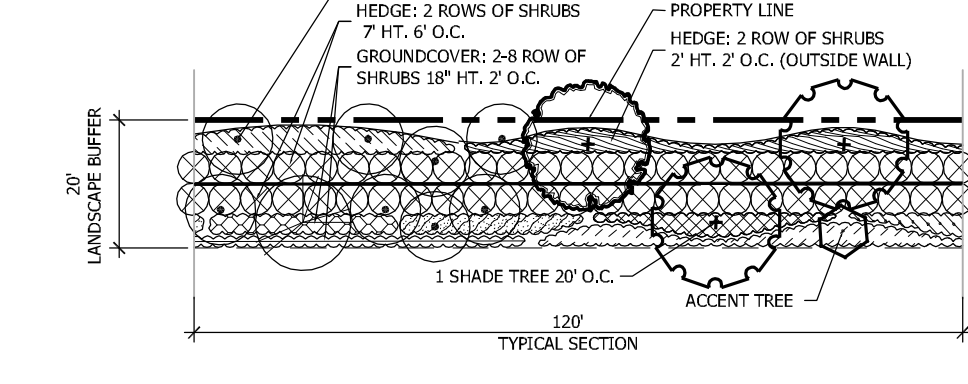
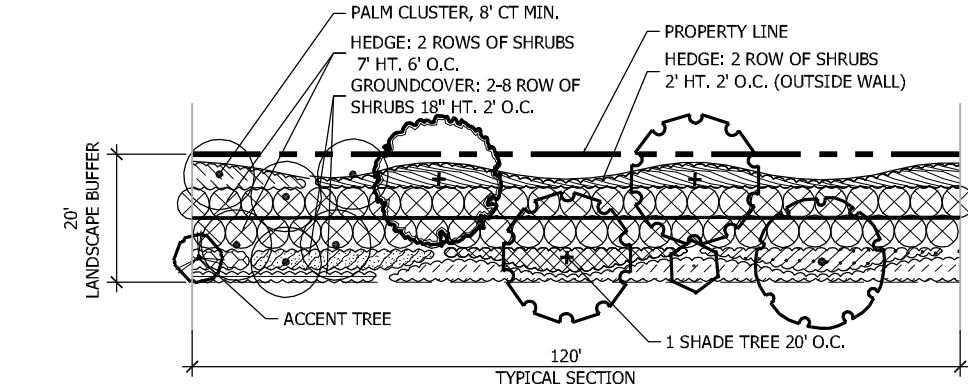
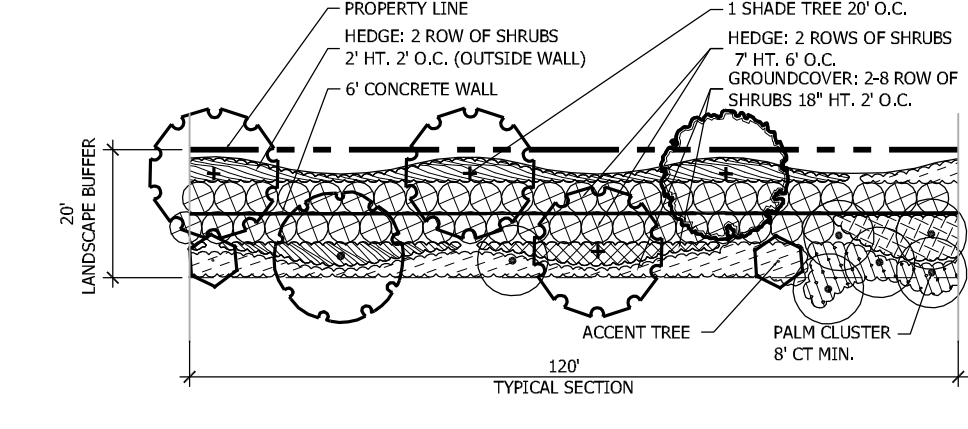
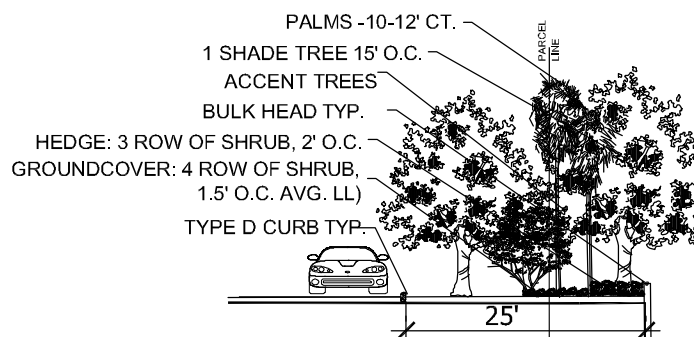
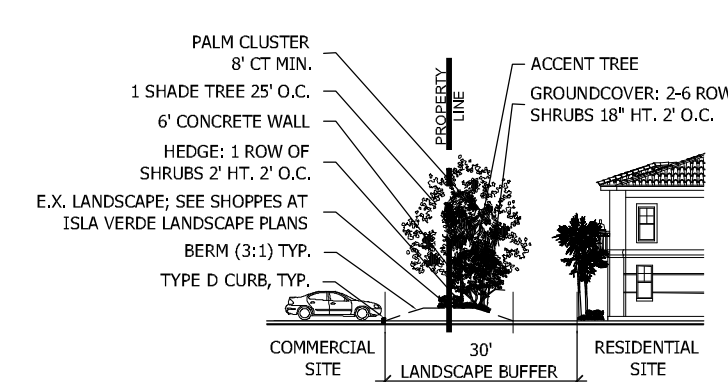
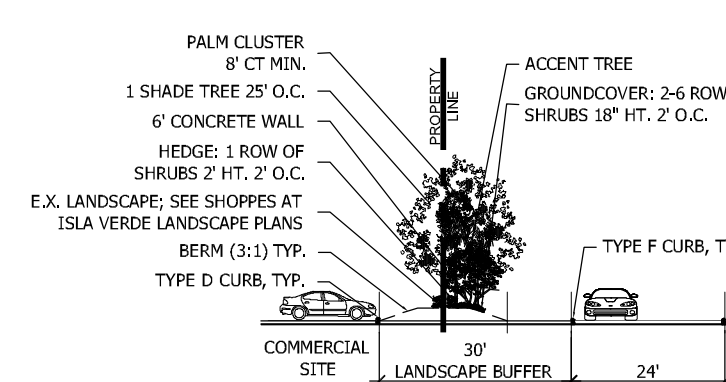
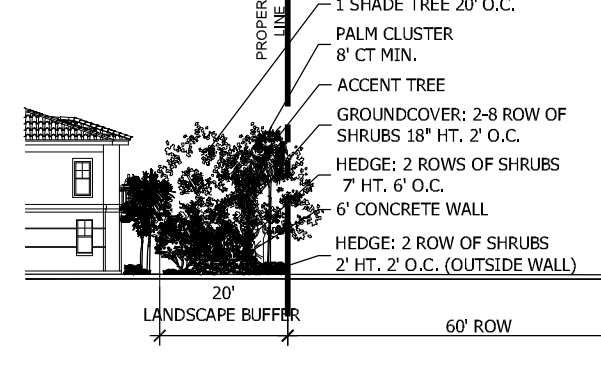
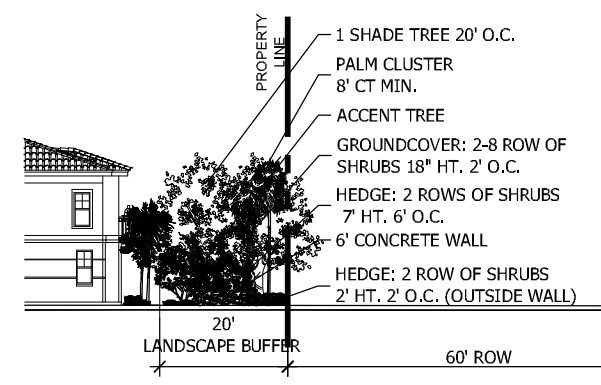
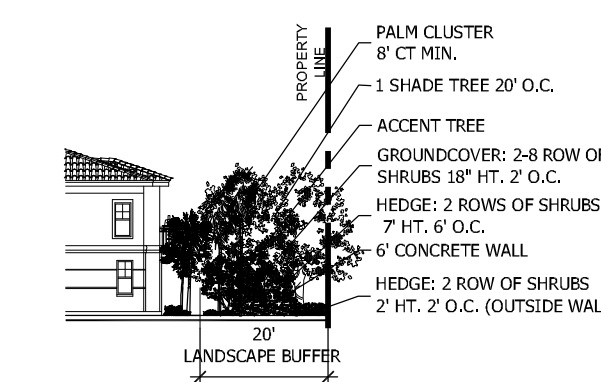
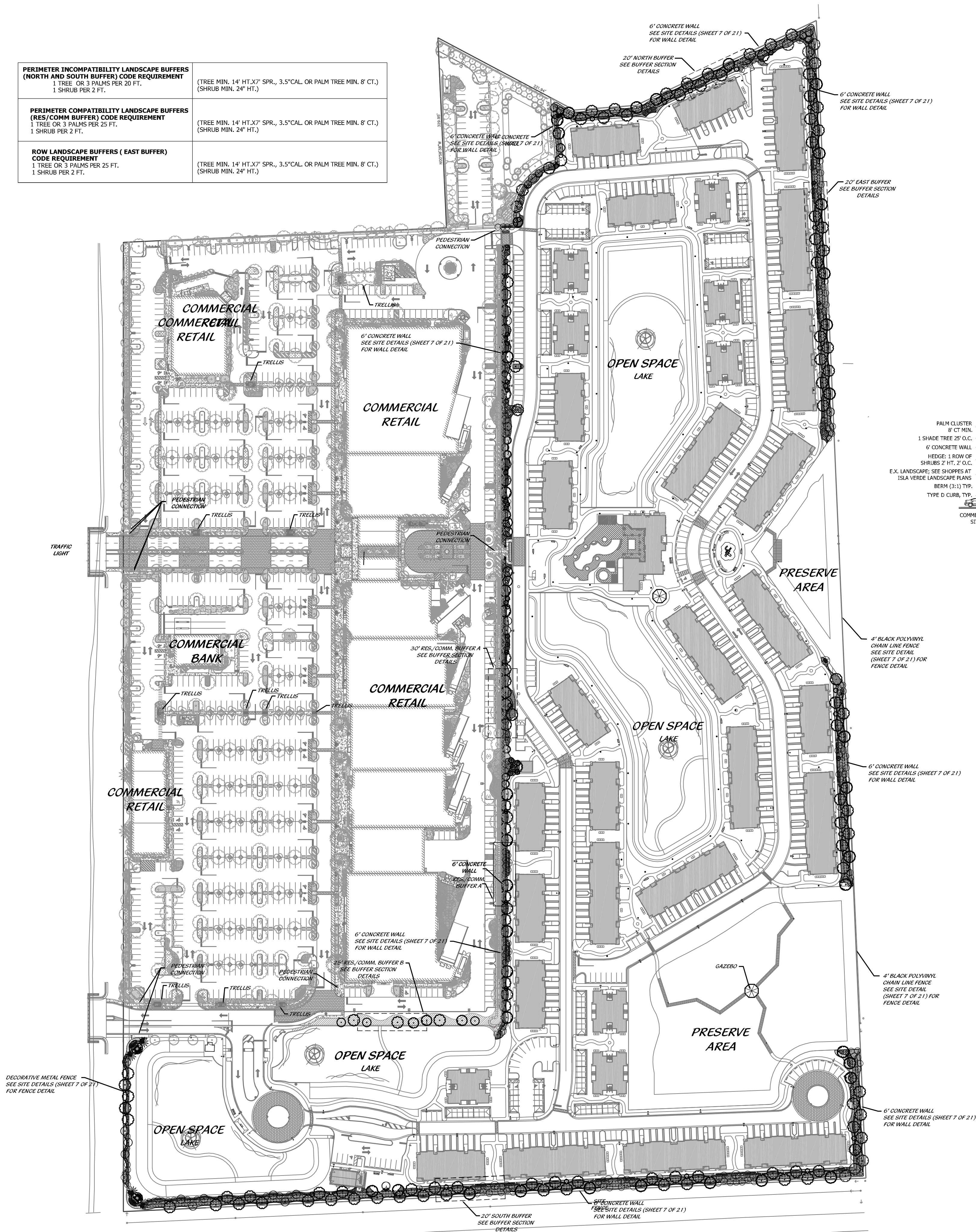
Isla Verde Residential Wellington Isles, LLC Village of Wellington, Florida

DESIGNED _____ RW
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APPROVED _____ DEH
JOB NUMBER 04-1216-03
DATE 12-16-13
REVISIONS _____









































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Drawing: 04-1216.03 SP.DWG

SHEET 1 OF 1
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PERIMETER INCOMPATIBILITY LANDSCAPE BUFFERS (NORTH AND SOUTH BUFFER) CODE REQUIREMENT 1 TREE OR 3 PALMS PER 20 FT. 1 SHRUB PER 2 FT.	(TREE MIN. 14' HT. X 7" SPR., 3.5" CAL. OR PALM TREE MIN. 8' CT.) (SHRUB MIN. 24" HT.)
PERIMETER COMPATIBILITY LANDSCAPE BUFFERS (RES/COMM BUFFER) CODE REQUIREMENT 1 TREE OR 3 PALMS PER 20 FT. 1 SHRUB PER 2 FT.	(TREE MIN. 14' HT. X 7" SPR., 3.5" CAL. OR PALM TREE MIN. 8' CT.) (SHRUB MIN. 24" HT.)
ROW LANDSCAPE BUFFERS (EAST BUFFER) CODE REQUIREMENT 1 TREE OR 3 PALMS PER 25 FT. 1 SHRUB PER 2 FT.	(TREE MIN. 14' HT. X 7" SPR., 3.5" CAL. OR PALM TREE MIN. 8' CT.) (SHRUB MIN. 24" HT.)

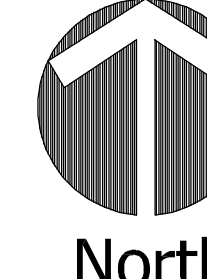
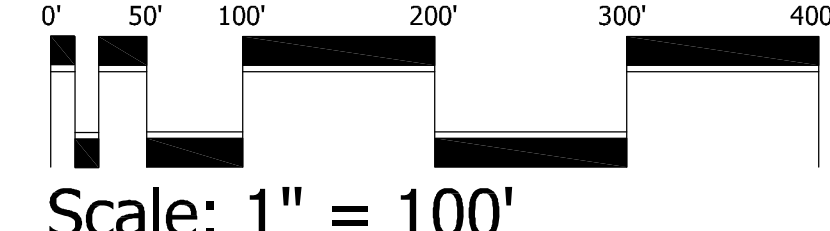


BUFFER PLANT LIST

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME
	BS*	23	BURSERIA SIMARUBA	GUMBO LIMBO		CT*	3,650	CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCOPLUM
	IC*	22	ILEX CASSINE	DAHDOON HOLLY		EF	36	EUGENIA FOETIDA	SPANISH STOPPER
	IE*	5	ILEX 'EAST PALATKA'	EAST PALATKA HOLLY		HP*	5,199	HAMELIA PATENS 'COMPACTA'	DWARF FIREBUSH
	JP*	20	JUNIPERUS VIRGINIANA SILICOLA	SOUTHERN RED CEDAR		ML*	856	MUHLENBERGIA CAPILLARES	PINK MUHLY GRASS
	LJ30	55	LIGULSTRUM JAPONICUM	JAPANESE PRIVET		SS1*	580	MYRTICANTHES FRAGRENS	SIMPSON'S STOPPER
	LJ65	6	LIGULSTRUM JAPONICUM	JAPANESE PRIVET		SB*	484	SPARTINA BAKERI	SPARTINA GRASS
	MD*	6	MAGNOLIA GRANDIFLORA 'D.D. BLANCHARD' TM	MAGNOLIA		TD*	211	TRIPSACIUM DACTYLOIDES	FAKACHATCHEE GRASS
	MC*	5	MYRTICA CERIFERA	WAX MYRTLE					
	QV*	124	QUERCUS VIRGINIANA	LIVE OAK					
FLOWERING TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME
	DR	46	DELOINX REGIA	ROYAL POINCIANA		ANN	434	ANNUALS	ANNUALS
	TA	18	TABERBUA CARABIA	YELLOW TABERBUA		BFH	191	BULBINE FRUTESCENS 'HALMARK'	BULBINE
	TU	6	TIBOUCHINA GRANULOSA	GLORYBUSH		CV1	24	CODIAEUM VARIEGATUM 'ELEANOR ROOSEVELT'	ELEANOR ROOSEVELT CROTON
PALM TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME		CV2	78	CODIAEUM x HARRY	CROTON HARRY
	BS	1	BISMARCKIA NOBILIS 'SILVER'	BISMARCK PALM		CV4	189	CODIAEUM x 'MAGNIFICENT'	MAGNIFICENT CROTON
	CH	3	CHAMAEOPS HUMILIS	EUROPEAN FAN PALM		DE	339	DURANTA ERECTA	GOLD MOUND DURANTA
	ON	2	COCOS NUCIFERA 'HAWAIIAN'	COCONUT PALM		FG	547	FICUS MACROPHYLLA 'GREEN ISLAND'	GREEN ISLAND FIG
	PR	2	PHOENIX RECLINATA	SENEGAL DATE PALM		IV*	2,187	ILEX VOMITORIA 'STOKES DWARF'	DWARF YAUPOIN HOLLY
	PHS	4	PHOENIX SYLVESTRIS	SYLVESTER DATE PALM		WC*	667	PSYCHOTRIA NERVOSA	WILD COFFEE
	RE*	4	ROYSTONIA REGIA	ROYAL PALM		SAV	700	SCHIEFFELERA ARBORICOLA 'TRINETTE'	DWARF VARIEGATED SCHIEFFELERA
	SP*	257	SABAL PALMETTO	SABAL PALMETTO		TP*	498	TRIPSACIUM FLORIDANA	DWARF FAKACHATCHEE GRASS
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME					
	CT3	36	CORYLINE TERMINALIS 'AUNTIE LOU'	AUNTIE LOU TI PLANT					
	CS2	1,353	CLUSIA GUTTIFERA	CLUSIA					
	CV7	32	CODIAEUM VARIEGATUM	CROTON					
	SS2*	9	MYRTICANTHES FRAGRANS	SIMPSON'S STOPPER					
	SS3*	120	MYRTICANTHES FRAGRANS	SIMPSON'S STOPPER					
	MC1*	288	MYRTICA CERIFERA	WAX MYRTLE					
	POH	10	PODOCARPUS MARII	PODOCARPUS					
	RE	6	RHAPS EXCELSA	LADY PALM					

Landscape Buff

*NOTE: SEE LANDSCAPE DETAILS (SHEET 20 OF 21) FOR LANDSCAPING NOTES, PLANT DETAILS AND SPECIFICATIONS.



Cotleur Hearing
Landscape Architecture
Planning
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Isla Verde Residential

Wellington Isles, LLC
Village of Wellington, Florida

DESIGNED	DEH
DRAWN	RW
APPROVED	DEH
JOB NUMBER	04-1216.03
DATE	10-17-13
REVISIONS	02-13-14

Project Team

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CIVIL ENGINEER

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CONTACT: GREG BOLEN

PLANNER

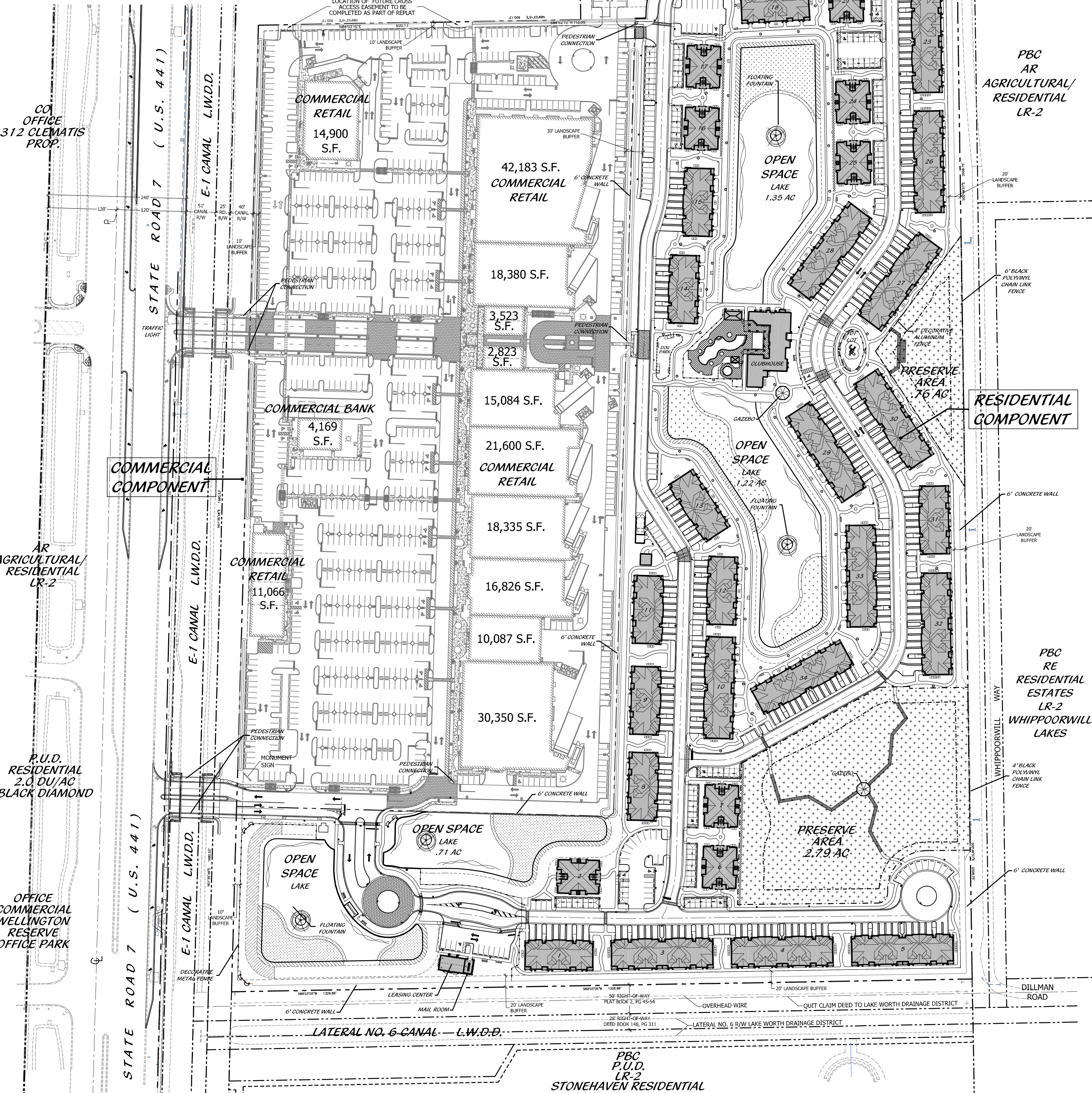
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PHONE: 561-747-6336
FAX: 561-747-1377
CONTACT: DON HEARING

LANDSCAPE ARCHITECT

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FAX: 561-640-9773
CONTACT: CRAIG WALLACE



Commercial Site Data

PCN: 73-42-44-06-06-000-0000

SECTION: 06, TOWNSHIP: 44, RANGE: 42

EXISTING LAND USE DESIGNATION:

FUTURE LAND USE DESIGNATION:

ZONING DESIGNATION:

VILLAGE PETITION NUMBER:

FLOOD ZONE

MIXED USE

MUPD

2002-024-SP1

B

MIXED USE LAND AREA:

RESIDENTIAL

COMMERCIAL

OPEN SPACE (LAKES AND TRACT L3)

PRESERVE

TOTAL SITE AREA

2,333,482.00

53.569

100.00%

PARCEL DATA

PARCEL A - COMMERCIAL / OFFICE

PARCEL B - MULTI-FAMILY RESIDENTIAL

TOTAL SITE AREA

2,333,482.00

53.569

100.00%

PROPOSED USES

PARCEL A - RETAIL

TOTAL GROSS BUILDING AREA

209,326.00

209,326.00

MAXIMUM SQ.FT.

50 FEET

BUILDING STORIES

1 STORIES

PHASING

1 PHASE

NUMBER OF BUILDINGS

4 BUILDINGS

TYPE OF OWNERSHIP

PRIVATE

OPEN SPACE CALCULATIONS

GREEN SPACE

PLAZAS AND WALKWAYS

TOTAL

249,193.09

5.721

100.00%

SITE AREA CALCULATIONS

PERVIOUS

GREEN SPACE

SUB-TOTAL

204,853.91

4.703

20.52%

IMPERVIOUS

BUILDING LOT COVERAGE

VEHICULAR USE AREAS

WALKS, COURTYARDS & PLAZAS

SUB-TOTAL

793,289.09

18.211

79.48%

TOTAL

998,143.00

22.914

100.00%

PARKING CALCULATIONS

RETAIL (17200) FOR 163,142 SQ.FT.

MUPD REDUCTION 45,000 SQ.FT. @ 1/500 SQ.FT.

TOTAL

906

988

HANDICAP INCLUDED IN TOTAL (2% OF REQ.)

21

21

LOADING ZONES

RETAIL (209,326 SQ.FT.)

1 LOADING SPACE PER 1ST 10,000 SQ.FT.

1 LOADING SPACE EACH ADD. 100,000 SQ.FT.

TOTAL

3

10

PEDESTRIAN AMENITIES

BIKE RACKS (5% OF REQUIRED PARKING)

TRASH RECEPTACLES

BENCHES

45

45

1

1

1

1

GENERAL NOTES

REFUSE SERVICE SHALL BE ACCOMPLISHED BY WAY OF INVISIBLE WASTE SYSTEMS AND TRASH COMPACTOR WITH RECYCLING.

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ALL SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF THE VILLAGE OF WELLINGTON AND MASTER SIGN PLAN.

THE LANDSCAPE SHALL AVOID CONFLICTS WITH UNDERGROUND DRAINAGE AND UTILITIES. THE LANDSCAPE DESIGNER SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK.

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TWENTY-FOUR (24") INCH RIDGED ROOT BARRIER SHALL BE PROVIDED FOR ALL SHADE TREES PLANTED WITHIN SIX (6") FEET OF CURBS OR SIDEWALKS. ROOT BARRIER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ROOT BARRIER, IN ACCORDANCE WITH THE LOCAL UTILITY AUTHORITY CRITERIA, SHALL BE PROVIDED FOR TREES AND PALMS ADJACENT TO UNDERGROUND UTILITIES.

ALL SIDEWALKS SHALL BE A MINIMUM OF 5 FEET IN WIDTH PER THE LDR'S.

ALL AREAS SHALL BE FULLY IRRIGATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE VILLAGE OF WELLINGTON.

ALL BUILDING LIGHTING AT ENTRY AND DOORS SHALL BE ON PHOTOCELL.

5' X 15' SAFE SIGHT TRIANGLE SHALL BE PROVIDED AT THE PROJECTS ENTRY ROADS. ALL PLANT MATERIAL WITHIN SAFE SIGHT TRIANGLE SHALL BE MAINTAINED BELOW 30" IN HEIGHT OR ABOVE 8'-0" IN HEIGHT AS MEASURED FROM FINISHED GRADE.

THE PHOTOMETRIC PLAN WILL REFLECT INITIAL LIGHTING VALUES IN ACCORDANCE WITH THE REQUIREMENTS OF THE VILLAGE OF WELLINGTON.

ALL TREES PLANTED UNDER OR ADJACENT TO F88L POWER LINES WILL COMPLY WITH THE F88L RIGHT TREE PLACE GUIDELINES.

ALL PARKING LOT STRIPING, EXCEPT FOR PARKING SPACES, SHALL BE CONSTRUCTED USING THERMOPLASTIC MATERIAL. AND ALL STRIPING WITHIN PAVEMENT BRICKS AREAS SHALL BE PAVEMENT BRICKS OF APPROPRIATE COLOR IN ACCORDANCE WITH LDR.

ALL PARKING AND STREET LIGHTS AND PEDESTRIAN LIGHTS SHALL BE METAL HALIDE.

PROJECT ID SIGNS SHALL BE ILLUMINATED WITH GROUND MOUNTED FIXTURES ON PHOTOCELLS.

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A-4' SETBACK IS REQUIRED FOR TREES AND LIGHT POLES. IF PROPOSING CURB AND GUTTER, A 6 FEET SETBACK IS REQUIRED FOR TREES AND LIGHT POLES FOR VALLEY CURB.

ALL WATER METERS ARE CLEAR OF PLANTS. AT LEAST 5 FEET AROUND THE METER.

DOGPOOT PET STATIONS SHALL BE DISTRIBUTED THROUGHOUT THE PLAN APPROXIMATELY EVERY 900'.

PARKING SHALL BE ASSIGNED TO INDIVIDUAL UNIT OWNERS FOR PARKING MANAGEMENT. VISITOR AND PUBLIC PARKING SHALL BE CLEARLY IDENTIFIED.

PROVISIONS FOR ELECTRIC CAR CHARGING WILL BE PROVIDED WITHIN GARAGES OF EACH OF THE TOWNHOUSE UNITS. TWO COMMON ELECTRIC CHARGING STATIONS PROVIDED ON SITE PER SITE PLAN. ADDITIONAL STATIONS WILL BE PROVIDED IF DEMAND WARRANTS.

ALL PAVEMENT AREAS TO BE EITHER ALL STAMPED CONCRETE OR ALL DECORATIVE PAVERS.

CLEAR ACCESS WITH STEPPING STONES WILL BE PROVIDED FOR EMERGENCY AND PEDESTRIAN ACCESS IN THE REAR OF TYPE 1 BUILDINGS AT PRESERVE AREAS.

LEGAL DESCRIPTION

THE SOUTH ONE-HALF (S 1/2) OF TRACT 32 AND ALL OF TRACTS 33 AND 34, 43 THROUGH 48, BLOCK 10, DILLMAN ROAD, PALM BEACH COUNTY, FLORIDA, PUBLIC RECORDS.

TOGETHER WITH THE PLATTED 30-FOOT RIGHT-OF-WAY LYING BETWEEN THE SOUTH BOUNDARY OF TRACT 32 AND THE NORTH BOUNDARY OF LOT 34, 43, 44, 45, BLOCK 10, THE PALM BEACH FARMS CO. PLAT BOOK 2, PAGES 45 THROUGH 54, PALM BEACH COUNTY, FLORIDA, PUBLIC RECORDS.

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Residential Site Data

PCN: 73-42-44-06-06-000-0000

SECTION: 06, TOWNSHIP: 44, RANGE: 42

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FUTURE LAND USE DESIGNATION:

ZONING DESIGNATION:

VILLAGE PETITION NUMBER:

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MUPD

2002-024-SP1

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MIXED USE LAND AREA:

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COMMERCIAL

OPEN SPACE (LAKES)

PRESERVE

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53.569

100.00%

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RESEIDENTIAL

CLUB HOUSE

LEASING OFFICE

MAINTENANCE BLDG.

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209,326.00

209,326.00

MAXIMUM SQ.FT.

50 FEET

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1 STORIES

PHASING

1 PHASE

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GREEN SPACE

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RESOLUTION No. 2011-35

Use Limitations

1. The project will be developed consistent with the use limitations presented below:

PROPOSED USE	NUMBER OF ACRES	USE	SIZE LIMITATIONS
Conservation	3.55	Preserve Area	Not less than 3.23 acres*
Open Space	6.62	Open Space	Not less than 6.60 acres*
Commercial	22.92	Retail / Commercial	Not more than 210,000 square feet
Residential	20.48	Townhouse Multi-family Dwelling Units	Not more than 230 townhouse 360 multi-family dwellings

*Acres adjusted for consistency with previous approvals, Isla Verde at Wellington as recorded in Plat Book 100 Pages 132 through 138 and to reflect the 1.06-acre transfer.

2. The commercial portion of the MUPD may contain restaurant, personal service, professional office and medical office uses, in addition to retail and commercial uses.
3. The Isla Verde shall be constructed in substantial compliance with the master plan, included as Exhibit "B". Any amendment to the master plan shall be subject to the requirement of Policy 12.53.of the Land Use Element of the Comprehensive Plan.

General Requirements

4. The Future Land Use Map shall be amended within 60 days after adoption of the compliance agreement to clearly identify Isla Verde parcel as subject to the specific requirements of Ordinance 2003 -17.
5. Any business operating more than 18 hours per day shall be located at least 200 feet from a dwelling unit, measured from the closest building points of each affected structure.
6. Garbage and recycling pickup for the commercial portion of the MUPD shall not occur between the hours of 9:00 PM and 7:00 AM.
7. Deliveries for the commercial portion of the MUPD shall not occur between the hours of 10:00 PM and 7:00 AM.
8. There shall be no idling of delivery or similar vehicles on the commercial portion of the MUPD between the hours of 10:00 PM and 7:00 AM.
9. Overnight storage or parking of delivery vehicles or trucks shall not be permitted on site, except in designated loading and delivery areas and subject to the requirements affecting idling vehicles.

10. All delivery and loading areas built to accommodate semi-trucks, tractor trailers, moving vans, etc., shall be screened from view by a combined 30-foot internal (residential/commercial) landscape buffer consisting of a minimum four-foot high berm and eight-foot high concrete panel wall (overall height minimum 12 feet) with landscaping on both sides in accordance with an Alternative Landscape Plan. The concrete panel wall shall be constructed in a manner consistent with the color, character, and architectural style of the principal structure.

11. All roof-mounted air conditioning and mechanical equipment shall be screened from view on all sides in a manner consistent with the color, character, and architectural style of the principal structure.

12. All ground-mounted air conditioning and mechanical equipment shall be screened from view. The screening shall occur in a manner consistent with the color, character, and architectural style of the principal structure and may incorporate landscaping as one element of screening.

13. The condominium documents for the project shall be approved by the Village Attorney prior to DRC certification of the final site plan for the residential or commercial portion of the site, whichever occurs first.

14. All areas or receptacles for the storage and disposal of trash, garbage, recyclable material, or vegetation, such as dumpsters and trash compactors shall be screened from view and confined to the areas designated on the certified site plan.

15. Each dwelling unit shall incorporate a garbage can and recycling container storage area to comply with screening requirements.

16. The project shall comply with all applicable architectural and signage requirements of the LDRs, including all applicable "big box" standards.

17. Building height of all structures shall not exceed 35 feet. The residential structures shall not exceed ~~two~~ three stories in height.

18. All roads, utilities, sidewalks and similar improvements shall be private, and shall not be the maintenance responsibility of the Village.

19. Prior to issuance of any building permits, the project shall be platted.

20. The master plan shall be amended to reflect a revised alignment of the entry road to the residential portion of the project and the north-south vehicle access roadway located immediately in front of the principal commercial structures. The revision shall reflect a full four way stop.

Vegetation and Landscaping

21. Prior to site plan approval for the residential or commercial portion of the site, whichever occurs first, the applicant shall submit a vegetation removal permit for removal and relocation onsite of at least 75% of the sabal palm trees currently located on the property. The relocated sabal palms shall be included within the revised landscape plans for the site.

22. Prior to initial DRC site plan approval, the applicant shall provide for staff approval the method to be utilized to protect the vegetation and integrity of all preserve areas during construction on either portion of the site.

23. The preserve areas indicated on the Isla Verde Master Plan shall be maintained, protected and preserved in perpetuity or as otherwise permitted by the Village Council.

24. The property owner shall maintain the 40-foot Lake Worth Drainage District easement and the 25-foot E-1 Canal Right-of-Way easement that is located along the west side of the property, east of State Road 7 / U.S. 441.

Traffic

25. The proposed mixed use development will comply with the traffic limitations as outlined in Exhibit "D".

26. Vehicular access to Dillman Road is prohibited.

27. As required by Palm Beach County, the applicant shall fund installation of the traffic signal at the project's main entrance, including all necessary median and roadway improvements to accommodate installation of the signal.

28. The traffic signal shall be installed and shall be operational within six (6) months after the issuance of any certificates of occupancy for any residential or commercial structure or by June 30, 2008 whichever comes first."

29. Building permits for more than 95,500 square feet retail (the combined equivalent of 346 net PM peak hour trips) shall not be issued until the contract is let for an exclusive north approach right turn lane at the at grade component of the intersection of Southern Boulevard and State Road 7. (Palm Beach County Traffic Division)

30. Building permits for more than 189,500 square feet of retail (the combined equivalent of 565 net PM peak hour trips) shall not be issued until the contract is let for a second north approach turn lane at the intersection of Forest Hill Boulevard and Lyons Road. (Palm Beach County Traffic Division)

31. A development agreement with Palm Beach County shall be entered into by the developer prior to or concurrent with the issuance of the first site specific development order in order to assure the road improvements in conditions #29 and #30, or the site specific

development order must have as a condition the completion of the assured construction and timely posting of performance security. (Palm Beach County Traffic Division)

32. No building permits shall be issued after December 31, 2007, unless a time extension has been approved by the County Engineer's Office based upon an approved traffic study, which complies with the mandatory Traffic Performance Standards in place at the time of the request. Palm Beach County Traffic Division)

33. The Property Owner shall fund the cost of signal installation if warranted as determined by the County Engineer and FDOT at the project entrance and State Road 7. Signalization shall be a mast arm structure installation. The cost of signalization shall also include all design costs and any required utility relocation and right of way or easement acquisition. Building Permits for more than 18,000 square feet of retail shall not be issued until the Property Owner provides acceptable surety in the form of a cash bond or escrow agreement to the Palm Beach County Traffic Division in an amount as determined by the Director of the Palm Beach County Traffic Division. (Palm Beach County Traffic Division)

34. In order to be relieved from this requirement and to have the surety posted for the traffic signal at the project entrance and State Road 7 returned, the Property Owner shall provide written notice to the Palm Beach County Traffic Division stating that the final certificate of occupancy has been issued for this development and requesting that a signal warrant study be conducted at the project entrance and State Road 7, OR the Property Owner shall provide written documentation to the Traffic Division that the property has been sold and that a replacement surety has been provided to the Palm Beach County Traffic Division by the new Property Owner. The Palm Beach County Traffic Division shall have 24 months from receipt of this notice to either draw upon the surety to construct the traffic signal or release the surety. (Palm Beach County Traffic Division)

35. Construct south approach right turn lanes on State Road 7 at both entrances to the development. Additional Right-of-Way may also be required for the construction of these turn lanes. (Palm Beach County Traffic Division)

36. Construct south approach and north approach left turn lanes at the project's north entrance on State Road 7. This is not an existing median opening, and although the south approach turn lane will not directly benefit this project, it will be required in order to provide a full median opening at this location. Palm Beach County Traffic Division)

Additional Conditions

37. Amend Conditions 10, 28, 29, 30, and 33 as contained in this staff report and in the draft resolution dated July 5, 2007 (as adopted in Resolution No. R2007-86).

38. The residential portion and related infrastructure are hereby designated as Phase 2 of the MUPD.

39. At least fifty (50) percent of the proposed laurel live oak trees in the internal residential commercial buffer shall be a minimum of eighteen (18) feet high and located alternatively on both sides of the concrete panel wall.

40. The residential portion of the property shall be seeded or sprigged to provide uniform grass coverage within sixty (60) days of the first commercial certificate of occupancy.

41. Grass shall be maintained at a maximum twelve (12) inches in height.

42. The perimeter of the residential portion and internal connections to the commercial vehicular areas shall be secured by a temporary six (6)-foot high chain link fence with top rail.

New Conditions - Master Plan Amendment (Petition Number 2002-024 MPA1):

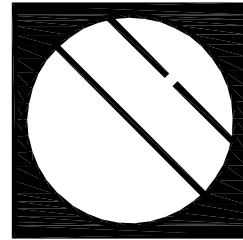
43. This site shall be re-platted prior to the permit for the parking and detention area.

44. A recorded cross access agreement between this site (commercial portion) and the parcel to the north shall be provided at the time of re-plat.

45. A minimum eight-foot high wall with a berm and landscaping per Condition 10 above shall be provided on the northwest residential property line prior to the certificate of completion for the parking and detention area.

46. Prior to the first building permit for the residential units, an updated letter of compliance from the Palm Beach County Traffic Division is required.

47. All the previous conditions of approval not amended by this request shall remain in effect.



Cotleur Hearing

Landscape Architecture
Planning
Environmental Consulting
Graphic Design

1934 Commerce Lane
Suite 1
Jupiter, Florida 33458
561-747-6336 Fax-747-1377

Isla Verde Residential

Wellington Isles, LLC
Village of Wellington, Florida

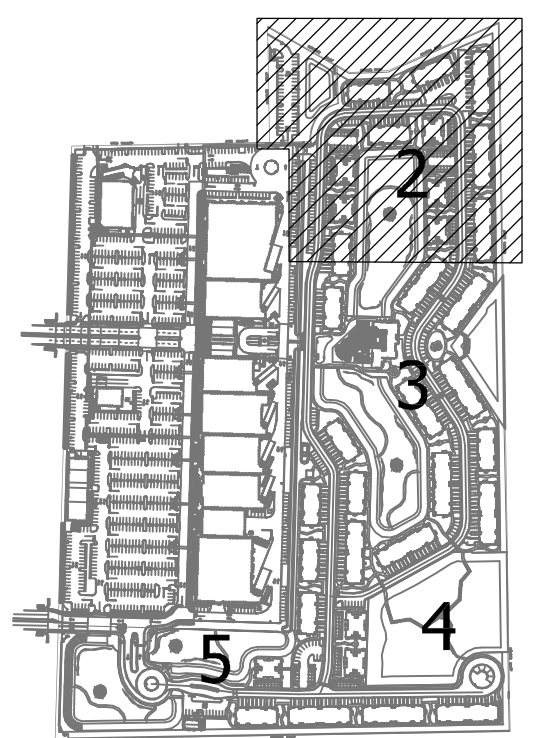
DESIGNED _____ DTS
DRAWN _____ RW
APPROVED _____ DEH
JOB NUMBER _____ 04-1216.03
DATE _____ 12-16-13
REVISIONS _____ 02-13-14

February 13, 2014 10:33:44 a.m.
Drawing: 041216.03 MP.DWG

SHEET 3 OF 3

© COTLEUR HEARING INC.
These drawings are the property of the architect and are not to be used for extensions or on other projects except by agreement in writing with the architect. Immediately report any discrepancies to the architect.

Conditions of Approval



Key Map

LEGEND

- | | | | |
|-------|-----------------------------|------|-----------------------|
| ROW | RIGHT OF WAY | 30 | BUILDING NUMBER |
| DE | DRAINAGE EASEMENT | II.1 | BUILDING TYPE |
| UE | UTILITY EASEMENT | | |
| TOB | TOP OF BANK | | AC UNITS |
| EOW | EDGE OF WATER | | STOP BAR & SIGN |
| TYP | TYPICAL | | BIKE RACK |
| R | RADIUS | | BENCH AND TRASH CAN |
| FH | FIRE HYDRANT | | PEDESTRIAN LIGHT POLE |
| DDCV | DOUBLE DETECTOR CHECK VALVE | | LIGHT POLE |
| FDC | FIRE DEPARTMENT CONNECTION | | |
| LME | LAKE MAINTENANCE EASEMENT | | |
| SW | SIDEWALK | | |
| WM | WATER MAIN | | |
| FM | FORCE MAIN | | |
| EXIST | EXISTING | | |
| HC | HANDICAP | | |
| RPZ | REDUCED PRESSURE ZONE | | |

GENERAL NOTES

REFUSE SERVICE SHALL BE ACCOMPLISHED BY WAY OF INDIVIDUAL DUMPSTER AND RECYCLING.

RAMPS SHALL BE PROVIDED AT ALL PLAZA, SIDEWALK AND STREET INTERSECTIONS IN ACCORDANCE WITH ADA AND THE FLORIDA HANDICAP ACCESSIBILITY CODE.

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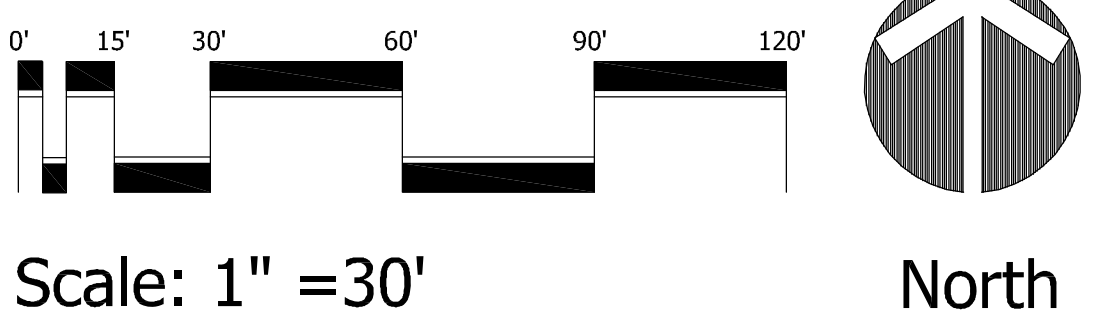
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ALL WATER METERS ARE CLEAR OF PLANTS. AT LEAST 5 FEET AROUND THE METER.

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By Planning and Zoning at 5:58 pm, Dec 16, 2013

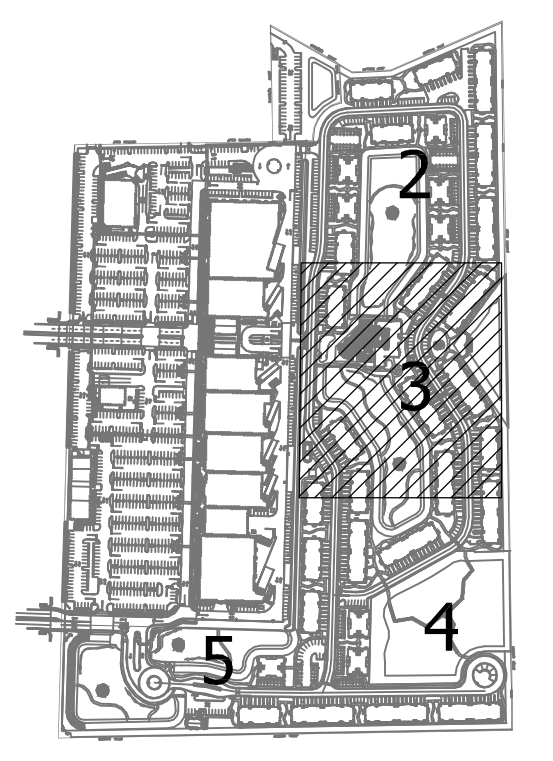
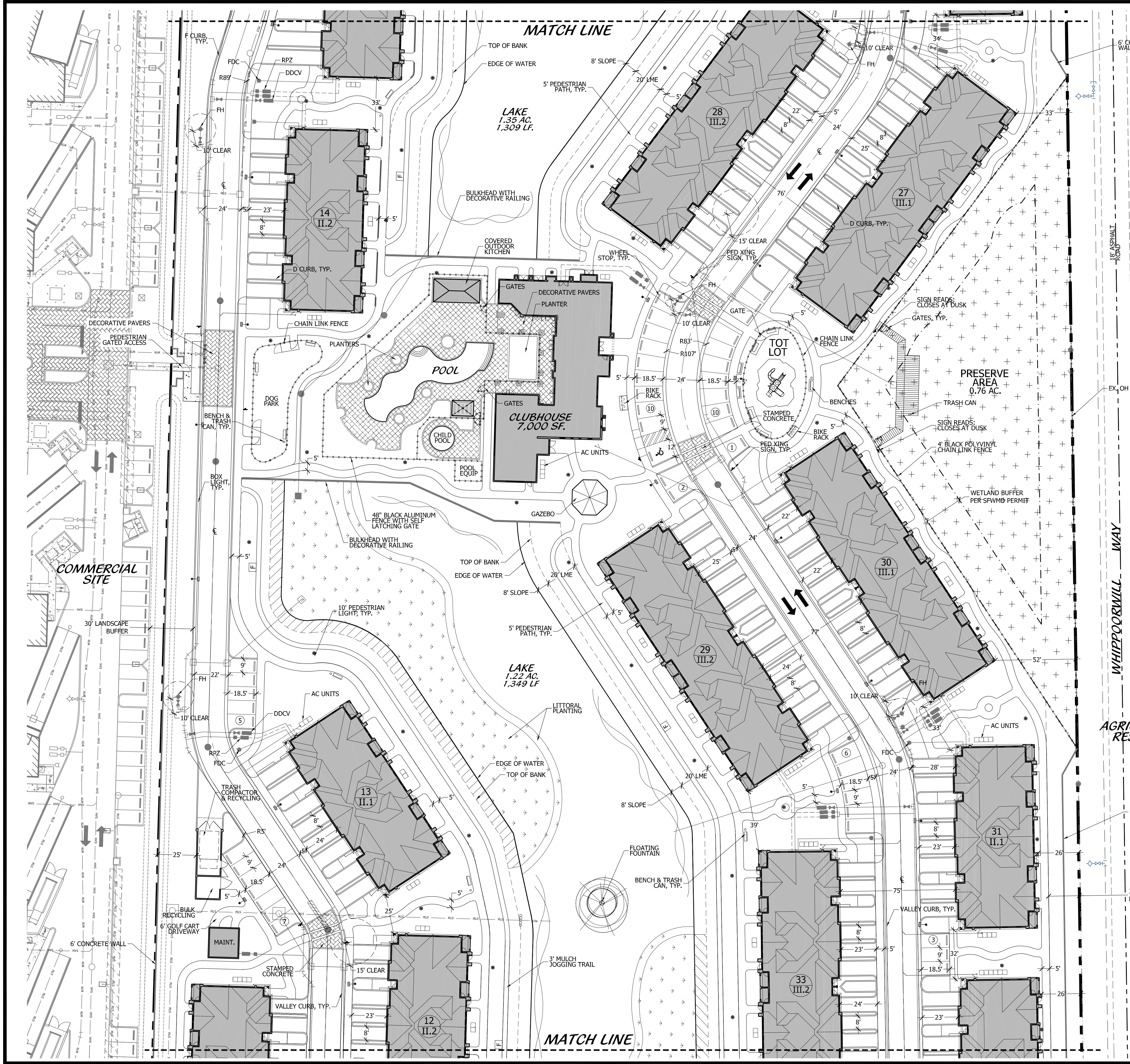
Site Plan




**Cotleur
Hearing**
Landscape Architecture
Planning
Environmental Consulting
Graphic Design
1934 Commerce Lane
Suite 1
Jupiter, Florida 33458
561-747-6336 Fax-747-1377

Isla Verde Residential
Wellington Isles, LLC
Village of Wellington, Florida

DESIGNED	DEH
DRAWN	RW
APPROVED	DEH
JOB NUMBER	04-1216
DATE	10-17-13
REVISIONS	12-16-13



Key Map

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By Planning and Zoning at 5:58 pm, Dec 16, 2013

LEGEND

- ROW DE TOB EOW TYP R FH DDCV FDC LME SW WM FM EXIST HC RPZ
- RIGHT OF WAY DRAINAGE EASEMENT UTILITY EASEMENT TOP OF BANK EDGE OF WATER TYPICAL RADIUS FIRE HYDRANT DOUBLE DETECTOR CHECK VALVE FIRE DEPARTMENT CONNECTION LAKE MAINTENANCE EASEMENT SIDEWALK WATER MAIN FORCE MAIN EXISTING HANDICAP REDUCED PRESSURE ZONE
- 30 II.1 BUILDING NUMBER BUILDING TYPE AC UNITS STOP BAR & SIGN BIKE RACK BENCH AND TRASH CAN PEDESTRIAN LIGHT POLE LIGHT POLE

GENERAL NOTES

REFUSE SERVICE SHALL BE ACCOMPLISHED BY WAY OF INDIVIDUAL DUMPSTER AND RECYCLING.

RAMPS SHALL BE PROVIDED AT ALL PLAZA, SIDEWALK AND STREET INTERSECTIONS IN ACCORDANCE WITH ADA AND THE FLORIDA HANDICAP ACCESSIBILITY CODE.

ALL SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF THE VILLAGE OF WELLINGTON AND MASTER SIGN PLAN.

THE LANDSCAPE SHALL AVOID CONFLICTS WITH UNDERGROUND DRAINAGE AND UTILITIES. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK.

TREES SHALL BE POSITIONED TO AVOID CONFLICTS WITH SIGNAGE AND SITE LIGHTING.

ALL LANDSCAPE SHALL CONFORM TO THE REQUIREMENTS OF THE VILLAGE OF WELLINGTON LAND DEVELOPMENT REGULATIONS. THE VILLAGE OF WELLINGTON CODE (LDRS) SHALL GOVERN IN THE EVENT OF A CONFLICT.

ALL ABOVE GROUND UTILITIES I.E. TRANSFORMERS, SWITCH BOXES, AC CONDENSERS AND ALKE SHALL BE FULLY SCREENED FROM VIEW ON THREE SIDES WITH LANDSCAPING. THE LANDSCAPING SHALL EXTEND TO THE TALLEST POINT OF SAID EQUIPMENT AT TIME OF PLANTING (30" MINIMUM).

ROOT BARRIER, IN ACCORDANCE WITH THE LOCAL UTILITY AUTHORITY CRITERIA, SHALL BE PROVIDED FOR TREES AND PALMS ADJACENT TO UNDERGROUND UTILITIES.

ALL SIDEWALKS SHALL BE A MINIMUM OF 5 FEET IN WIDTH PER THE LDRS.

ALL AREAS SHALL BE FULLY IRRIGATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE VILLAGE OF WELLINGTON.

ALL BUILDING LIGHTING AT ENTRY AND DOORS SHALL BE ON PHOTOCELL OR TIMERS.

5' X 15' SAFE SIGHT TRIANGLE SHALL BE PROVIDED AT THE PROJECTS ENTRY ROADS. ALL PLANT MATERIAL WITHIN SAFE SIGHT TRIANGLE SHALL BE MAINTENANCE BELOW 30" IN HEIGHT OR ABOVE 6'-0" IN HEIGHT AS MEASURE FROM FINISHED GRADE.

THE PHOTOMETRIC PLAN WILL REFLECT INITIAL LIGHTING VALUES IN ACCORDANCE WITH THE REQUIREMENTS OF THE VILLAGE OF WELLINGTON.

ALL TREES PLANTED UNDER OR ADJACENT TO PP&L POWER LINES WILL COMPLY WITH THE PP&L RIGHT TREE PLAGE GUIDELINES.

ALL PARKING LOT STRIPING, EXCEPT FOR PARKING SPACES, SHALL BE CONSTRUCTED USING THERMOPLASTIC MATERIAL AND ALL STRIPING WITHIN PAVEMENT BRICKS. AREAS SHALL BE PAVEMENT BRICKS OF APPROPRIATE COLOR IN ACCORDANCE WITH LDR.

ALL PARKING AND STREET LIGHTS AND PEDESTRIAN LIGHTS SHALL BE METAL HALOIDE.

PROJECT ID SIGNS SHALL BE ILLUMINATED WITH GROUND MOUNTED FIXTURES ON PHOTOCELLS.

ALL HANDICAP ACCESSIBLE RAMPS SHALL MEET ALL APPLICABLE LOCAL, REGIONAL, STATE, AND FEDERAL ACCESSIBILITY GUIDELINES AND REGULATIONS. ANY MODIFICATIONS SHALL BE APPROVED BY THE ENGINEER-OF-RECORD.

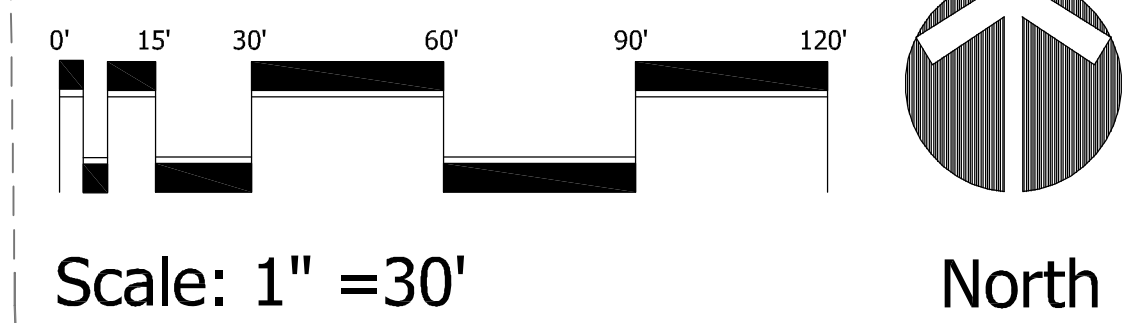
TREES PLANTED A MINIMUM OF 15 FEET FROM LIGHT POLE UNLESS POLES ARE BELOW THE TREE CANOPY.

A 4' SETBACK IS REQUIRED FOR TREES AND LIGHT POLES. IF PROPOSED CURB AND GUTTER, A 6 FEET SETBACK IS REQUIRED FOR VALLEY CURB.

ALL WATER METERS ARE CLEAR OF PLANTS. AT LEAST 5 FEET AROUND THE METER.

Site Plan

PETITION: 2002-024-ASA 3



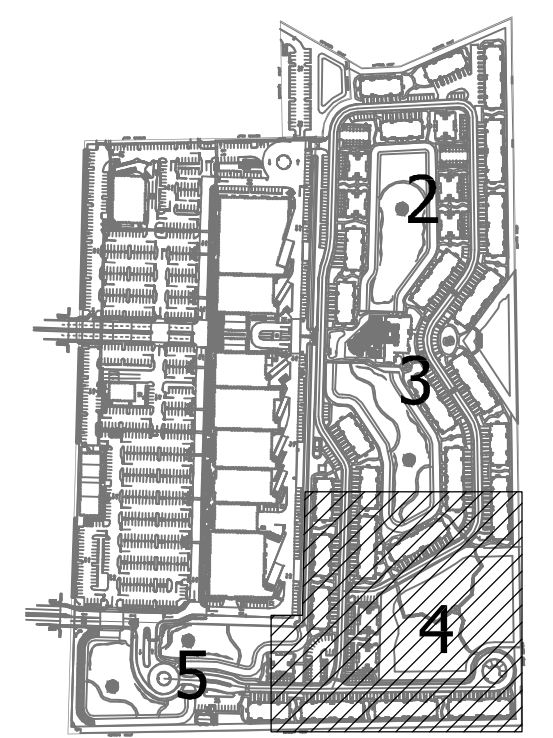
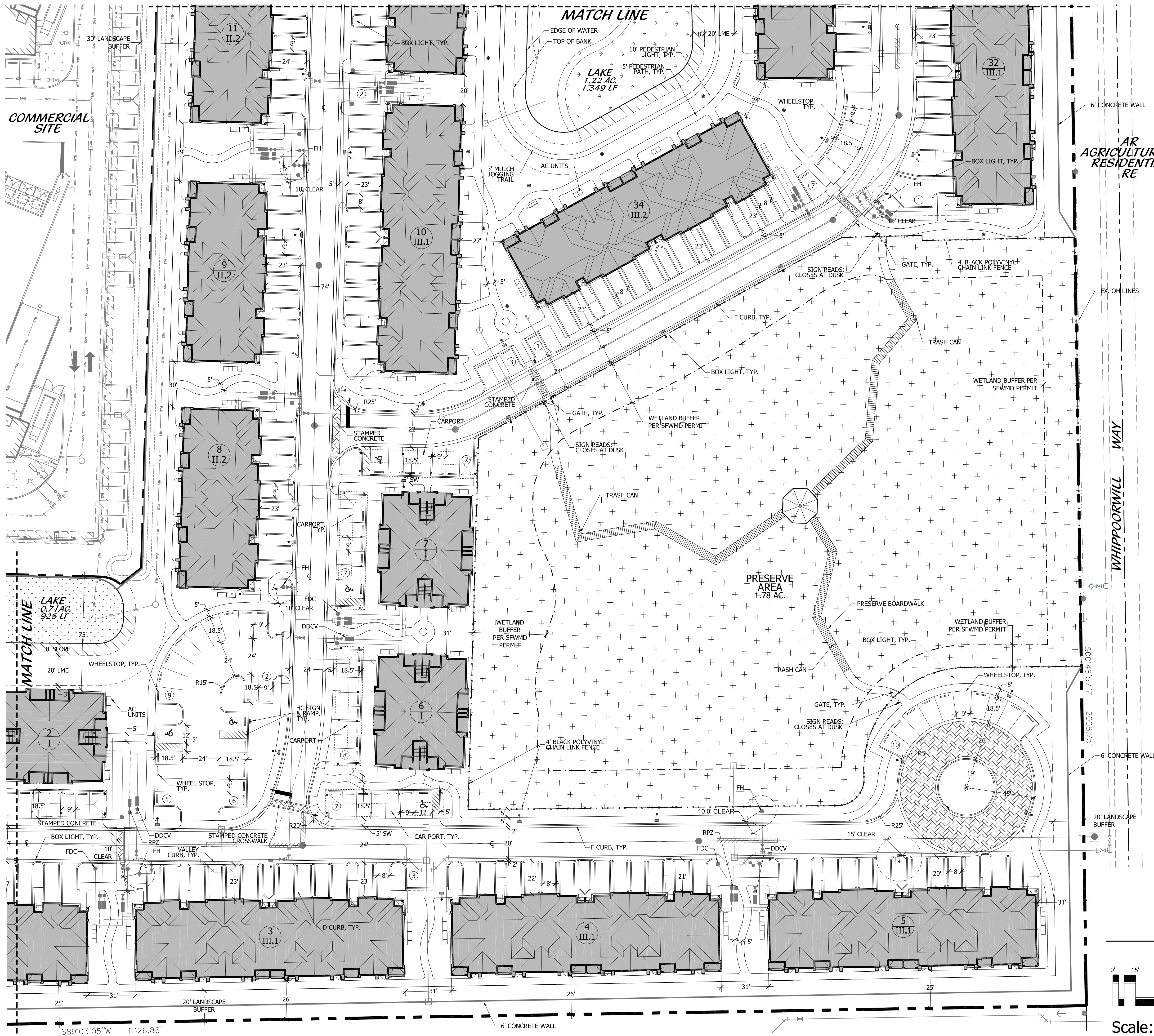

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Isla Verde Residential
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Village of Wellington, Florida

DESIGNED _____ DEH
DRAWN _____ RW
APPROVED _____ DEH
JOB NUMBER _____ 04-1216.03
DATE _____ 10-17-13
REVISIONS _____ 12-16-13

December 13, 2013 11:38:06 a.m.
Drawing: 04-1216.03 SP DWG

SHEET **3** OF **21**
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Key Map

LEGEND

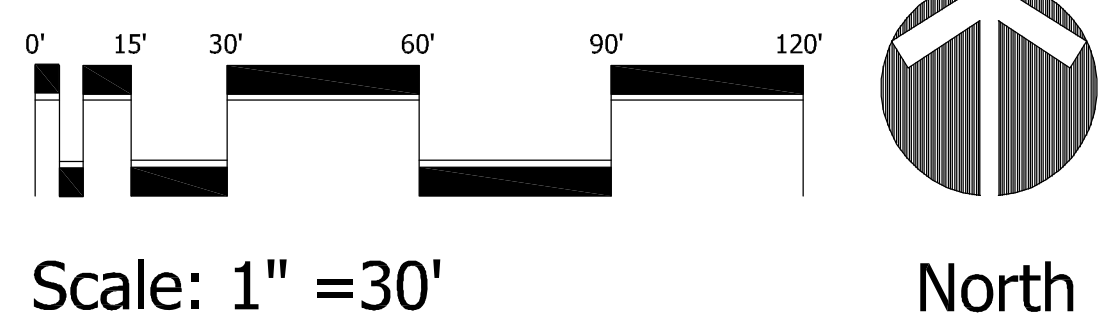
- | | | | |
|-------|-----------------------------|------|-----------------|
| ROW | RIGHT OF WAY | 30 | BUILDING NUMBER |
| DE | DEVELOPMENT EASEMENT | II.1 | BUILDING TYPE |
| UE | UTILITY EASEMENT | | |
| TOB | TOP OF BANK | | |
| EOW | EDGE OF WATER | | |
| TYP | TYPICAL | | |
| R | RADIUS | | |
| FH | FIRE HYDRANT | | |
| DDCV | DOUBLE DETECTOR CHECK VALVE | | |
| FDC | FIRE DEPARTMENT CONNECTION | | |
| LME | LAKE MAINTENANCE EASEMENT | | |
| SW | SIDEWALK | | |
| WM | WATER MAIN | | |
| FM | FORCE MAIN | | |
| EXIST | EXISTING | | |
| HC | HANDICAP | | |
| RPZ | REDUCED PRESSURE ZONE | | |
- | | |
|--|-----------------------|
| | AC UNITS |
| | STOP BAR & SIGN |
| | BIKE RACK |
| | BENCH AND TRASH CAN |
| | PEDESTRIAN LIGHT POLE |
| | LIGHT POLE |

GENERAL NOTES

- REFUSE SERVICE SHALL BE ACCOMPLISHED BY WAY OF INDIVIDUAL DUMPSTER AND RECYCLING.
- RAMPS SHALL BE PROVIDED AT ALL PLAZA, SIDEWALK AND STREET INTERSECTIONS IN ACCORDANCE WITH ADA AND THE FLORIDA HANDICAP ACCESSIBILITY CODE.
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- THE LANDSCAPE SHALL AVOID CONFLICTS WITH UNDERGROUND DRAINAGE AND UTILITIES. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK.
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- ROOT BARRIER, IN ACCORDANCE WITH THE LOCAL UTILITY AUTHORITY CRITERIA, SHALL BE PROVIDED FOR TREES AND PALMS ADJACENT TO UNDERGROUND UTILITIES.
- ALL SIDEWALKS SHALL BE A MINIMUM OF 5 FEET IN WIDTH PER THE LDRS.
- ALL AREAS SHALL BE FULLY IRRIGATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE VILLAGE OF WELLINGTON.
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- 5' X 15' SAFE SIGHT TRIANGLE SHALL BE PROVIDED AT THE PROJECTS ENTRY ROADS. ALL PLANT MATERIAL WITHIN SAFE SIGHT TRIANGLE SHALL BE MAINTAINED BELOW 20' IN HEIGHT OR 40' X 6' IN HEIGHT AS MEASURED FROM FINISHED GRADE.
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- ALL TREES PLANTED UNDER OR ADJACENT TO F&P POWER LINES WILL COMPLY WITH THE F&P RIGHT TREE PLACEMENT GUIDELINES.
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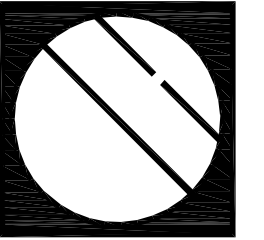
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Isla Verde Residential

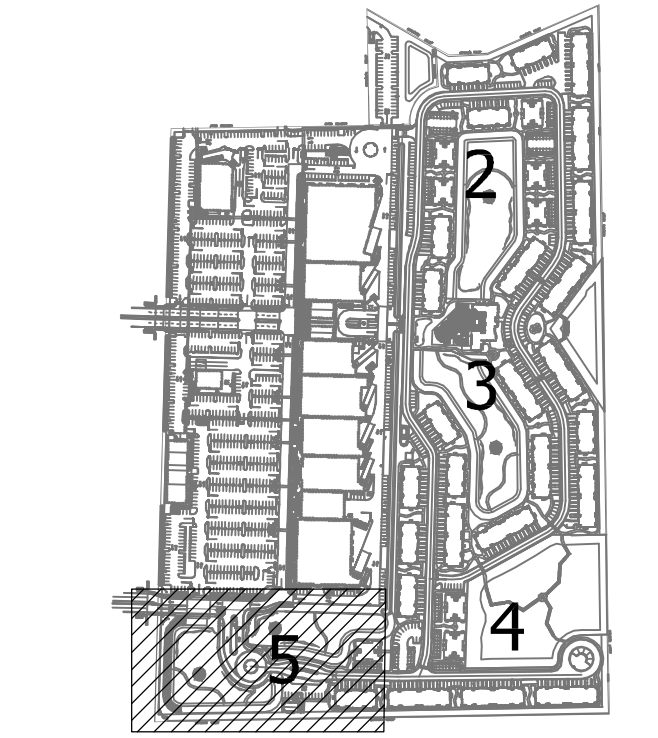
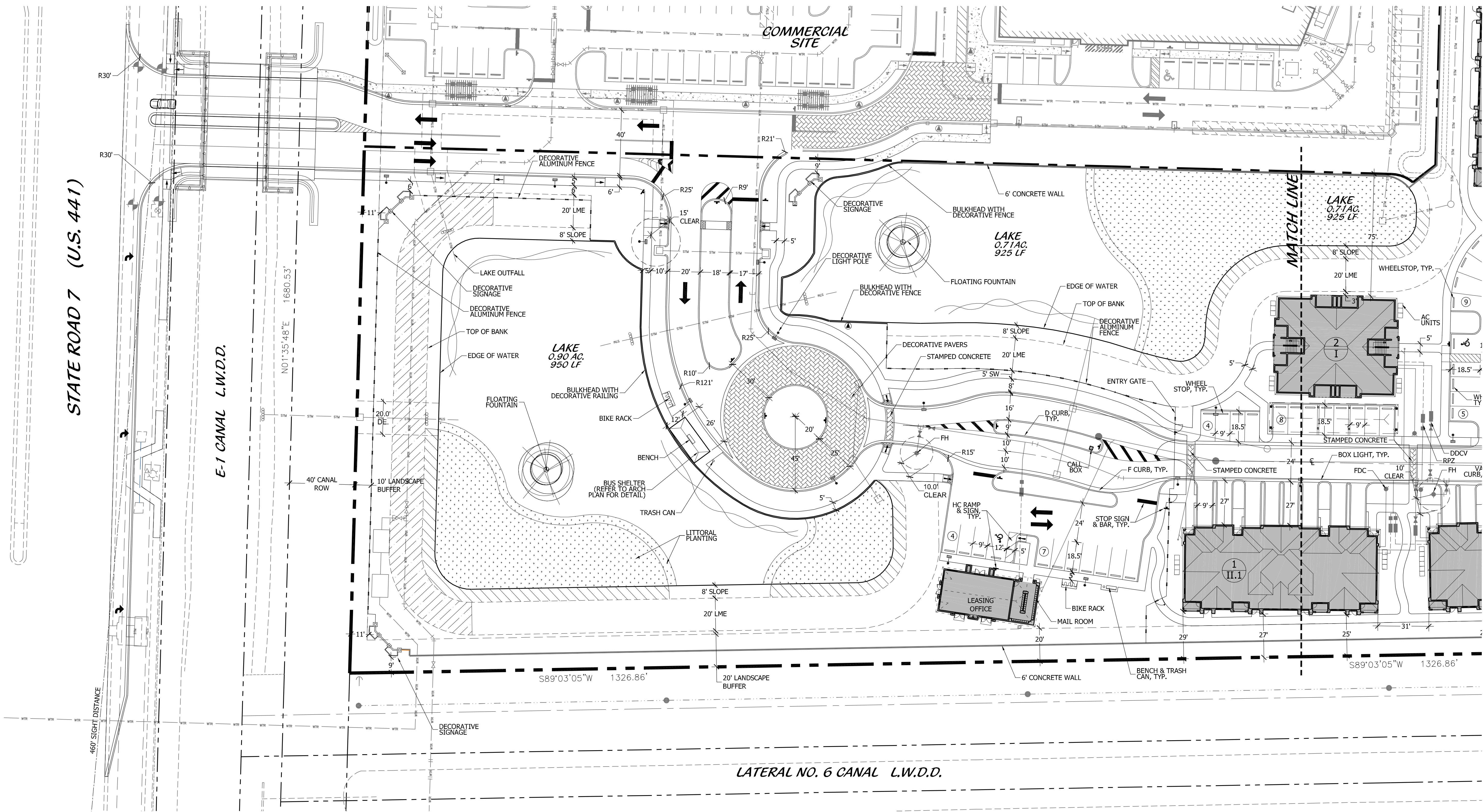
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December 13, 2013 11:38:06 a.m.
Drawing: 04-1216.03 SP DWG

SHEET 5 OF 21

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Key Map

LEGEND

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- TYP TYPICAL
- R RADIUS
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- 30 BUILDING NUMBER
- II.1 BUILDING TYPE
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ALL TREES PLANTED UNDER OR ADJACENT TO FPAL POWER LINES WILL COMPLY WITH THE FPAL RIGHT TREE PLACE GUIDELINES.

ALL PARKING LOT STRIPING, EXCEPT FOR PARKING SPACES, SHALL BE CONSTRUCTED USING THERMOPLASTIC MATERIAL AND ALL STRIPING WITHIN PAVEMENT AREAS SHALL BE PAVED BRICKS OF APPROPRIATE COLOR IN ACCORDANCE WITH LDR.

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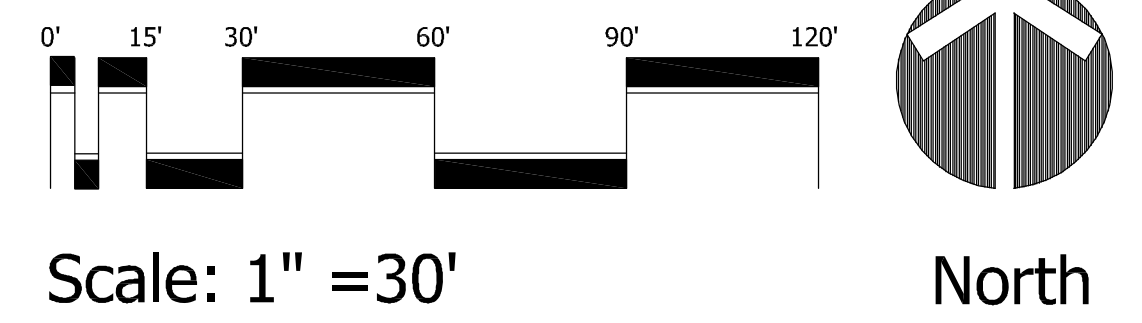
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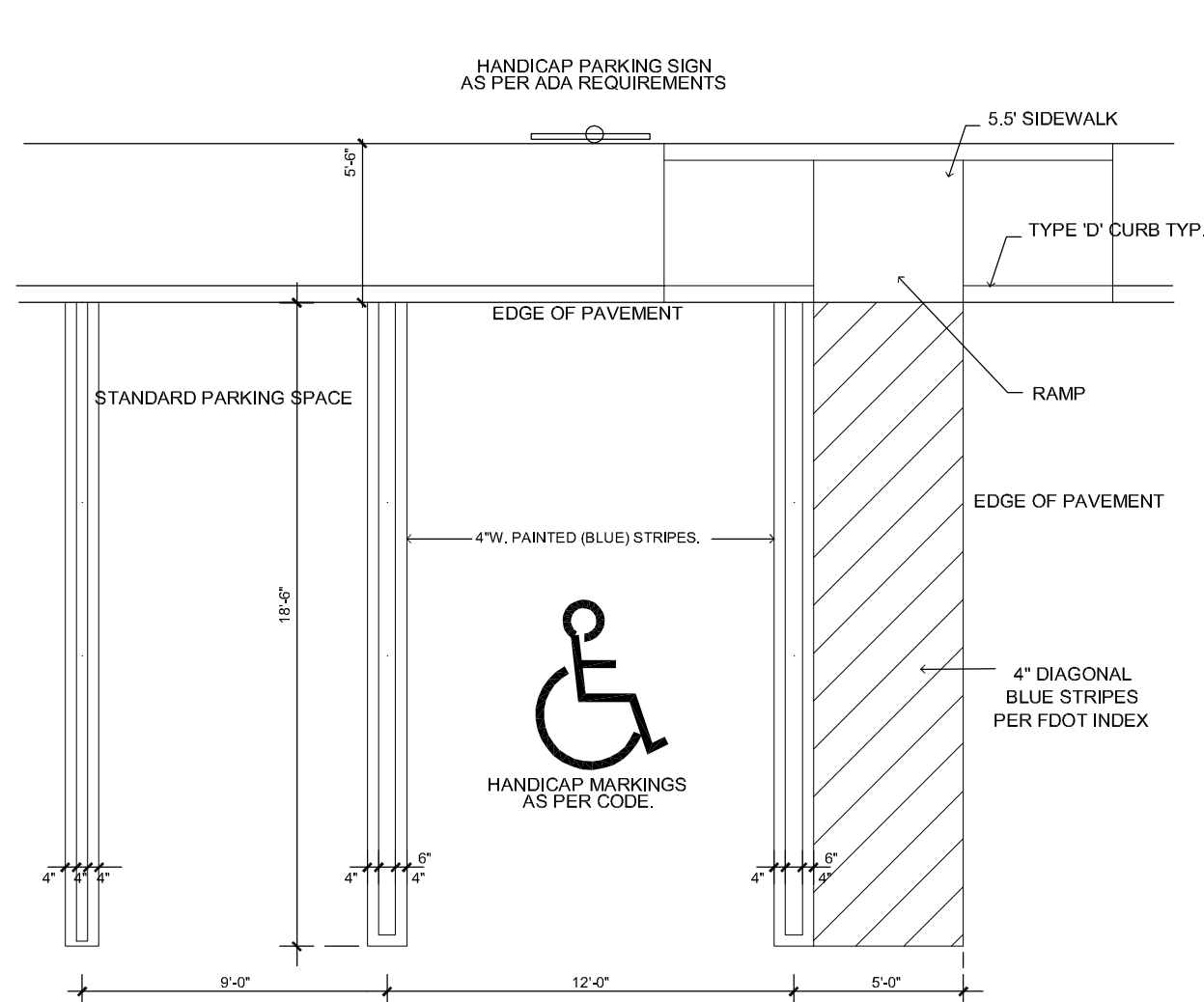
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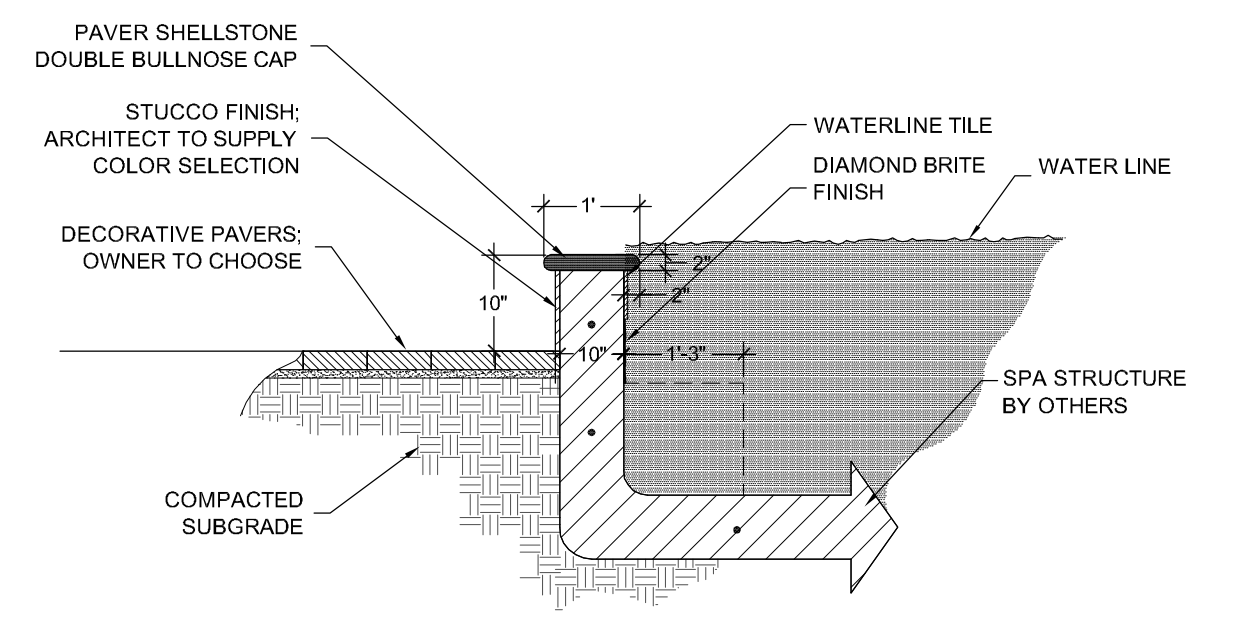
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Site Plan





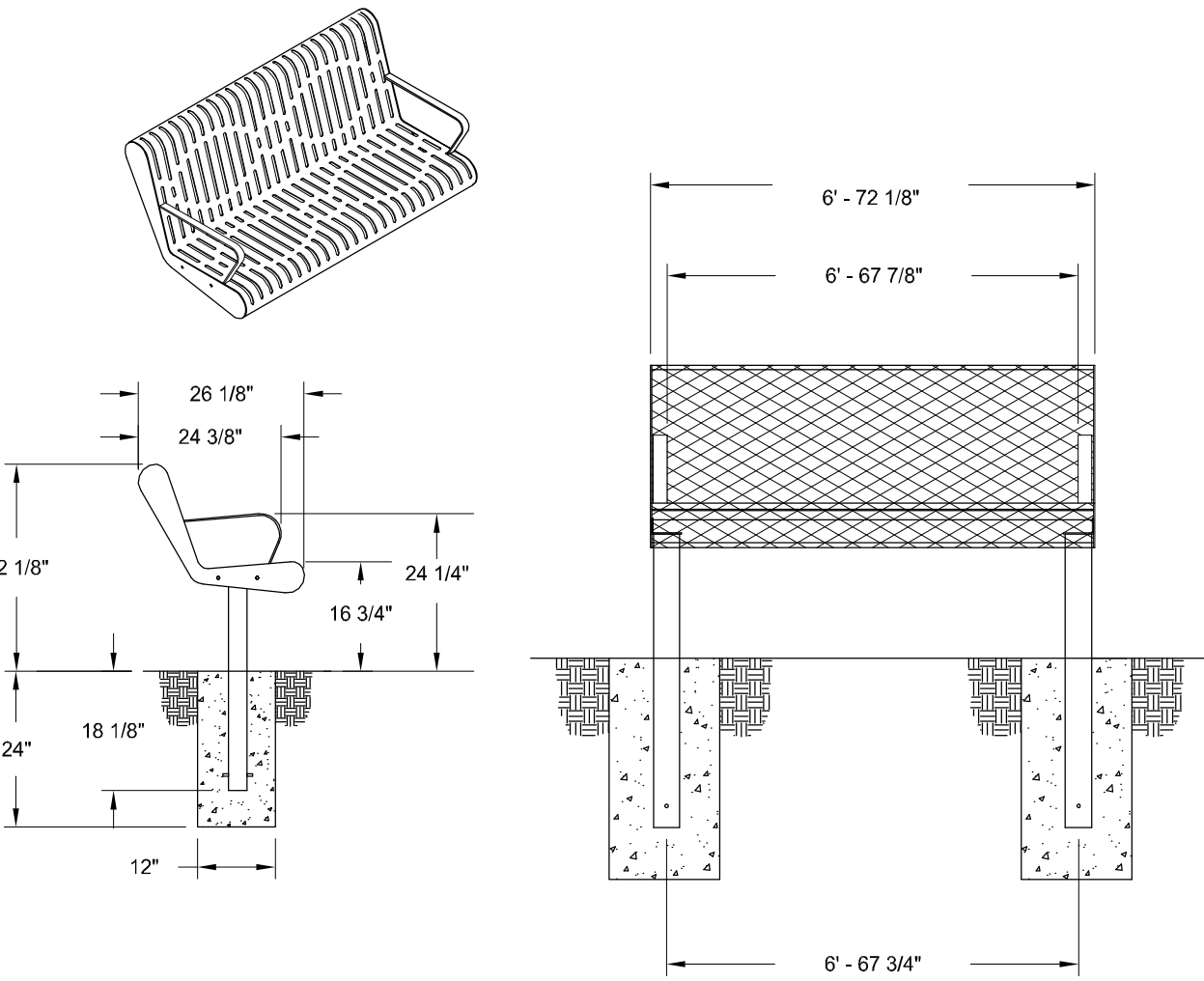
STANDARD & HANDICAP PARKING LAYOUT
NOT TO SCALE



SPA CAP AND EXTERIOR FINISH
SEE POOL CONTRACTOR'S FINAL STRUCTURAL/ENGINEERED DRAWINGS
SCALE 1" = 2'



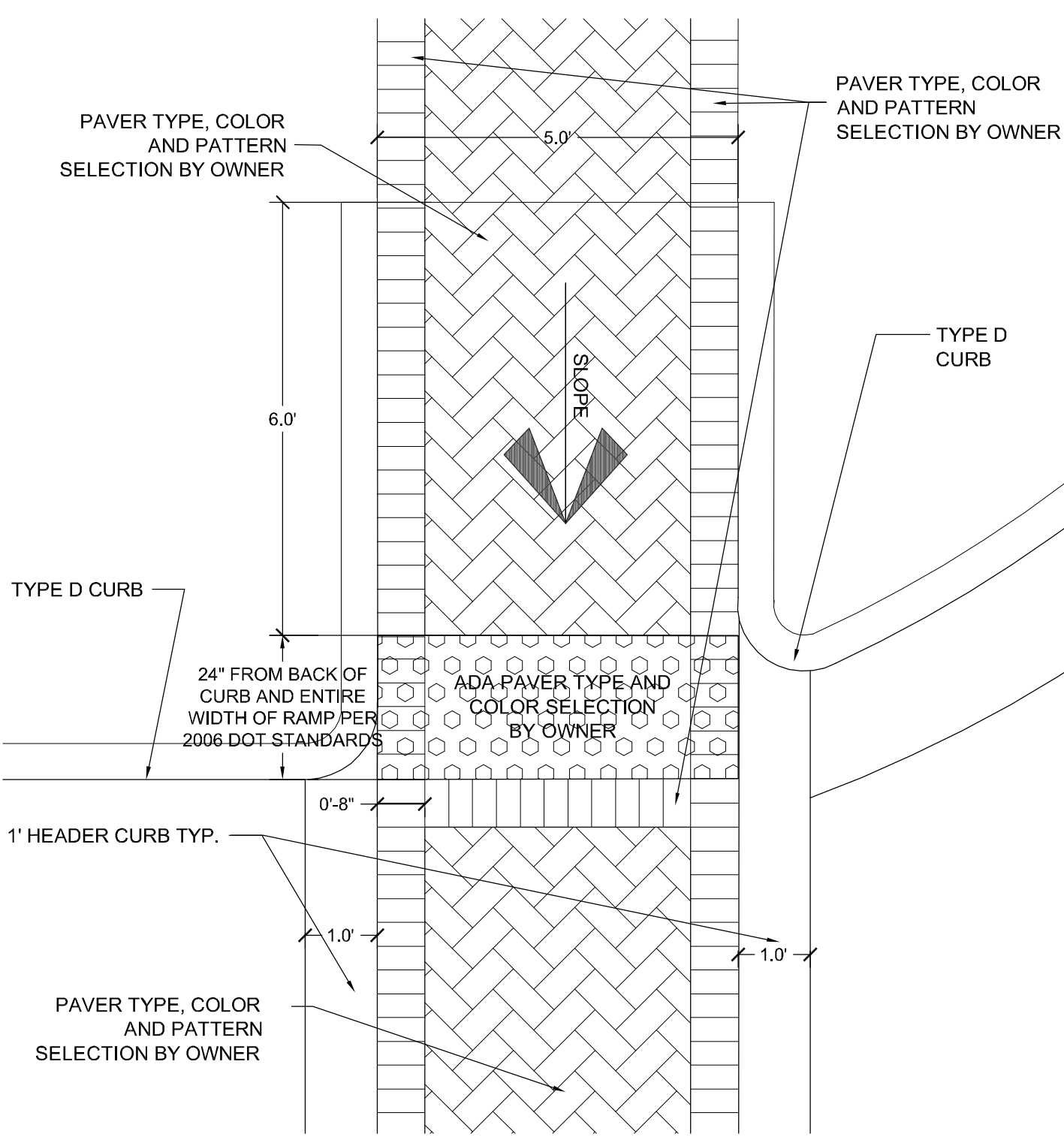
PLAY GROUND MEET ADA REQUIREMENT
DIMENSION 17'X24'
USE ZONE 29'X36'
Not to Scale



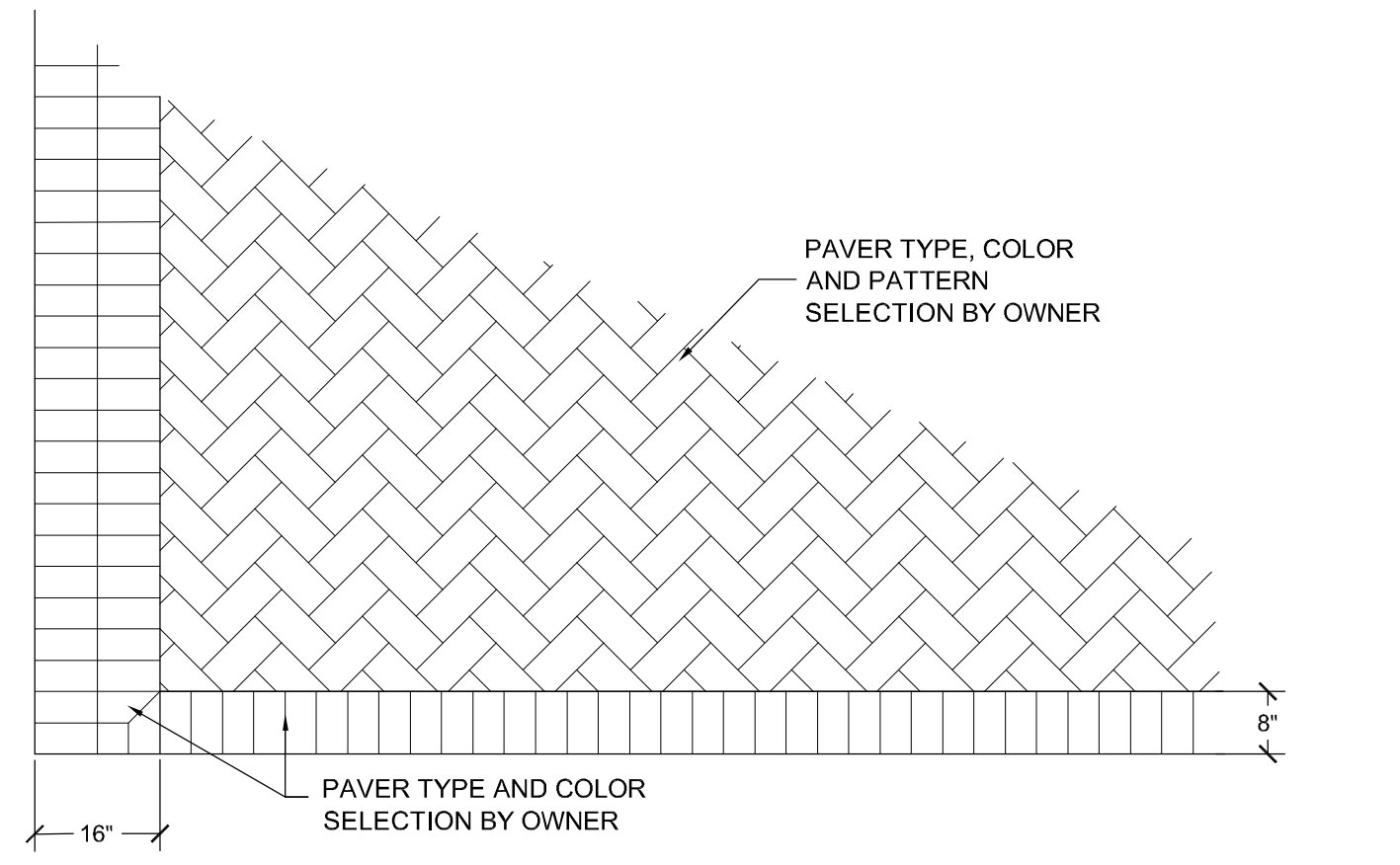
6' LONG BENCH, BROWN COLOR WITH IN GROUND MOUNT
NOT TO SCALE



ALL FENCE TO BE 6' BLACK POLYVINYL CHAIN LINK
NOT TO SCALE



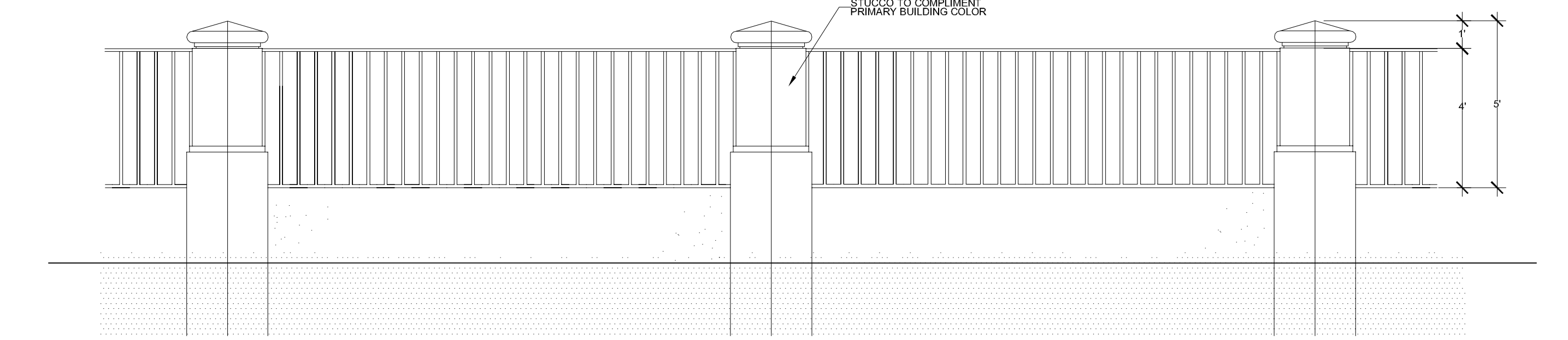
TYPICAL HANDICAP PAVER RAMP
SEE ENGINEERING PLAN FOR CONSTRUCTION DETAIL
SCALE 1" = 2'



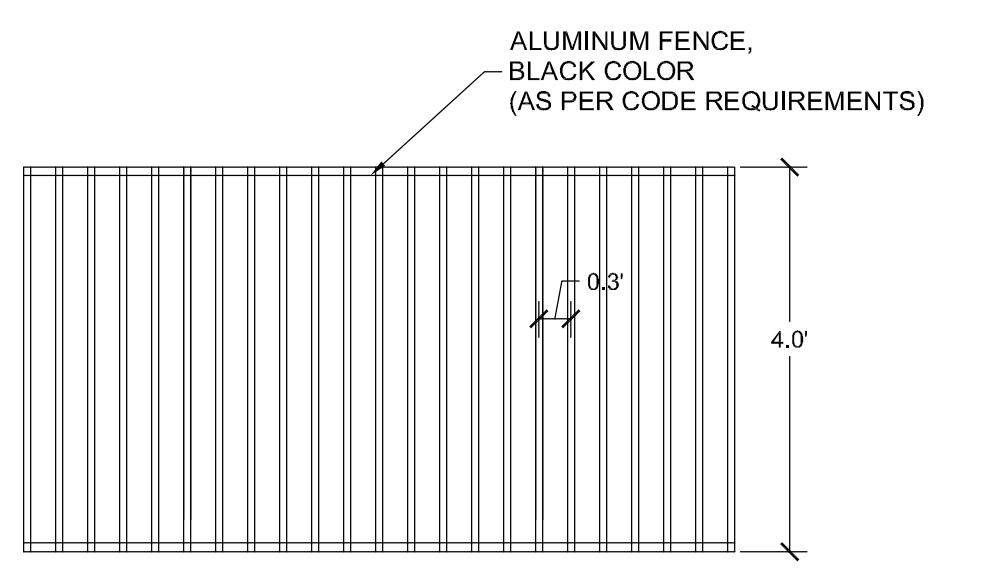
TYPICAL BANDING
SCALE 1" = 2'



DOGIPOT PET STATION
Not to Scale



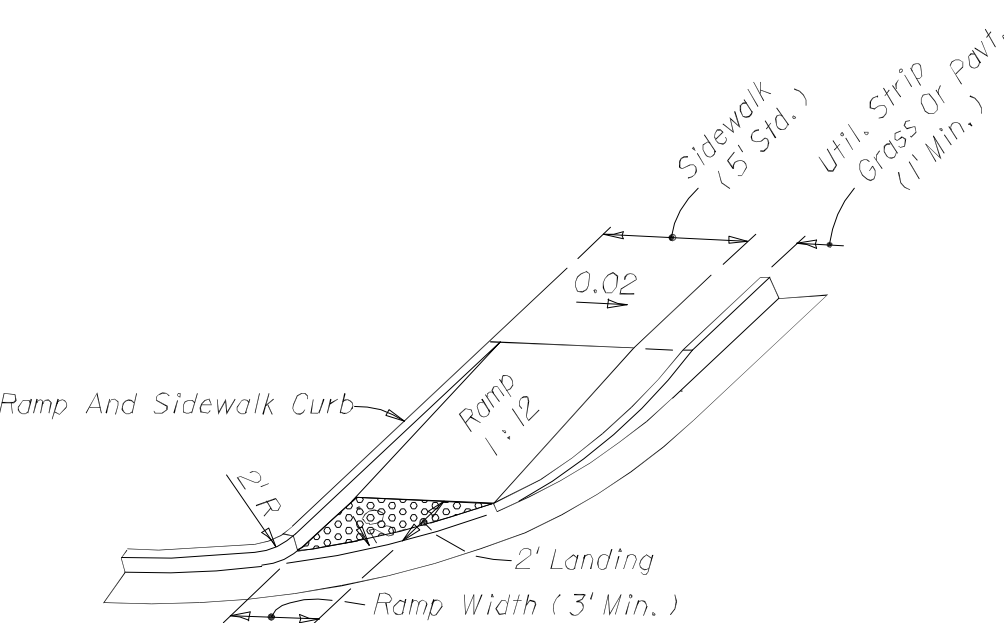
DECORATIVE ALUMINUM FENCE ALONG THE LAKE BULKHEAD
Not to Scale



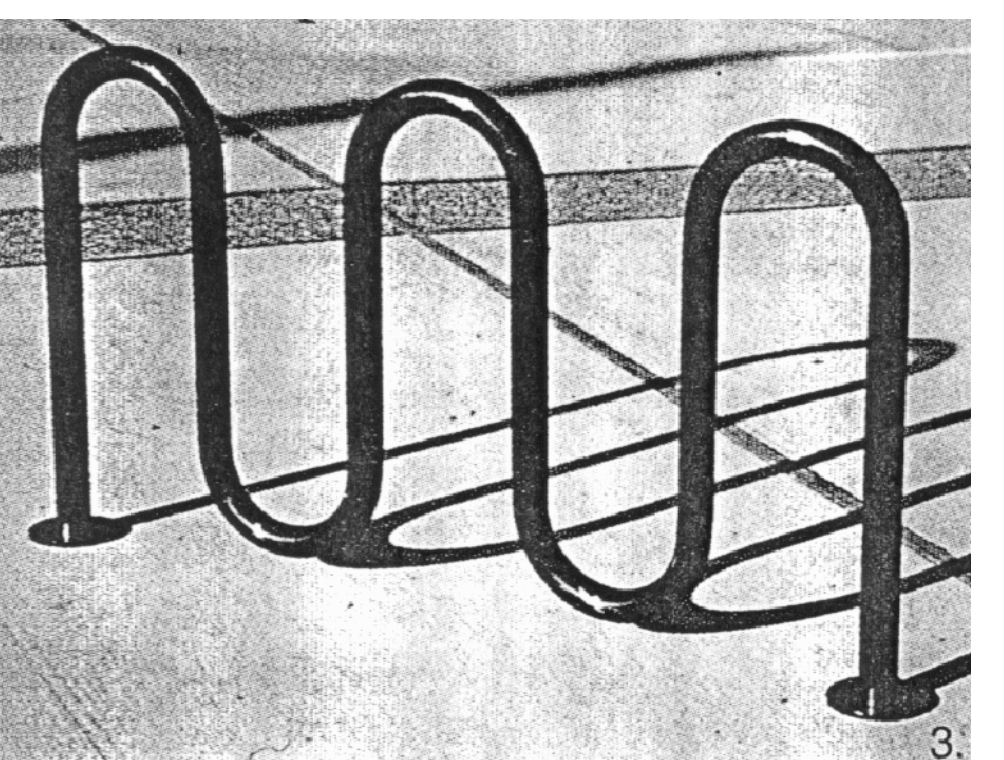
TYPICAL ALUMINUM POOL FENCE
NOT TO SCALE



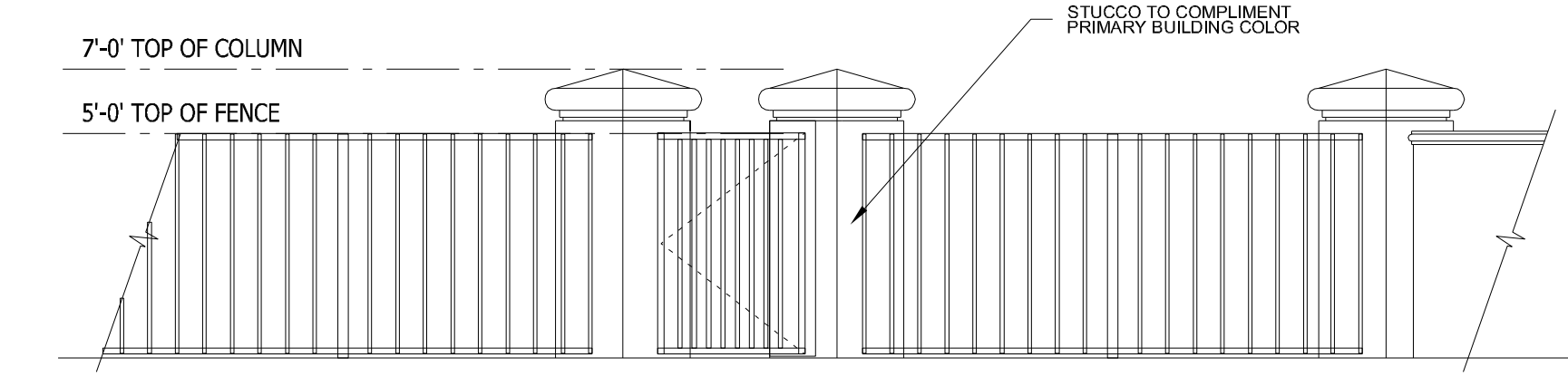
TRASH RECEPTACLE
NOT TO SCALE



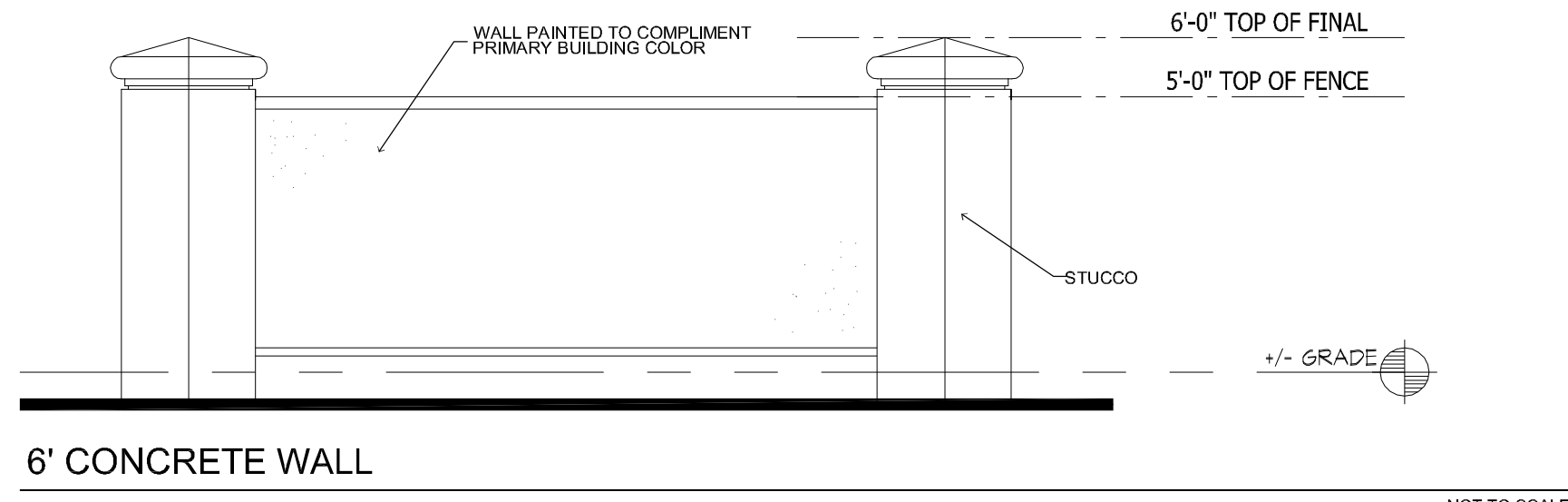
HANDICAP RAMP TYPICAL
NOT TO SCALE



BIKE RACK
Not to Scale



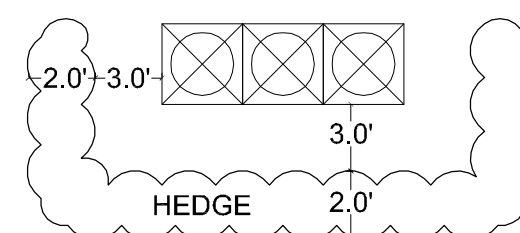
DECORATIVE ALUMINUM FENCE AT ENTRY
NOT TO SCALE



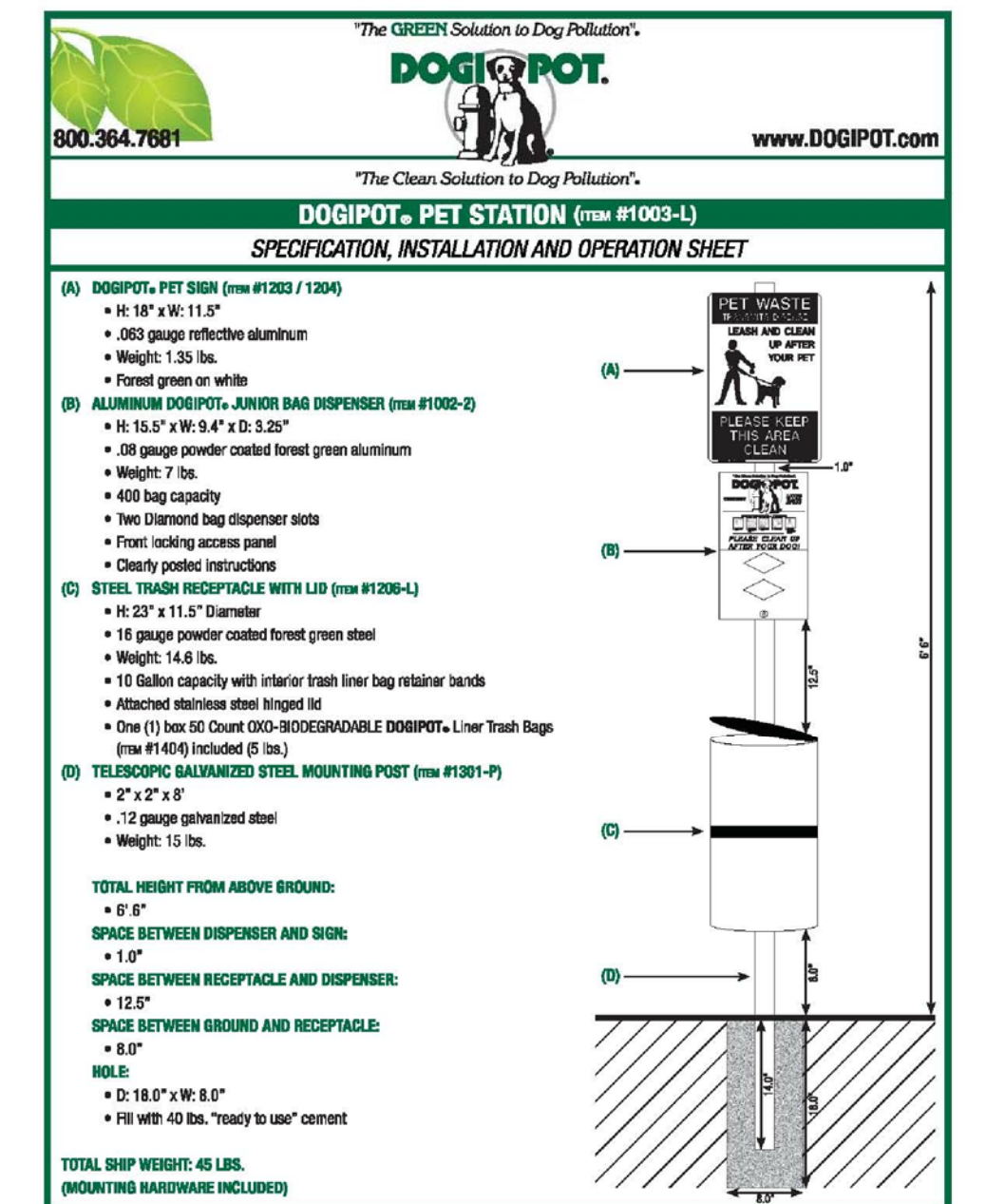
6' CONCRETE WALL
NOT TO SCALE



PET DRINKING STATION
NOT TO SCALE



AC UNIT SEPARATION
NOT TO SCALE

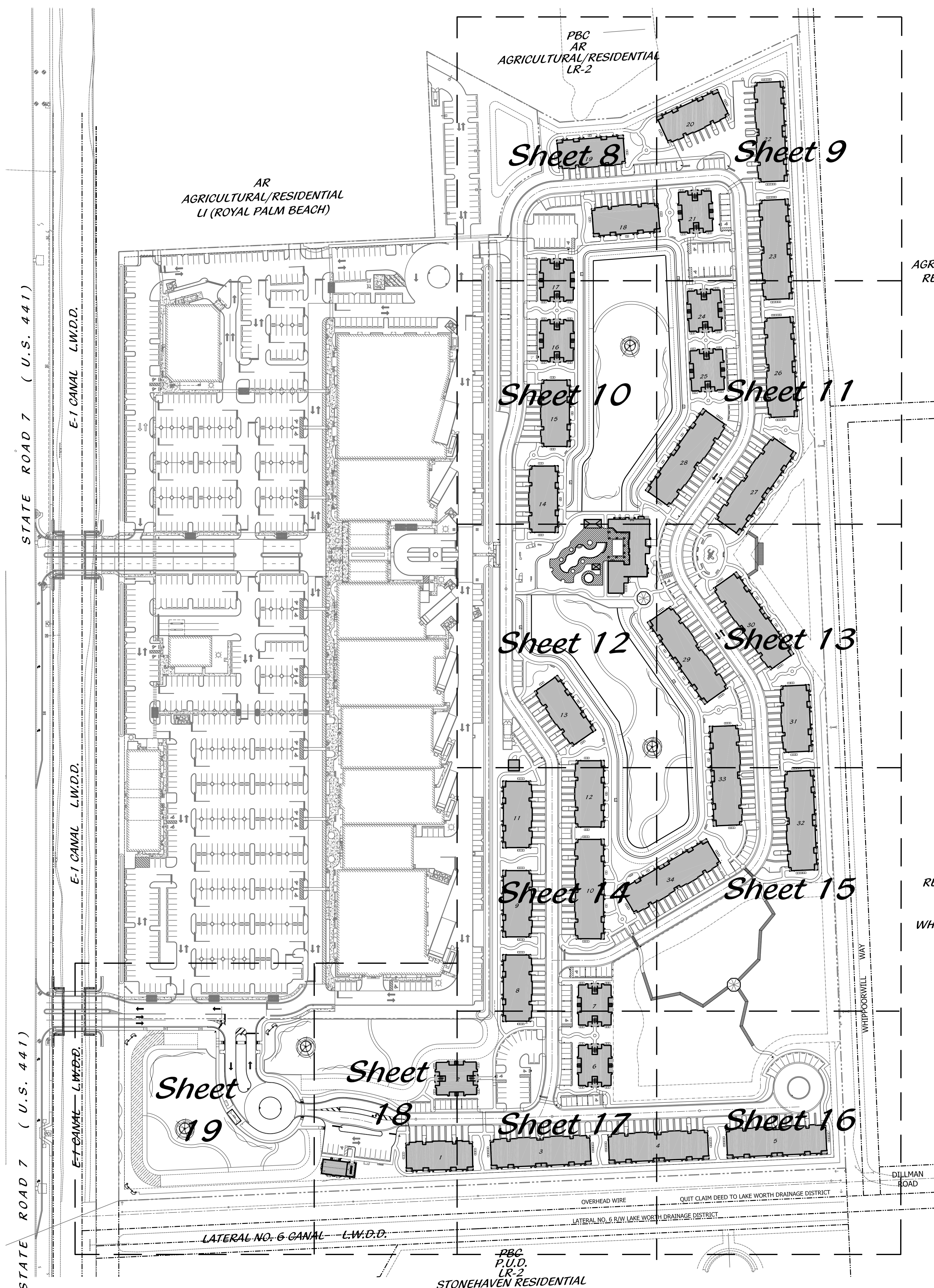


DOGIPOT PET STTION DETAIL AND SPECIFICATIONS
NOT TO SCALE

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By Planning and Zoning at 6:00 pm, Dec 16, 2013

SITE DETAILS NOTE:
THE PROPOSED EQUIPMENT AND FURNITURE SHALL BE THAT DEPICTED ON THIS SHEET OR AN APPROVED EQUAL AS DETERMINED BY THE VILLAGE.

Site Details



Project Team

PROPERTY OWNER

WELLINGTON ISLES, LLC
601 BAYSHORE BLVD., SUITE 650
JUPITER, FLORIDA 33458
PHONE: 561-251-1221
FAX: 561-251-4720
CONTACT: RICK LOCOCO

PLANNER

COTLEUR & HEARING
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JUPITER, FLORIDA 33458
PHONE: 561-747-6336
FAX: 561-747-1377
CONTACT: DON HEARING

ARCHITECT

MARC WEINER ARCHITECTS
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BOCA RATON, FLORIDA 33432
PHONE: 561-750-4111
FAX: 561-750-5208
CONTACT: MARC WEINER

LANDSCAPE ARCHITECT

COTLEUR & HEARING
1934 COMMERCE LANE, SUITE 1
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PHONE: 561-747-6336
FAX: 561-747-1377
CONTACT: DON HEARING

CIVIL ENGINEER

SIMMONS & WHITE
901 CORPORATE WAY, SUITE 200
WEST PALM BEACH, FLORIDA 33407
PHONE: 561-476-7948
FAX: 561-476-3728
CONTACT: GREG BOLEN

SURVEYOR

WALLACE SURVEYING
901 NORTHPOINT PARKWAY SUITE 117
WEST PALM BEACH, FLORIDA 33407
PHONE: 561-640-4551
FAX: 561-640-9773
CONTACT: CRAIG WALLACE

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TWENTY-FOUR (24") INCH RIDGED ROOT BARRIER SHALL BE PROVIDED FOR ALL SHADE TREES PLANTED WITHIN SIX (6) FEET OF CURBS OR SIDEWALKS. ROOT BARRIER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURES RECOMMENDATIONS.

ROOT BARRIER, IN ACCORDANCE WITH THE LOCAL UTILITY AUTHORITY CRITERIA, SHALL BE PROVIDED FOR TREES AND PALMS ADJACENT TO UNDERGROUND UTILITIES.

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THE PHOTOMETRIC PLAN WILL REFLECT INITIAL LIGHTING VALUES IN ACCORDANCE WITH THE REQUIREMENTS OF THE VILLAGE OF WELLINGTON

ALL TREES PLANTED UNDER OR ADJACENT TO FPLR POWER LINES WILL COMPLY WITH THE FPLR RIGHT TREE PLACE GUIDELINES

ALL PARKING LOT STRIPING, EXCEPT FOR PARKING SPACES, SHALL BE CONSTRUCTED USING THERMOPLASTIC MATERIAL AND ALL STRIPING WITHIN PAVEMENT AREAS SHALL BE PAVEMENT BRICKS OF APPROPRIATE COLOR IN ACCORDANCE WITH LDR

ALL PARKING AND STREET LIGHTS AND PEDESTRIAN LIGHTS SHALL BE METAL HALIDE OR EQUAL.

PROJECT ID SIGNS SHALL BE ILLUMINATED WITH GROUND MOUNTED FIXTURES ON PHOTOCELLS OR TIMERS.

ALL HANDICAP ACCESSIBLE RAMPS SHALL MEET ALL APPLICABLE LOCAL, REGIONAL, STATE, AND FEDERAL ACCESSIBILITY GUIDELINES AND REGULATIONS. ANY MODIFICATIONS SHALL BE APPROVED BY THE ENGINEER-OF-RECORD.

TREES PLANTED A MINIMUM OF 15 FEET FROM LIGHT POLE UNLESS POLES ARE BELOW THE TREE CANOPY.

A 4' SETBACK IS REQUIRED FOR TREES AND LIGHT POLES. IF PROPOSING CURBS AND GUTTER, A 6 FEET SETBACK IS REQUIRED FOR VALLEY CURB.

ALL WATER METERS ARE CLEAR OF PLANTS. AT LEAST 5 FEET AROUND THE METER.

Legal Description

THE SOUTH ONE-HALF (S 1/2) OF TRACT 32 AND ALL OF TRACTS 33 AND 34, 43 THROUGH 48, BLOCK 10, THE PALM BEACH FARMS CO., PLAT NO. 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 45 THROUGH 54, PALM BEACH COUNTY, FLORIDA, PUBLIC RECORDS

TOGETHER WITH: THAT PORTION OF THE PLATTED 30-FOOT RIGHT-OF-WAY LYING BETWEEN THE SOUTH BOUNDARY LINE OF THE SOUTH ONE-HALF (S 1/2) OF LOTS 32 AND THE SOUTH BOUNDARY LINE OF LOTS 33 AND 34 AND THE NORTH BOUNDARY LINE OF LOTS 43, 44, 45, BLOCK 10, THE PALM BEACH FARMS CO., PLAT NO. 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 45 THROUGH 54, PALM BEACH COUNTY, FLORIDA, PUBLIC RECORDS.

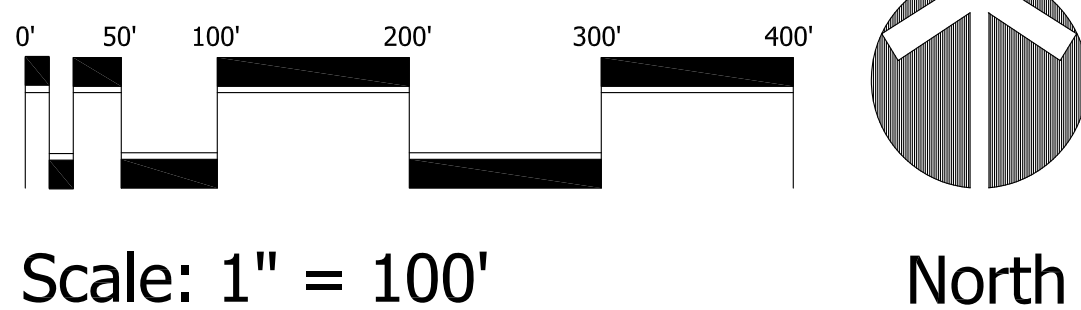
AND LESS THE FOLLOWING DESCRIBED PARCEL: (PER OFFICIAL RECORDS BOOK 1920, PAGE 319) BEGINNING AT THE NORTHEAST ONE-QUARTER (NE 1/4) CORNER OF TRACT 34, THENCE SOUTH 69 DEGREES 35 MINUTES 55 SECONDS WEST, A DISTANCE OF 347.72 FEET, THENCE SOUTH 87 DEGREES 16 MINUTES 25 SECONDS WEST, A DISTANCE OF 108.70 FEET, THENCE NORTH 60 DEGREES 18 MINUTES 35 SECONDS WEST, A DISTANCE OF 267.30 FEET TO THE NORTHWEST CORNER OF TRACT 33, THENCE NORTH 80 DEGREES 10 MINUTES 40 SECONDS EAST, A DISTANCE OF 659.88 FEET TO THE POINT OF BEGINNING.

CONTAINING: 2,333,466 SQUARE FEET OR 53.569 ACRES MORE OR LESS.

SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY OF RECORD.

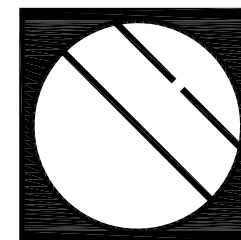
NOTES: BEARINGS SHOWN HEREON ARE RELATIVE TO AN ASSUMED BEARING OF NORTH 01 DEGREES 37 MINUTES 06 SECONDS EAST ALONG THE WEST LINE OF SECTION 7, TOWNSHIP 44 SOUTH, RANGE 42 EAST, (07/44/42)

Overall Landscape Plan



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& Hearing

Landscape Architecture
Planning
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Graphic Design

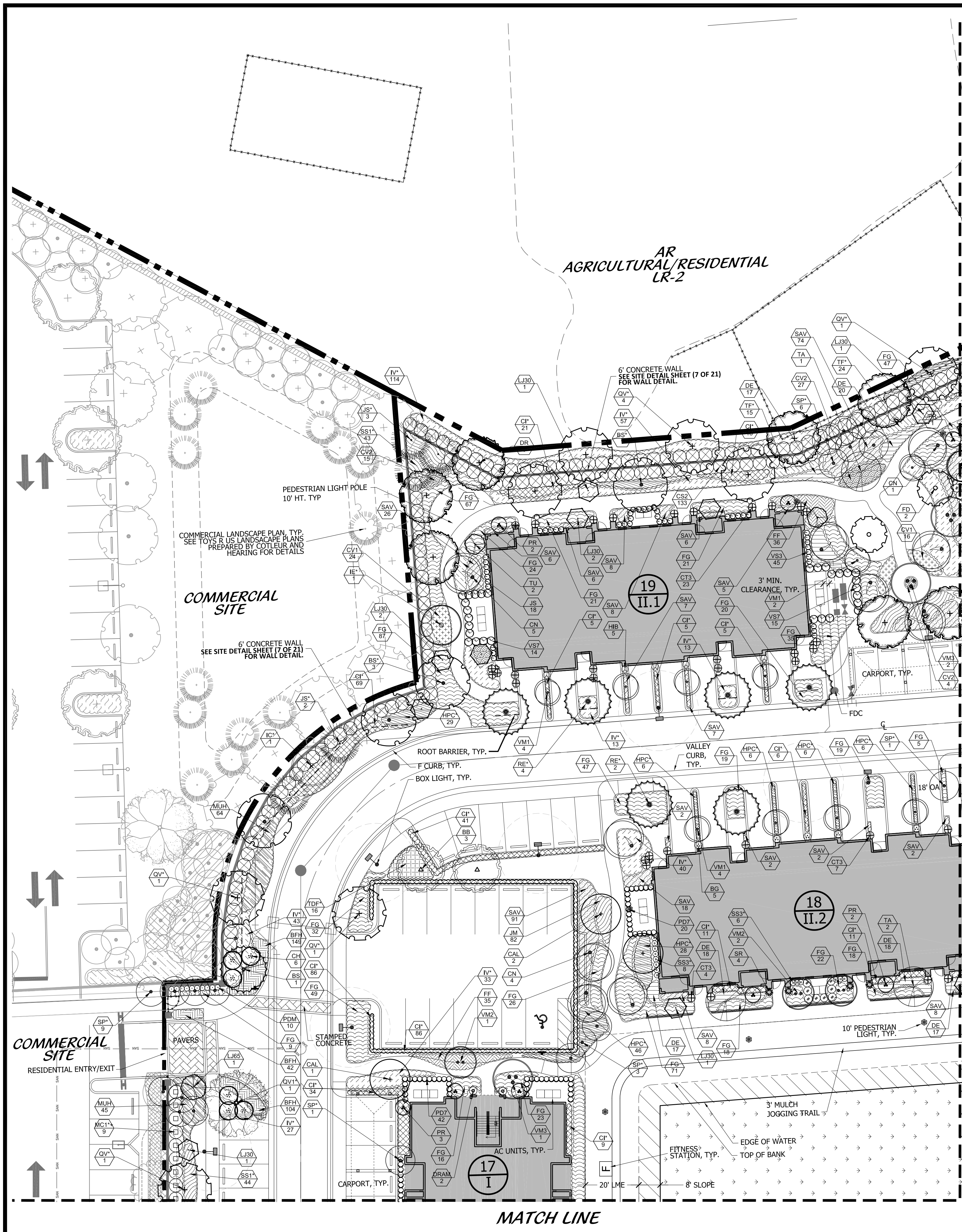
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Suite 1
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561-747-6336 Fax-747-1377

Isla Verde Residential
Wellington Isles, LLC
Village of Wellington, Florida

DESIGNED DEH
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JOB NUMBER 04-1216.03
DATE 10-17-13
REVISIONS 12-16-13

SHEET 7 OF 21

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LANDSCAPE AND ROOT BARRIER NOTE:
TREES SHOWN ON THIS PLAN ARE FOR GRAPHIC REPRESENTATION ONLY. TREE SPACING IS BASES ON DESIGN REQUIREMENTS AND THE TREES SHOWN ON THESE PLANS ATTEMPT TO ACCOMPLISH THAT SPACING WHILE MAINTAINING THE REQUIRED SETBACKS FROM UTILITIES. TREES MAY BE FIELD ADJUSTED TO AVOID CONFLICTS WITH DRIVEWAYS AND UNDERGROUND UTILITIES. IN ANY CASE THE TREES SHALL BE LOCATED IN THE FIELD IN ACCORDANCE WITH THE PLANTING DETAILS SHOW HEREON.

ADDITIONALLY, TREES ARE TO BE INSTALLED WITH A TEN FOOT (10') SEPARATION FROM ANY WATER OR SEWER MAIN AND /OR SERVICE, HYDRANTS, AND LIFT STATIONS. IF A TEN FOOT (10') SEPARATION CANNOT BE ACHIEVED, THE TREE CAN BE INSTALLED WITH A ROOT BARRIER SYSTEM. REFER TO THE "ROOT BARRIER" DETAIL FOR INSTALLATION REQUIREMENTS. HOWEVER, IN NO CASE SHALL A TREE ENCR OACH INTO A PBCUE WITHOUT PRIOR PBCWUD APPROVAL AND ONLY SOD CAN BE INSTALLED WITHIN 7.5' OF A FIRE HYDRANT UNLESS OTHERWISE APPROVED BY THE FIRE MARSHAL.

LANDSCAPE DATA

SECTION: 06, TOWNSHIP: 44, RANGE: 42	
PCN NUMBERS	72-42-44-06-08-001-0000
EXISTING LAND USE DESIGNATION	MIXED USE
EXISTING ZONING DESIGNATION	MIXED USE TYPE 1
FLOOD ZONE	B
TOTAL SITE AREA	30.66 ACRES
TYPE OF OWNERSHIP	PRIVATE
LOT FRONTAGE	1,270'
LOT WIDTH (100' MIN.)	1,270'
LOT DEPTH (200' MIN.)	690'
TOTAL SITE AREA	
INTERIOR PERVIOUS (OPEN SPACE) LANDSCAPE AREA	
SUBTOTAL	751,419.00 17.25 56.27%
LAND USE ALLOCATION	
BUILDING LOT COVERAGE	242,314.00 5.56 18.15%
VEHICULAR USE AREA	263,493.00 6.05 19.73%
OPENS SPACE, BUFERS & PLAZAS	386,095.00 8.88 28.91%
LAWS (INCLUDING LMS) & TRACT L3	288,569.00 6.82 22.37%
PRESERVE	154,879.00 3.56 6.64%
SUBTOTAL	1,335,339.00 30.66 85.80%
TOTAL	692,567.75 15.90 100.00%
PERCENT PERVIOUS	
REQUIRED	20.00%
PROVIDED	55.52%
OVERALL TREES AND SHRUBS	
(EXCLUSIVE OF BUFFER AND VEHICULAR AREA REQ'S)	
1 TREE EACH 1,500 SQ. FT. OF LOT AREA	890 >890
3 SHRUBS EACH 1,500 SQ. FT. OF LOT AREA	1,802 >1802
NUMBER OF TREE SPECIES	
REQUIRED	7
PROVIDED	>7
PERCENTAGE FLOWERING TREES	
AT LEAST 10% OF REQUIRED TREES	REQUIRED PROVIDED
10.00% 10.00%	
PERCENTAGE PALM SPECIES	
NOT LESS THAN 20% OF REQUIRED TREES	REQUIRED PROVIDED
20.00% 55.00%	
PERCENTAGE NATIVE AND DROUGHT TOLERANT TREES	
A MINIMUM OF 50% OF REQUIRED TREES	REQUIRED PROVIDED
50.00% 55.00%	
PERCENTAGE FLOWERING SHRUBS	
AT LEAST 10% OF REQUIRED SHRUBS	REQUIRED PROVIDED
10.00% 18.00%	
PERCENTAGE NATIVE & DROUGHT TOLERANT SHRUBS	
A MINIMUM OF 50% OF REQUIRED SHRUBS	REQUIRED PROVIDED
50.00% 57.00%	
NUMBER OF SHRUB SPECIES	
REQUIRED PROVIDED	
6 >12	

LEGEND

- ROW RIGHT OF WAY
 - DE DRAINAGE EASEMENT
 - UE UTILITY EASEMENT
 - TOB TOP OF BANK
 - EOW EDGE OF WATER
 - TYP TYPICAL
 - R RADIUS
 - FH FIRE HYDRANT
 - DDCV DOUBLE DETECTOR CHECK VALVE
 - FDC FIRE DEPARTMENT CONNECTION
 - LME LAKE MAINTENANCE EASEMENT
 - SW SIDEWALK
 - WM WATER MAIN
 - FM FORCE MAIN
 - EXIST EXISTING
 - HC HANDICAP
- 30 BUILDING NUMBER
 - II.1 BUILDING TYPE
 - AC AC UNITS
 - STOP BAR & SIGN
 - BIKE RACK
 - BENCH AND TRASH CAN
 - PEDESTRIAN LIGHT POLE
 - LIGHT POLE

GENERAL NOTES

REFUSE SERVICE SHALL BE ACCOMPLISHED BY WAY OF INDIVIDUAL DUMPSTER AND RECYCLING.

RAMPS SHALL BE PROVIDED AT ALL PLAZA, SIDEWALK AND STREET INTERSECTIONS IN ACCORDANCE WITH ADA AND THE FLORIDA HANDICAP ACCESSIBILITY CODE.

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TWENTY-FOUR (24") INCH RIGID ROOT BARRIER SHALL BE PROVIDED FOR ALL SHADE TREES PLANTED WITHIN SIX (6) FEET OF CURBS OR SIDEWALKS. ROOT BARRIER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURES RECOMMENDATIONS.

ROOT BARRIER, IN ACCORDANCE WITH THE LOCAL UTILITY AUTHORITY CRITERIA, SHALL BE PROVIDED FOR TREES AND PALMS ADJACENT TO UNDERGROUND UTILITIES.

ALL SIDEWALKS SHALL BE A MINIMUM OF 5 FEET IN WIDTH PER THE LDR'S

ALL AREAS SHALL BE FULLY IRRIGATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE VILLAGE OF WELLINGTON.

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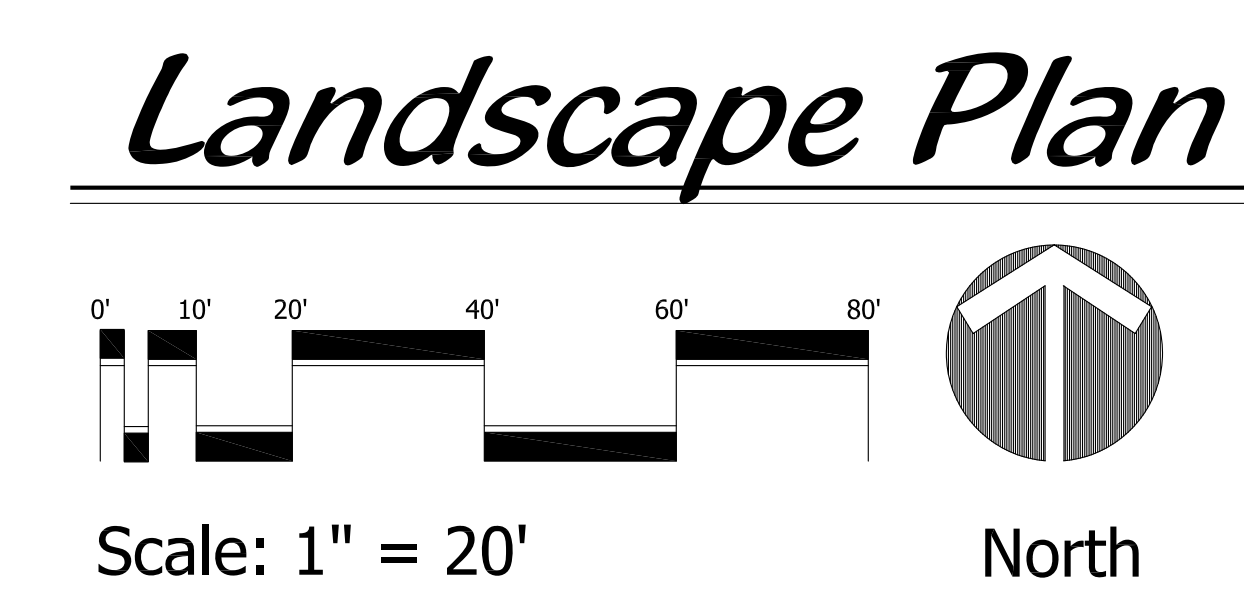
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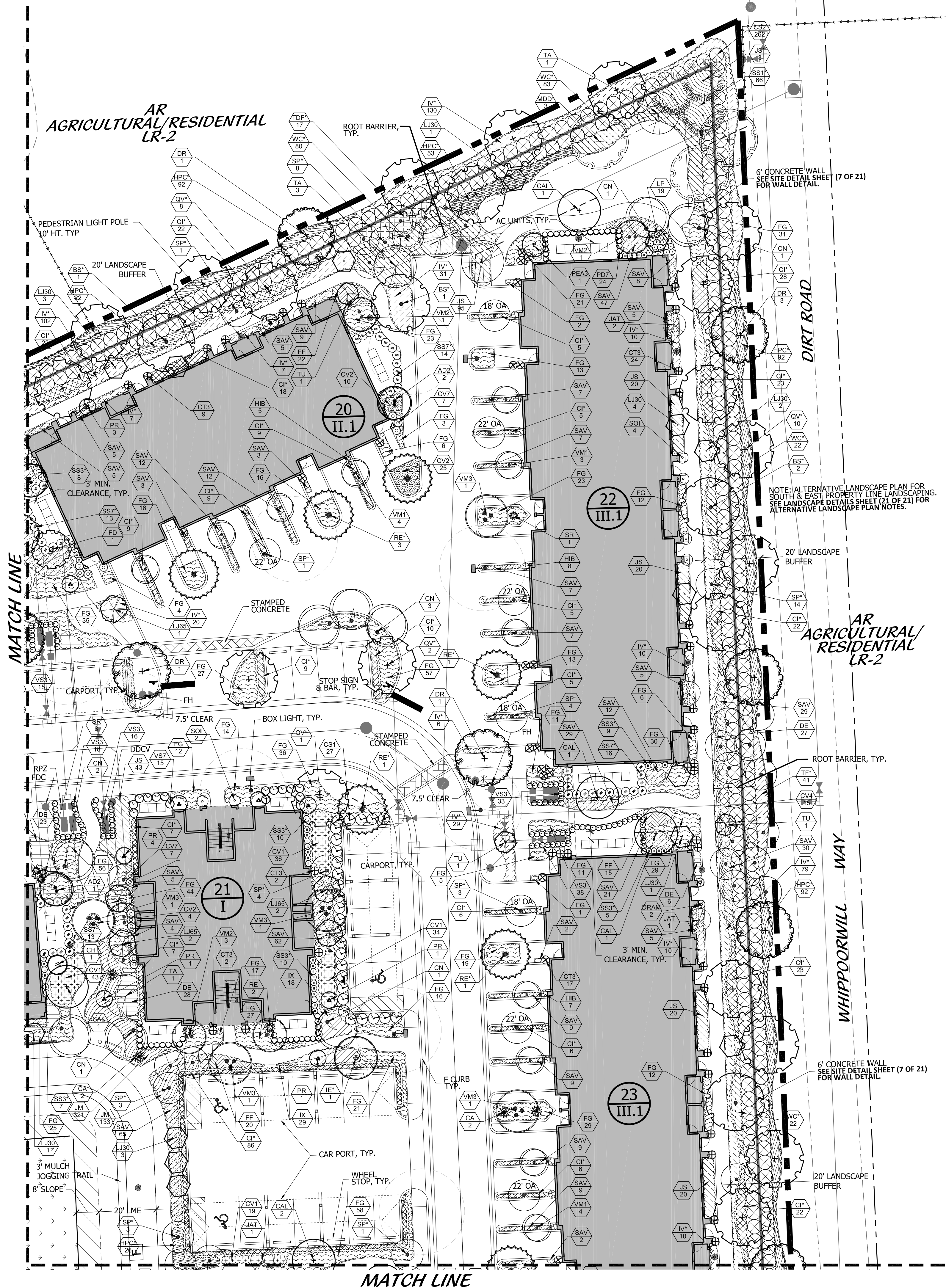
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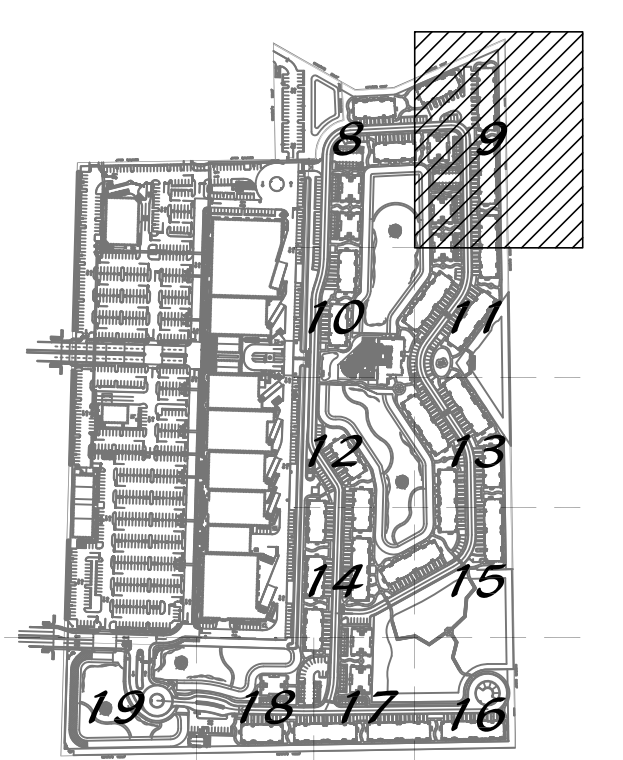
Isla Verde Residential
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Village of Wellington, Florida

DESIGNED	DEH
DRAWN	MCR
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REVISIONS	12-16-13



PALM BEACH COUNTY UTILITY GUIDELINES
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Key Map

LANDSCAPE DATA

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EXISTING ZONING DESIGNATION	MIXED USE TYPE 1	
FLOOD ZONE	B	
TOTAL SITE AREA	30.66 ACRES	
LOT FRONTAGE	1,270'	
LOT WIDTH (100' MIN.)	1,270'	
LOT DEPTH (200' MIN.)	660'	
TOTAL SITE AREA	30.66 ACRES	
INTERIOR PERVIOUS (OPEN SPACE) LANDSCAPE AREA	751,419.00	17.25 56.27%
SUBTOTAL	751,419.00	17.25 56.27%
LAND USE ALLOCATION		
BUILDING LOT COVERAGE	242,314.00	5.56 18.15%
VEHICULAR USE AREA	263,483.00	6.05 19.73%
OPENSAPCE, BUFFERS & PLAZAS	386,095.00	8.86 28.91%
LAKES (INCLUDING LME) & TRACT L3	286,588.00	6.82 22.37%
PRESERVE	154,870.00	3.96 12.89%
SUBTOTAL	1,335,339.00	30.66 85.80%
TOTAL	692,567.75	15.90 100.00%
PERCENT PERVIOUS	REQUIRED	PROVIDED
	20.00%	55.52%
OVERALL TREES AND SHRUBS (EXCLUSIVE OF BUFFER AND VEHICULAR AREA REQ. S)	REQUIRED	PROVIDED
1 TREE EACH 1,500 SQ. FT. OF LOT AREA	880	>880
3 SHRUBS EACH 1,500 SQ. FT. OF LOT AREA	1,632	>1602
NUMBER OF TREE SPECIES	REQUIRED	PROVIDED
	7	>7
PERCENTAGE FLOWERING TREES (AT LEAST 10% OF REQUIRED TREES)	REQUIRED	PROVIDED
	10.00%	10.00%
PERCENTAGE PALM SPECIES (NOT LESS THAN 20% OF REQUIRED TREES)	REQUIRED	PROVIDED
	20.00%	15.00%
PERCENTAGE NATIVE AND DROUGHT TOLERANT TREES (A MINIMUM OF 50% OF REQUIRED TREES)	REQUIRED	PROVIDED
	50.00%	55.00%
PERCENTAGE FLOWERING SHRUBS (AT LEAST 10% OF REQUIRED SHRUBS)	REQUIRED	PROVIDED
	10.00%	18.00%
PERCENTAGE NATIVE & DROUGHT TOLERANT SHRUBS (A MINIMUM OF 50% OF REQUIRED SHRUBS)	REQUIRED	PROVIDED
	50.00%	57.00%
NUMBER OF SHRUB SPECIES	REQUIRED	PROVIDED
	6	>12

LEGEND

- ROW DE UE TOP OF BANK EOW TYP R FH DDCV FDC LME SW WM FM EXIST HC
- RIGHT OF WAY DRAINAGE EASEMENT UTILITY EASEMENT TOP OF BANK EDGE OF WATER TYPICAL FIRE HYDRANT DOUBLE DETECTOR CHECK VALVE FIRE DEPARTMENT CONNECTION LAKE MAINTENANCE EASEMENT SIDEWALK WATER MAIN FORCE MAIN EXISTING HANDICAP
- 30 BUILDING NUMBER II.1 BUILDING TYPE
- AC UNITS
- STOP BAR & SIGN
- BIKE RACK
- BENCH AND TRASH CAN
- PEDESTRIAN LIGHT POLE
- LIGHT POLE

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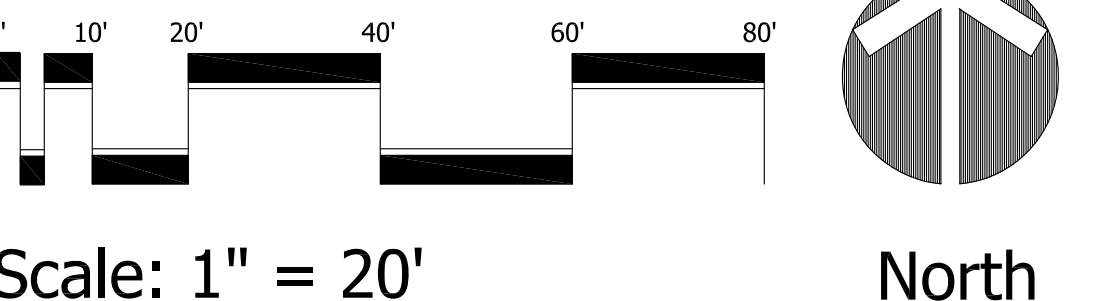
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Landscape Plan

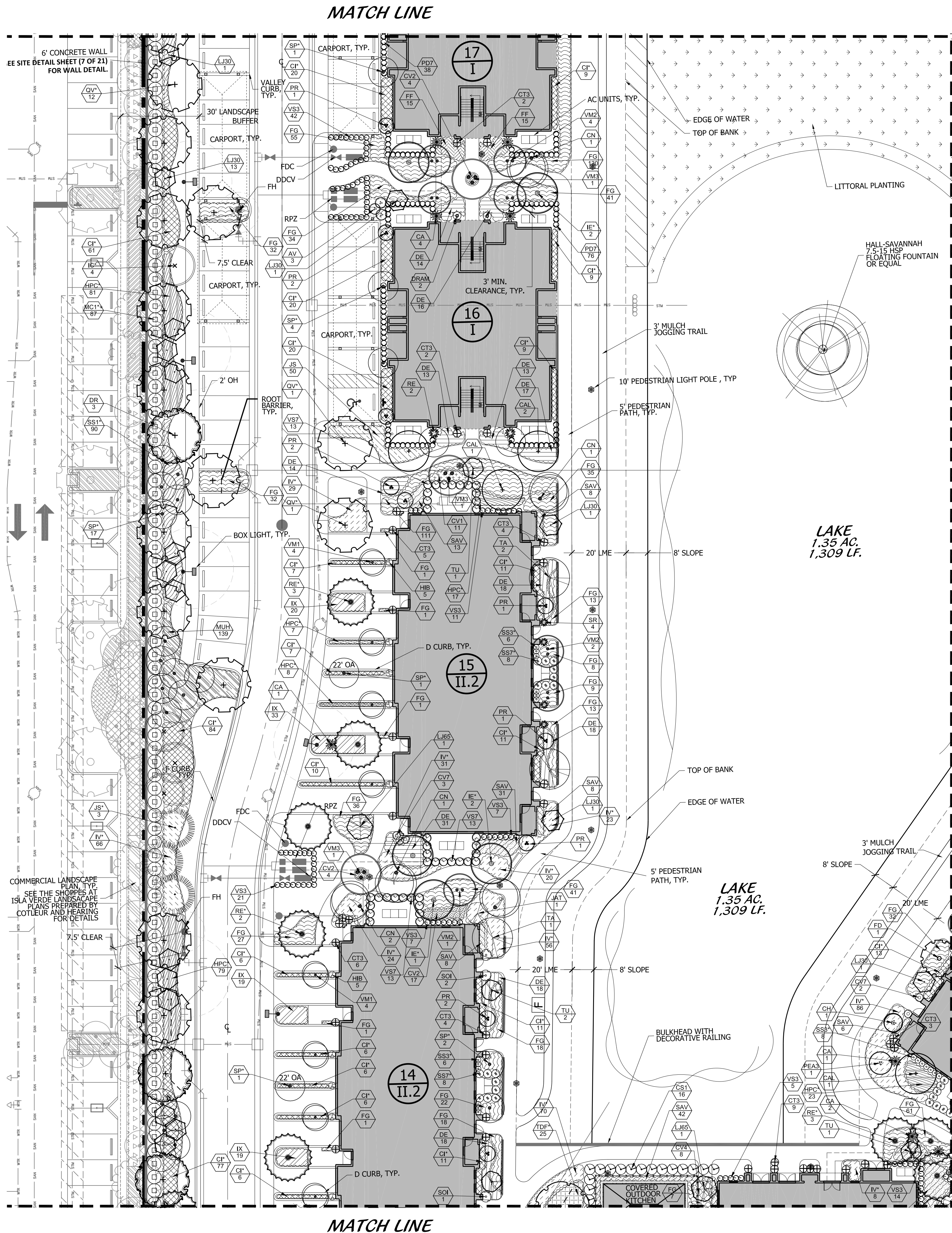


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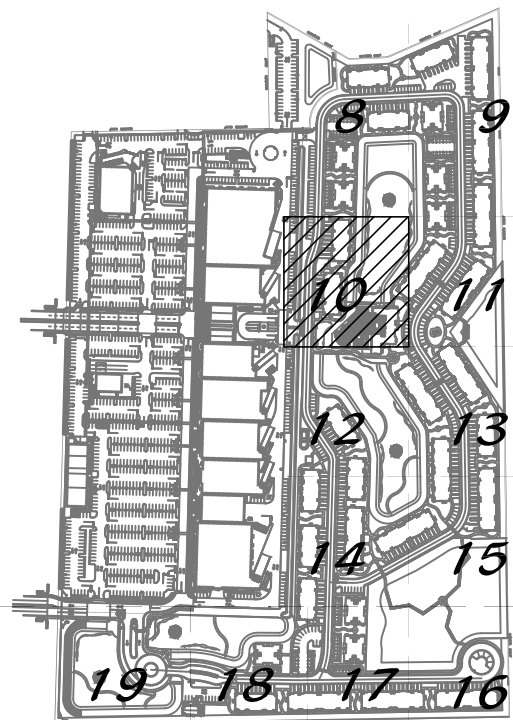
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LOT DEPTH (200' MIN.)	660'
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	751,419.00 17.25 56.27%
	SUBTOTAL 751,419.00 17.25 56.27%
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OVERALL TREES AND SHRUBS (EXCLUSIVE OF BUFFER AND VEHICULAR AREA REQ.'S)	REQUIRED	PROVIDED
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* ADDITIONAL SPECIES INCLUDED ON OVERALL SITE		
PERCENTAGE FLOWERING TREES (AT LEAST 10% OF REQUIRED TREES)	REQUIRED	PROVIDED
	10.00%	10.00%
* ADDITIONAL TREES INCLUDED ON OVERALL SITE		
PERCENTAGE PALM SPECIES (NOT LESS THAN 20% OF REQUIRED TREES)	REQUIRED	PROVIDED
	20.00%	55.00%
* ADDITIONAL PALMS INCLUDED ON OVERALL SITE		
PERCENTAGE NATIVE AND DROUGHT TOLERANT TREES (A MINIMUM OF 50% OF REQUIRED TREES)	REQUIRED	PROVIDED
	50.00%	55.00%
* ADDITIONAL NATIVE SPECIES INCLUDED ON OVERALL SITE		
PERCENTAGE FLOWERING SHRUBS (AT LEAST 10% OF REQUIRED SHRUBS)	REQUIRED	PROVIDED
	10.00%	18.00%
* ADDITIONAL FLOWERING SHRUBS INCLUDED ON OVERALL SITE		
PERCENTAGE NATIVE & DROUGHT TOLERANT SHRUBS (A MINIMUM OF 50% OF REQUIRED SHRUBS)	REQUIRED	PROVIDED
	50.00%	57.00%
* ADDITIONAL NATIVE SPECIES INCLUDED ON OVERALL SITE		
NUMBER OF SHRUB SPECIES	REQUIRED	PROVIDED
	6	>12
* ADDITIONAL SHRUB SPECIES INCLUDED ON OVERALL SITE		

LEGEND

ROW	RIGHT OF WAY	30	BUILDING NUMBER
DE	DRAINAGE EASEMENT	II.1	BUILDING TYPE
UE	UTILITY EASEMENT		
TOB	TOP OF BANK		
EDW	EDGE OF WATER		
TYP	TYPICAL		
R	RADIUS		
FH	FIRE HYDRANT		
DDCV	DOUBLE DETECTOR CHECK VALVE		
FDC	FIRE DEPARTMENT CONNECTION		
LME	LAKE MAINTENANCE EASEMENT		
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WM	WATER MAIN		
FM	FORCE MAIN		
EXIST	EXISTING		
HC	HANDICAP		

GENERAL NOTES

REFUSE SERVICE SHALL BE ACCOMPLISHED BY WAY OF INDIVIDUAL DUMPSTER AND RECYCLING.

RAMPS SHALL BE PROVIDED AT ALL PLAZA, SIDEWALK AND STREET INTERSECTIONS IN ACCORDANCE WITH ADA AND THE FLORIDA HANICAP ACCESSIBILITY CODE.

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ROOT BARRIER, IN ACCORDANCE WITH THE LOCAL UTILITY AUTHORITY CRITERIA, SHALL BE PROVIDED FOR TREES AND PALMS ADJACENT TO UNDERGROUND UTILITIES.

ALL SIDEWALKS SHALL BE A MINIMUM OF 5 FEET IN WIDTH PER THE LDR'S

ALL AREAS SHALL BE FULLY IRRIGATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE VILLAGE OF WELLINGTON.

ALL BUILDING LIGHTING AT ENTRY AND DOORS SHALL BE ON PHOTOCELL OR TIMER.

5' X 15' SAFE SIGHT TRIANGLE SHALL BE PROVIDED AT THE PROJECTS ENTRY ROADS. ALL PLANT MATERIAL WITHIN SAFE SIGHT TRIANGLE SHALL BE MAINTAINANCE BELOW 30" IN HEIGHT OR ABOVE 8'-0" IN HEIGHT AS MEASURE FROM FINISHED GRADE.

THE PHOTOMETRIC PLAN WILL REFLECT INITIAL LIGHTING VALUES IN ACCORDANCE WITH THE REQUIREMENTS OF THE VILLAGE OF WELLINGTON

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ALL PARKING AND STREET LIGHTS AND PEDESTRIAN LIGHTS SHALL BE METAL HALIDE OR EQUAL.

PROJECT ID SIGNS SHALL BE ILLUMINATED WITH GROUND MOUNTED FIXTURES ON PHOTOCELLS OR TIMERS.

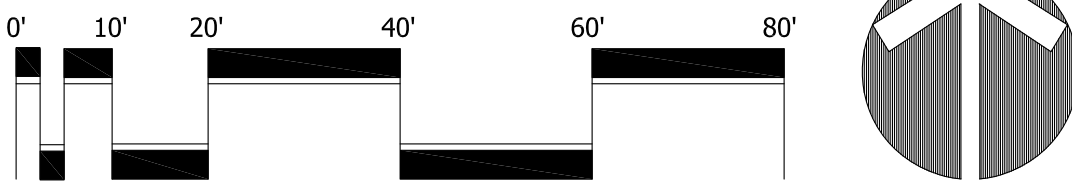
ALL HANICAP ACCESSIBLE RAMPS SHALL MEET ALL APPLICABLE LOCAL, REGIONAL, STATE, AND FEDERAL ACCESSIBILITY GUIDELINES AND REGULATIONS. ANY MODIFICATIONS SHALL BE APPROVED BY THE ENGINEER-OF-RECORD.

TREES PLANTED A MINIMUM OF 15 FEET FROM LIGHT POLE UNLESS POLES ARE BELOW THE TREE CANOPY.

A 4" SETBACK IS REQUIRED FOR TREES AND LIGHT POLES. IF PROPOSING CURB AND GUTTER, A 6 FEET SETBACK IS REQUIRED FOR VALLEY CURB.

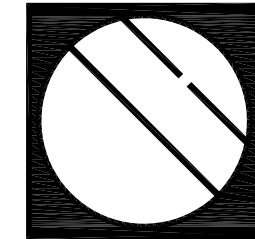
ALL WATER METERS ARE CLEAR OF PLANTS. AT LEAST 5 FEET AROUND THE METER.

Landscape Plan



Scale: 1" = 20'

North



Cotleur
Hearing

Landscape Architecture
Planning
Environmental Consulting
Graphic Design

1934 Commerce Lane
Suite 1
Jupiter, Florida 33458
561-747-6336 Fax-747-1377

Isla Verde Residential
Wellington Isles, LLC
Village of Wellington, Florida

DESIGNED	DEH
DRAWN	MCR
APPROVED	DEH
JOB NUMBER	04-1216.03
DATE	10-17-13
REVISIONS	12-16-13

October 21, 2013 4:21:45 p.m.
Drawing: 04-1216.03 LP SHEETS LAYOUT.DWG

SHEET 10 OF 21

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




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1934 Commerce Lane
Suite 1
Jupiter, Florida 33458
561-747-6336 Fax-747-1377



ROW	RIGHT OF WAY
DE	DRAINAGE EASE
UE	UTILITY EASE
TOB	TOP OF BANK
EOW	EDGE OF WATER
TYP	TYPICAL
R	RADIUS
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LME	LAKE MAINTENANCE
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FM	FORCE MAIN
EXIST	EXISTING
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	BUILDING NUMBER
	BUILDING TYPE
	AC UNITS
	STOP BAR & SIGN
	BIKE RACK
	BENCH AND TRASH
	PEDESTRIAN LIGHT
	LIGHT POLE

REMOVE SERVICE SIGNAL BE ACCOMPLISHED BY AN INDIVIDUAL DUMPSTER AND RECYCLING.

RAMPS SHALL BE PROVIDED AT ALL PLAZA, SIDEWALK AND STREET INTERSECTIONS. THE PLAZA AND STREET INTERSECTIONS SHALL HAVE ACCESSIBILITY CODE.

ALL SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF THE VILLAGE OF WELLINGTON AND MASTER SIGN PLAN.

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TWENTY-FOUR (24") INCH RIGGED ROOF BARNER SHALL BE PROVIDED FOR ALL SHADE TREES PLANTED WITHIN SIX (6') FEET OF CURBS OR SIDEWALKS. ROOF BARNER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.

ROOF BARNER, IN ACCORDANCE WITH THE LOCAL UTILITY AUTHORITY CRITERIA, SHALL BE PROVIDED FOR TREES AND PLANTS ADJACENT TO UNDERGROUND UTILITIES.

ALL SIDEWALKS SHALL BE A MINIMUM OF 5 FEET IN WIDTH PER THE LDR'S

ALL AREAS SHALL BE FULLY IRRIGATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE VILLAGE OF WELLINGTON.

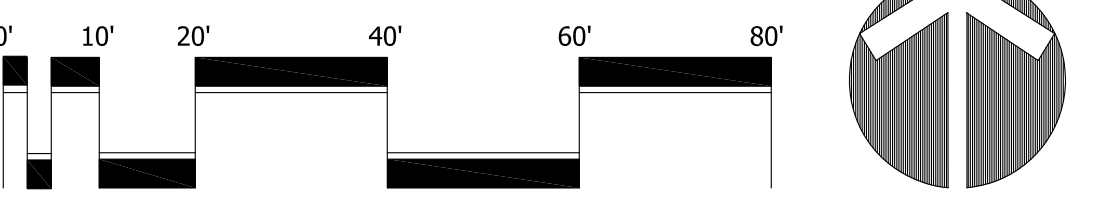
ALL BUILDING LIGHTING AT ENTRY AND DOORS SHALL BE ON PHOTOCELL OR TIMER.

5' X 5' SHADE SIGHT TRIANGLE SHALL BE PROVIDED AT THE PROJECTS ENTRY ROADS. ALL PLANT MATERIAL WITHIN SHADE SIGHT TRIANGLE SHALL BE MAINTAINED BELOW 30" IN HEIGHT OR ABOVE 6'-0" IN HEIGHT AS MEASURE FROM FINISHED GRADE.

TREES SHOWN ON THIS PLAN ARE FOR GRAPHIC REPRESENTATION ONLY. TREE SPACING IS BASED ON DESIGN REQUIREMENTS AND THE TREES SHOWN ON THESE PLANS ATTEMPT TO ACCOMPLISH THAT DESIGN WHILE MAINTAINING THE REQUIRED SETBACKS FROM UTILITIES. TREES MAY BE FIELD ADJUSTED TO AVOID CONFLICTS WITH DRIVEWAYS AND UNDERGROUND UTILITIES. IN ANY CASE THE TREES SHALL BE LOCATED IN THE FIELD IN ACCORDANCE WITH THE PLANTING DETAILS SHOW HEREON.

ADDITIONALLY, TREES ARE TO BE INSTALLED WITH A TEN FOOT (10') SEPARATION FROM ANY WATER OR SEWER MAIN AND /OR SERVICE, HYDRANTS, AND LIFT STATIONS. IF A TEN FOOT (10') SEPARATION CANNOT BE ACHIEVED, THE TREE CAN BE INSTALLED WITH A ROOT BARRIER SYSTEM. REFER TO THE "ROOT BARRIER" DETAIL FOR INSTALLATION REQUIREMENTS. HOWEVER, IN NO CASE SHALL A TREE ENCRoACH INTO A PBCE WITHOUT PRIOR PBCWUD APPROVAL AND ONLY SOD CAN BE INSTALLED WITHIN 7.5' OF A FIRE HYDRANT UNLESS OTHERWISE APPROVED BY THE FIRE MARSHAL.

Landscape Plan



Scale: 1" = 20'

North

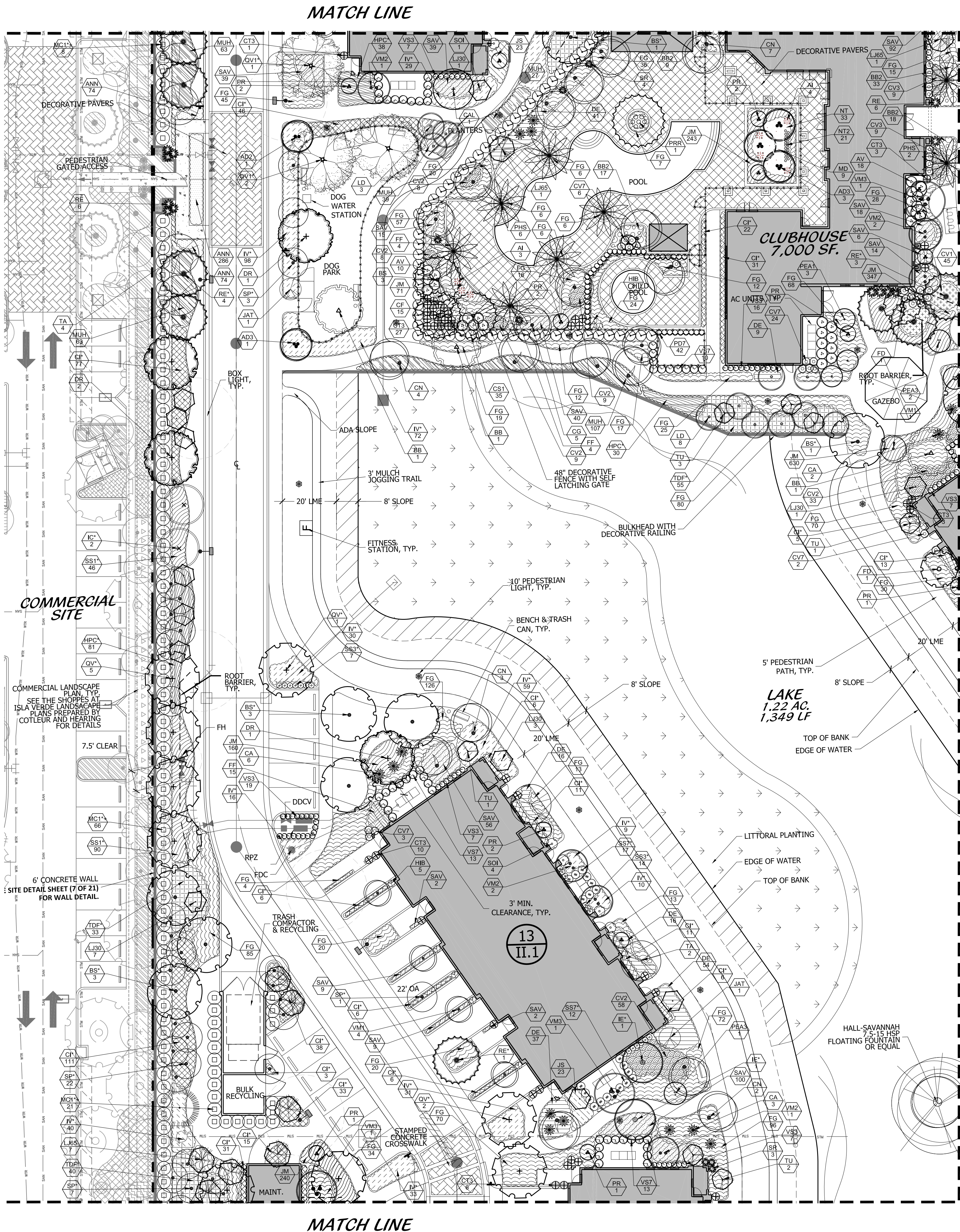
Isla Verde Residential
Wellington Isles, LLC
Village of Wellington, Florida

DESIGNED _____ *DEH*
DRAWN _____ *MCR*
APPROVED _____ *DEH*
JOB NUMBER _____ *04-1216.03*
DATE _____ *10-17-13*
REVISIONS _____ *12-16-13*

October 21, 2013 4:21:45 p.m.
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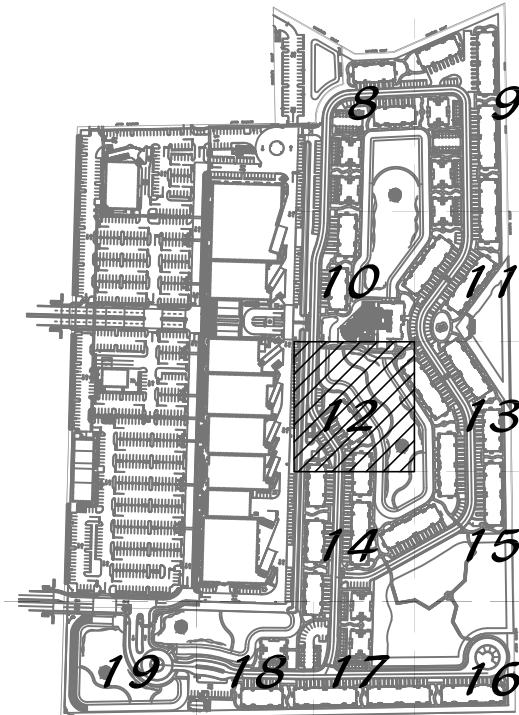
SHEET **11** OF **21**

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PALM BEACH COUNTY UTILITY GUIDELINES
LANDSCAPE AND ROOT BARRIER NOTE:
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Key Map

LANDSCAPE DATA

SECTION: 06, TOWNSHIP: 44, RANGE: 42	
PCN NUMBERS	72-42-44-06-001-0000
EXISTING LAND USE DESIGNATION	MIXED USE
EXISTING ZONING DESIGNATION	MIXED USE TYPE 1
FLOOD ZONE	B
TOTAL SITE AREA	30.66 ACRES
TYPE OF OWNERSHIP	PRIVATE
LOT FRONTAGE	1,270'
LOT WIDTH (100' MIN.)	1,270'
LOT DEPTH (200' MIN.)	660'
TOTAL SITE AREA	
INTERIOR PERVIOUS (OPEN SPACE) LANDSCAPE AREA	SQUARE FT. ACRES PERCENT
	751,419.00 17.25 56.27%
	SUBTOTAL 751,419.00 17.25 56.27%
LAND USE ALLOCATION	
BUILDING LOT COVERAGE	242,314.00 5.56 18.15%
VEHICULAR USE AREA	263,483.00 6.05 19.73%
OPENSPACE, BUFFERS & PLAZAS	386,095.00 8.88 28.91%
LAKES (INCLUDING LME) & TRACT L3	298,666.00 6.82 22.37%
PRESERVE	154,879.00 3.56 6.64%
	SUBTOTAL 1,335,339.00 30.66 85.80%
	TOTAL 692,567.75 15.90 100.00%
PERCENT PERVIOUS	REQUIRED PROVIDED
	20.00% 55.52%
OVERALL TREES AND SHRUBS	REQUIRED PROVIDED
(EXCLUSIVE OF BUFFER AND VEHICULAR AREA REQ. S)	
1 TREE EACH 1,500 SQ. FT. OF LOT AREA	890 >890
3 SHRUBS EACH 1,500 SQ. FT. OF LOT AREA	1,602 >1602
NUMBER OF TREE SPECIES	REQUIRED PROVIDED
	7 >7
ADDITIONAL SPECIES INCLUDED ON OVERALL SITE	
PERCENTAGE FLOWERING TREES	REQUIRED PROVIDED
AT LEAST 10% OF REQUIRED TREES	10.00% 10.00%
ADDITIONAL TREES INCLUDED ON OVERALL SITE	
PERCENTAGE PALM SPECIES	REQUIRED PROVIDED
NOT LESS THAN 20% OF REQUIRED TREES	20.00% 55.00%
ADDITIONAL PALMS INCLUDED ON OVERALL SITE	
PERCENTAGE NATIVE AND DROUGHT TOLERANT TREES	REQUIRED PROVIDED
A MINIMUM OF 50% OF REQUIRED TREES	50.00% 55.00%
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ADDITIONAL NATIVE SPECIES INCLUDED ON OVERALL SITE	
NUMBER OF SHRUB SPECIES	REQUIRED PROVIDED
	6 >12
ADDITIONAL SHRUB SPECIES INCLUDED ON OVERALL SITE	

LEGEND

- ROW RIGHT OF WAY
- DE DRAINAGE EASEMENT
- UE UTILITY EASEMENT
- TOT TOP OF BANK
- EOW EDGE OF WATER
- TYP TYPICAL
- R RADIUS
- FH FIRE HYDRANT
- DDCV DOUBLE DETECTOR CHECK VALVE
- LME FIRE DEPARTMENT CONNECTION
- SW LAKE MAINTENANCE EASEMENT
- WM SIDEWALK
- FM FORCE MAIN
- EXIST EXISTING
- HC HANDICAP
- BUILDING NUMBER
- BUILDING TYPE
- AC UNITS
- STOP BAR & SIGN
- BIKE RACK
- BENCH AND TRASH CAN
- PEDESTRIAN LIGHT POLE
- LIGHT POLE

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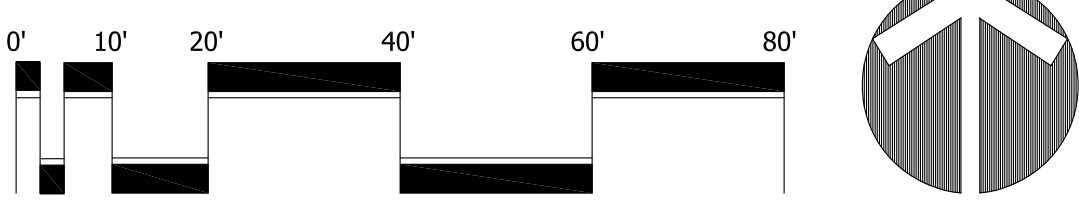
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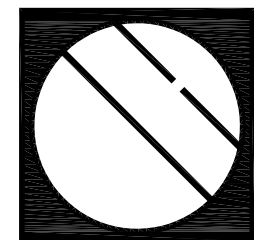
ALL WATER METERS ARE CLEAR OF PLANTS. AT LEAST 5 FEET AROUND THE METER.

Landscape Plan



Scale: 1" = 20'

North



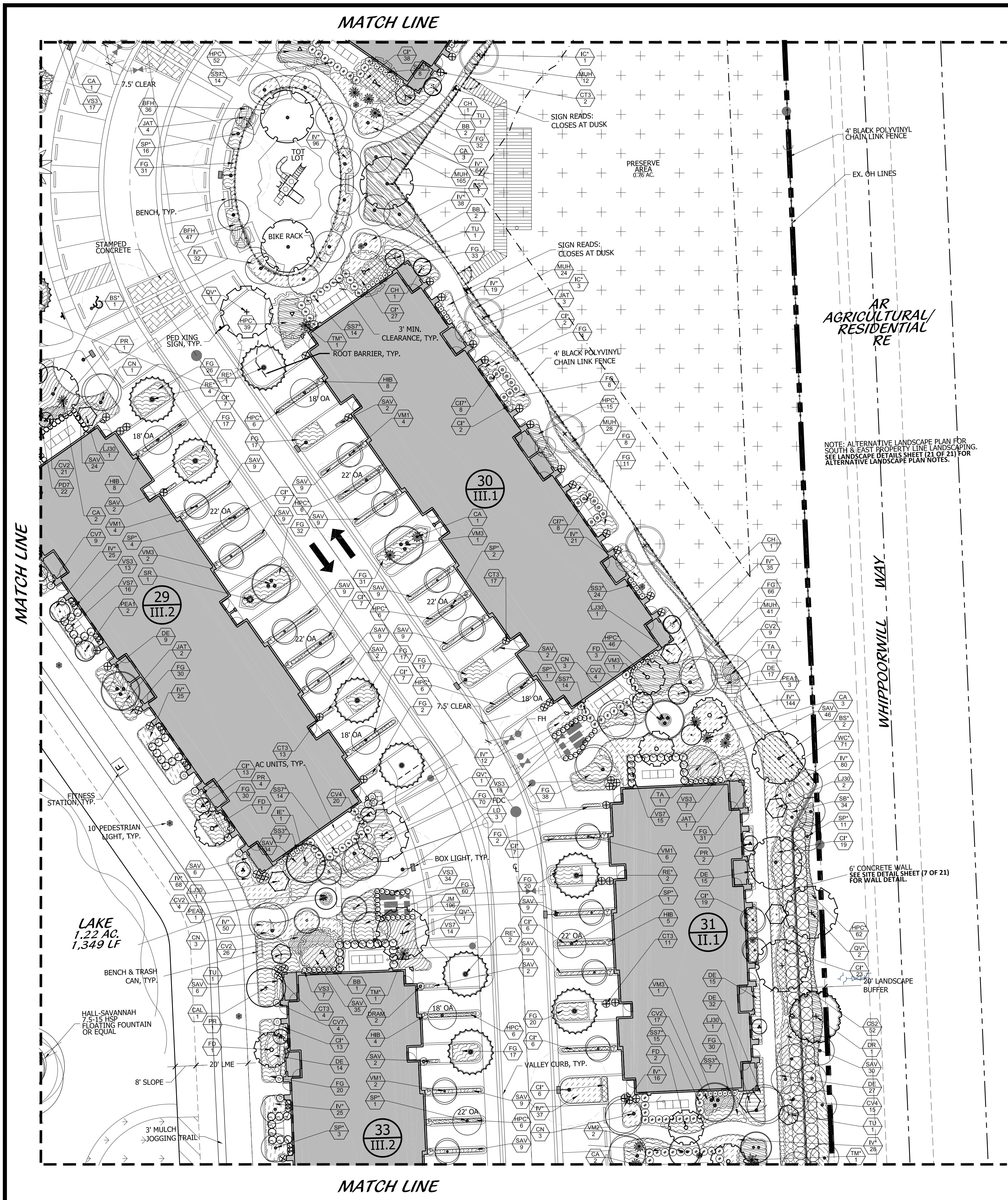
Cotleur Hearing

Landscape Architecture
Planning
Environmental Consulting
Graphic Design

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Suite 1
Jupiter, Florida 33458
561-747-6336 Fax-747-1377

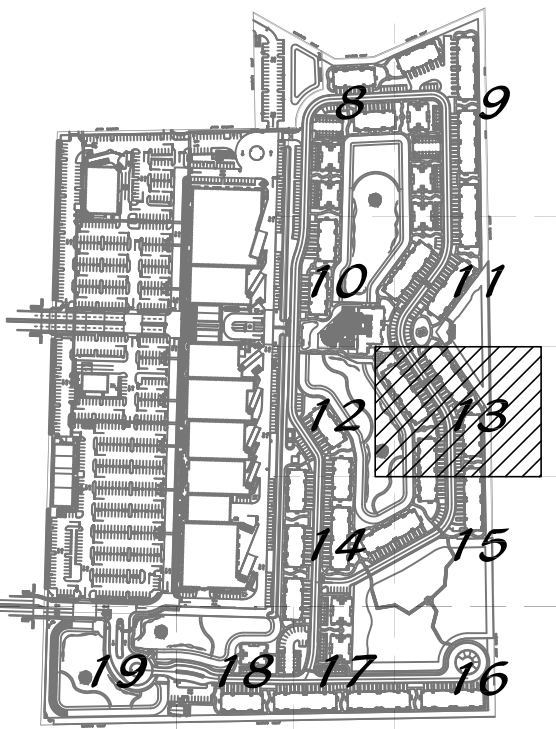
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DESIGNED	DEH
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PALM BEACH COUNTY UTILITY GUIDELINES
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Key Map

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EXISTING ZONING DESIGNATION	MIXED USE TYPE 1
FLOOD ZONE	B
TOTAL SITE AREA	30.66 ACRES
LOT FRONTAGE	1,335,339.00 SQ. FT.
TYPE OF OWNERSHIP	PRIVATE
LOT FRONTAGE	1,270'
LOT WIDTH (100' MIN.)	1,270'
LOT DEPTH (200' MIN.)	660'
TOTAL SITE AREA	
INTERIOR PERVIOUS (OPEN SPACE) LANDSCAPE AREA	SQ. FT. ACRES PERCENT
	751,419.00 17.25 56.27%
	SUBTOTAL 751,419.00 17.25 56.27%
LAND USE ALLOCATION	
BUILDING LOT COVERAGE	242,314.00 5.56 18.15%
VEHICULAR USE AREA	263,483.00 6.05 19.73%
OPENSACE, BUFERS & PLAZAS	386,095.00 8.86 28.91%
LAKE (INCLUDING LME) & TRACT L3	288,568.00 6.62 12.37%
PRESERVE	154,879.00 3.56 6.64%
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NOT LESS THAN 20% OF REQUIRED TREES	20.00% 55.00%
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HC	HANDICAP		

GENERAL NOTES

REFUSE SERVICE SHALL BE ACCOMPLISHED BY WAY OF INDIVIDUAL DUMPSTER AND RECYCLING.

RAMPS SHALL BE PROVIDED AT ALL PLAZA, SIDEWALK AND STREET INTERSECTIONS IN ACCORDANCE WITH ADA AND THE FLORIDA HANDICAP ACCESSIBILITY CODE.

ALL SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF THE VILLAGE OF WELLINGTON AND MASTER SIGN PLAN.

THE LANDSCAPE SHALL AVOID CONFLICTS WITH UNDERGROUND DRAINAGE AND UTILITIES. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK.

TREES SHALL BE POSITIONED TO AVOID CONFLICTS WITH SIGNAGE AND SITE LIGHTING.

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ALL ABOVE GROUND UTILITIES I.E. TRANSFORMERS, SWITCH BOXES, AC CONDENSORS AND ALIKE SHALL BE FULLY SCREENED FROM VIEW ON THREE SIDES WITH LANDSCAPING. THE LANDSCAPING SHALL EXTEND TO THE TALLEST POINT OF SAID EQUIPMENT AT TIME OF PLANTING (3' MINIMUM).

TWENTY-FOUR (24") INCH RIDGED ROOT BARRIER SHALL BE PROVIDED FOR ALL SHADE TREES PLANTED WITHIN SIX (6') FEET OF CURBS OR SIDEWALKS. ROOT BARRIER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.

ROOT BARRIER, IN ACCORDANCE WITH THE LOCAL UTILITY AUTHORITY CRITERIA, SHALL BE PROVIDED FOR TREES AND PALMS ADJACENT TO UNDERGROUND UTILITIES.

ALL SIDEWALKS SHALL BE A MINIMUM OF 5 FEET IN WIDTH PER THE LDR'S

ALL AREAS SHALL BE FULLY IRRIGATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE VILLAGE OF WELLINGTON.

ALL BUILDING LIGHTING AT ENTRY AND DOORS SHALL BE ON PHOTOCCELL OR TIMER.

5' X 15' SAFE SIGHT TRIANGLE SHALL BE PROVIDED AT THE PROJECT'S ENTRY ROADS. ALL PLANT MATERIAL WITHIN SAFE SIGHT TRIANGLE SHALL BE MAINTENANCE BELOW 30" IN HEIGHT OR ABOVE 8'-0" IN HEIGHT AS MEASURE FROM FINISHED GRADE.

THE PHOTOMETRIC PLAN WILL REFLECT INITIAL LIGHTING VALUES IN ACCORDANCE WITH THE REQUIREMENTS OF THE VILLAGE OF WELLINGTON

ALL TREES PLANTED UNDER OR ADJACENT TO FPL POWER LINES WILL COMPLY WITH THE FPL RIGHT TREE PLACEMENT GUIDELINES.

ALL PARKING LOT STRIPING, EXCEPT FOR PARKING SPACES, SHALL BE CONSTRUCTED USING THERMOPLASTIC MATERIAL AND ALL STRIPING WITHIN PAVED AREAS SHALL BE PAVED BRICKS OF APPROPRIATE COLOR IN ACCORDANCE WITH LDR.

ALL PARKING AND STREET LIGHTS AND PEDESTRIAN LIGHTS SHALL BE METAL HALIDE OR EQUAL.

PROJECT ID SIGNS SHALL BE ILLUMINATED WITH GROUND MOUNTED FIXTURES ON PHOTOCCELLS OR TIMERS.

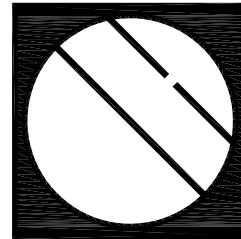
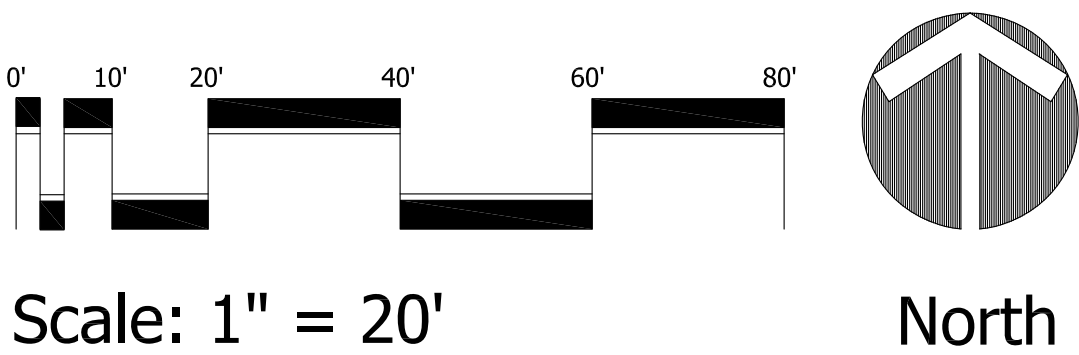
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TREES PLANTED A MINIMUM OF 15 FEET FROM LIGHT POLE UNLESS POLES ARE BELOW THE TREE CANOPY.

A 4" SETBACK IS REQUIRED FOR TREES AND LIGHT POLES. IF PROPOSING CURB AND GUTTER, A 6 FEET SETBACK IS REQUIRED FOR VALLEY CURB.

ALL WATER METERS ARE CLEAR OF PLANTS. AT LEAST 5 FEET AROUND THE METER.

Landscape Plan



Cotleur
Hearing

Landscape Architecture
Planning
Environmental Consulting
Graphic Design

1934 Commerce Lane
Suite 1
Jupiter, Florida 33458
561-747-6336 Fax-747-1377

Isla Verde Residential
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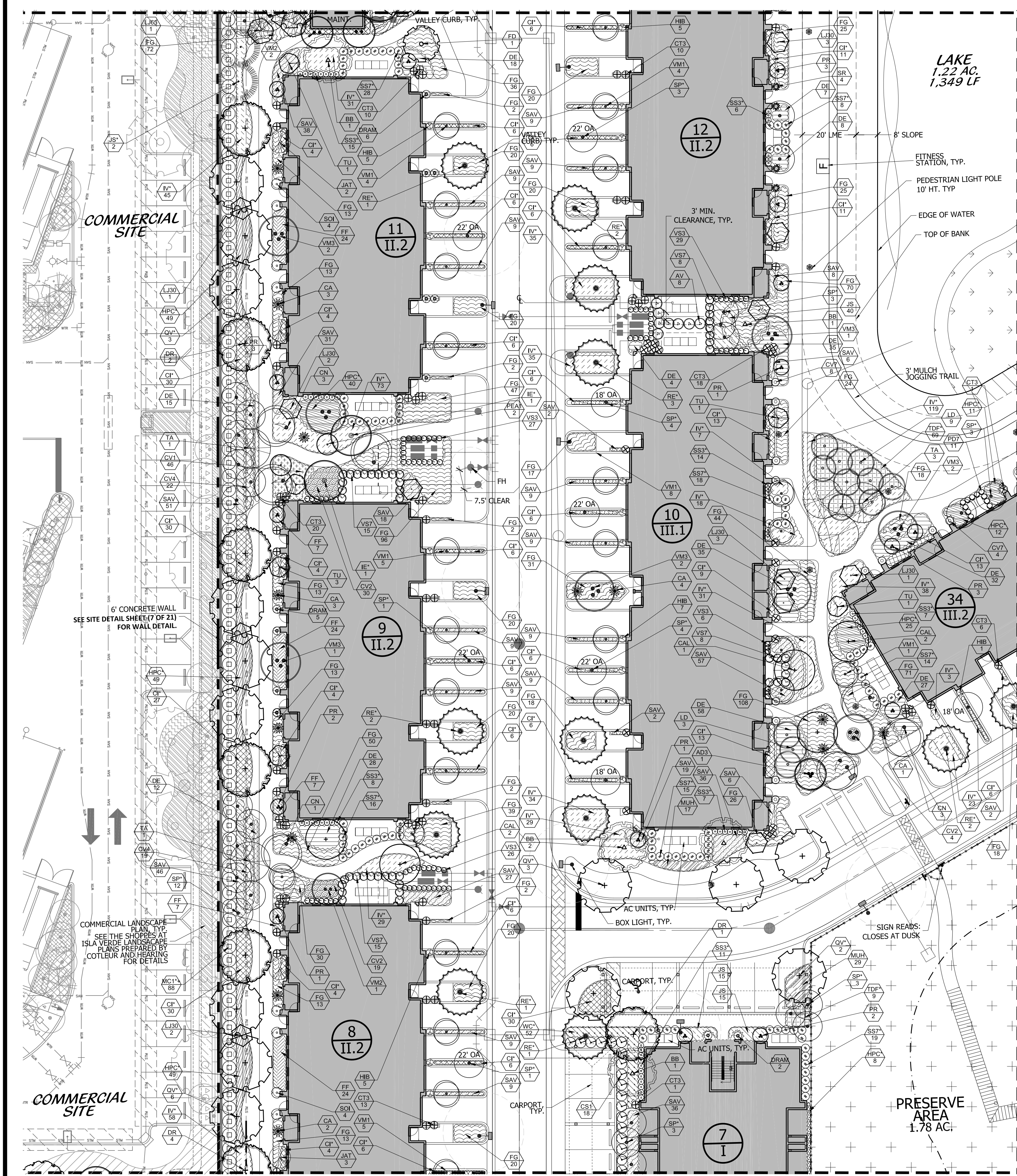
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DRAWN	MCR
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October 21, 2013 4:21:45 p.m.
Drawing: 04-1216.03 LP SHEETS LAYOUT.DWG

SHEET 13 OF 21

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MATCH LINE

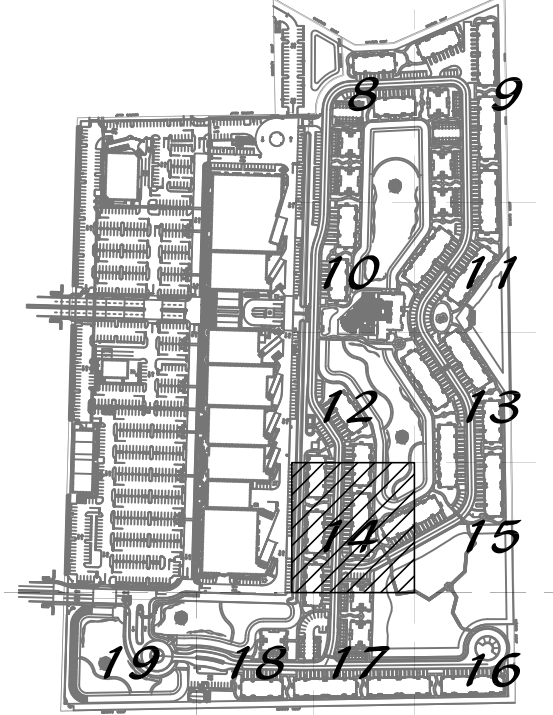


PALM BEACH COUNTY UTILITY GUIDELINES

LANDSCAPE AND ROOT BARRIER NOTE:

TREES SHOWN ON THIS PLAN ARE FOR GRAPHIC REPRESENTATION ONLY. TREE SPACING IS BASES ON DESIGN REQUIREMENTS AND THE TREES SHOWN ON THESE PLANS ATTEMPT TO ACCOMPLISH THAT SPACING WHILE MAINTAINING THE REQUIRED SETBACKS FROM UTILITIES. TREES MAY BE FIELD ADJUSTED TO AVOID CONFLICTS WITH DRIVEWAYS AND UNDERGROUND UTILITIES. IN ANY CASE THE TREES SHALL BE LOCATED IN THE FIELD IN ACCORDANCE WITH THE PLANTING DETAILS SHOW HEREON.

ADDITIONALLY, TREES ARE TO BE INSTALLED WITH A TEN FOOT (10') SEPARATION FROM ANY WATER OR SEWER MAIN AND/OR SERVICE, HYDRANTS, AND LIFT STATIONS. IF A TEN FOOT (10') SEPARATION CANNOT BE ACHIEVED, THE TREE CAN BE INSTALLED WITH A ROOT BARRIER SYSTEM. REFER TO THE "ROOT BARRIER" DETAIL FOR INSTALLATION REQUIREMENTS. HOWEVER, IN NO CASE SHALL A TREE ENCRATCH INTO A PBCUE WITHOUT PRIOR PBCUWD APPROVAL AND ONLY SOD CAN BE INSTALLED WITHIN 7.5' OF A FIRE HYDRANT UNLESS OTHERWISE APPROVED BY THE FIRE MARSHAL.



Key Map

LANDSCAPE DATA

SECTION: 06, TOWNSHIP: 44, RANGE: 42	
PCN NUMBERS	72-42-44-06-08-001-0000
EXISTING LAND USE DESIGNATION	MIXED USE
EXISTING ZONING DESIGNATION	MIXED USE TYPE 1
FLOOD ZONE	B
TOTAL SITE AREA	30.66 ACRES
TYPE OF OWNERSHIP	PRIVATE
LOT FRONTAGE	1,270'
LOT WIDTH (100' MIN.)	1,270'
LOT DEPTH (200' MIN.)	660'
TOTAL SITE AREA	
INTERIOR PERVIOUS (OPEN SPACE) LANDSCAPE AREA	
SUBTOTAL	751,419.00 17.25 56.27%
LAND USE ALLOCATION	
BUILDING LOT COVERAGE	242,314.00 5.56 18.15%
VEHICULAR USE AREA	263,483.00 6.05 19.73%
OPENSOURCE, BUFFERS & PLAZAS	386,095.00 8.86 28.91%
LAKES (INCLUDING LMB) & TRACT L3	288,568.00 6.62 12.37%
PRESERVE	154,870.00 3.59 6.64%
SUBTOTAL	1,335,339.00 30.66 85.80%
TOTAL	692,567.75 15.90 100.00%

LEGEND

- ROW RIGHT OF WAY
 - DE DRAINAGE EASEMENT
 - UE UTILITY EASEMENT
 - TOB TOP OF BANK
 - EDW EDGE OF WATER
 - TYP TYPICAL
 - R RADIUS
 - FH FIRE HYDRANT
 - DDV DOUBLE DETECTOR CHECK VALVE
 - FDC FIRE DEPARTMENT CONNECTION
 - LME LAKE MAINTENANCE EASEMENT
 - SW SIDEWALK
 - WM WATER MAIN
 - FM FORCE MAIN
 - EXIST EXISTING
 - HC HANDICAP
- 30 BUILDING NUMBER
 - II.1 BUILDING TYPE
 - AC UNITS
 - STOP BAR & SIGN
 - BIKE RACK
 - BENCH AND TRASH CAN
 - PEDESTRIAN LIGHT POLE
 - LIGHT POLE

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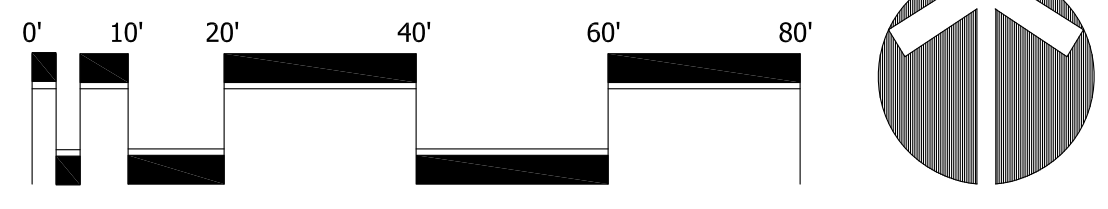
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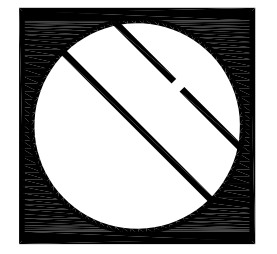
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Landscape Plan



Scale: 1" = 20'

North



Cotleur
Hearing

Landscape Architecture
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Graphic Design

1934 Commerce Lane
Suite 1
Jupiter, Florida 33458
561-747-6336 Fax-747-1377

Isla Verde Residential

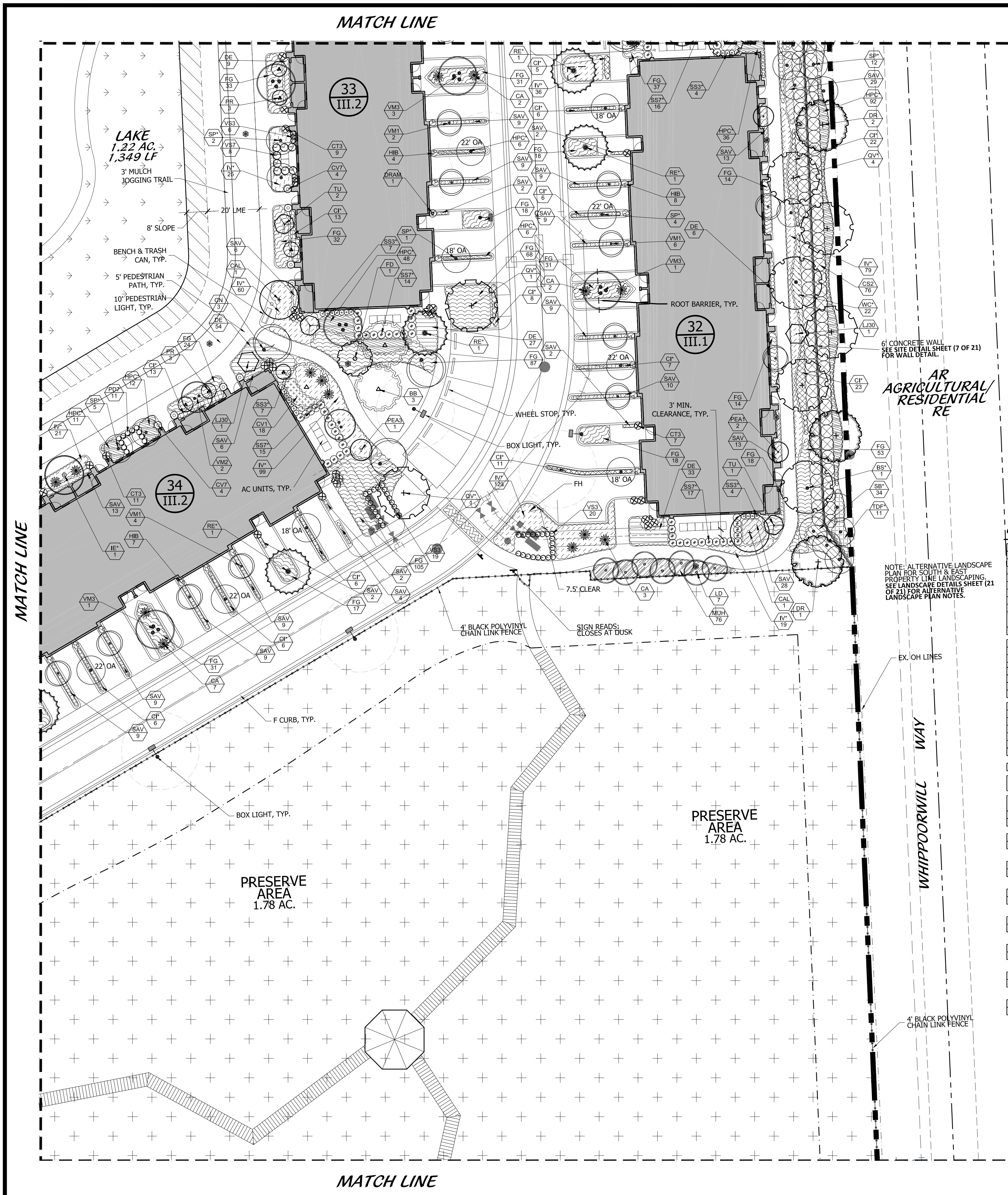
Wellington Isles, LLC
Village of Wellington, Florida

DESIGNED	DEH
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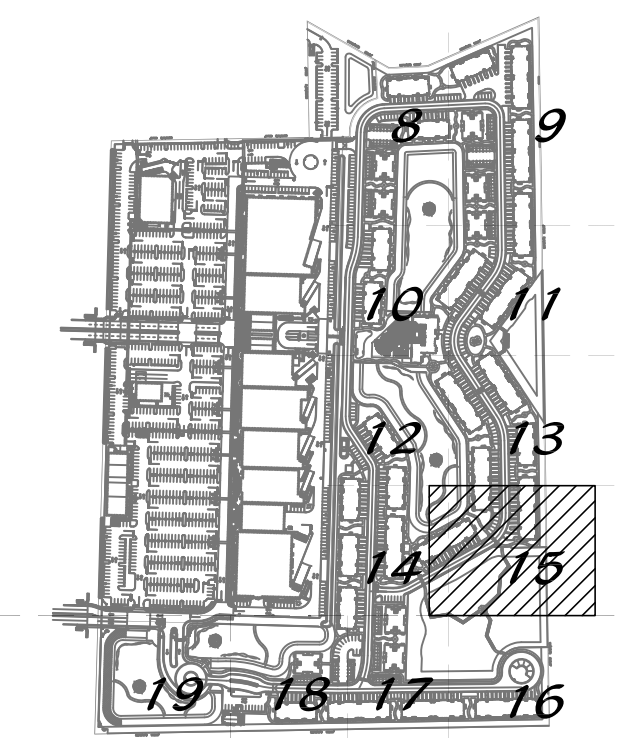
SHEET 14 OF 21

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Key Map

LEGEND

- RIGHT OF WAY
 - DRAINAGE EASEMENT
 - UTILITY EASEMENT
 - TOP OF BANK
 - EDGE OF WATER
 - TYPICAL RADIUS
 - FIRE HYDRANT
 - DOUBLE DETECTOR CHECK VALVE
 - FIRE DEPARTMENT CONNECTION
 - LAKE MAINTENANCE EASEMENT
 - SIDEWALK
 - WATER MAIN
 - FORCE MAIN
 - EXISTING
 - HANDICAP
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LANDSCAPE DATA

SECTION: 06, TOWNSHIP: 44, RANGE: 42		72-42-44-06-08-001-0000
PCN NUMBERS		
EXISTING LAND USE DESIGNATION	MIXED USE	
EXISTING ZONING DESIGNATION	MIXED USE TYPE I	
FLOOD ZONE	B	
TOTAL SITE AREA	30.66 ACRES	
	1,335,339.00 SQ. FT.	
TYPE OF OWNERSHIP	PRIVATE	
LOT FRONTAGE	1,270'	
LOT WIDTH (100' MIN.)	1,270'	
LOT DEPTH (200' MIN.)	660'	
TOTAL SITE AREA		
	SQUARE FT.	ACRE PERCENT
INTERIOR PERVIOUS (OPEN SPACE) LANDSCAPE AREA	751,419.00	17.25 56.27%
	SUBTOTAL	751,419.00 17.25 56.27%
LAND USE ALLOCATION		
BUILDING LOT COVERAGE	242,314.00	5.56 18.15%
VEHICULAR USE AREA	263,483.00	6.05 19.73%
OPENSPACE, BUFFERS & PLAZAS	386,095.00	8.86 28.91%
LAKES (INCLUDING LME) & TRACT L3	288,568.00	6.62 12.37%
PRESERVE	154,879.00	3.38 6.50%
	SUBTOTAL	1,335,339.00 30.66 85.80%
TOTAL	692,567.75	15.90 100.00%
PERCENT PERVIOUS	REQUIRED	PROVIDED
	20.00%	55.52%
OVERALL TREES AND SHRUBS	REQUIRED	PROVIDED
(EXCLUSIVE OF BUFFER AND VEHICULAR AREA REQ.S)		
1 TREE EACH 1,500 SQ. FT. OF LOT AREA	890	>890
3 SHRUBS EACH 1,500 SQ. FT. OF LOT AREA	1,802	>1802
NUMBER OF TREE SPECIES	REQUIRED	PROVIDED
	7	>7
* ADDITIONAL SPECIES INCLUDED ON OVERALL SITE		
PERCENTAGE FLOWERING TREES	REQUIRED	PROVIDED
AT LEAST 10% OF REQUIRED TREES	10.00%	10.00%
* ADDITIONAL TREES INCLUDED ON OVERALL SITE		
PERCENTAGE PALM SPECIES	REQUIRED	PROVIDED
NOT LESS THAN 20% OF REQUIRED TREES	20.00%	55.00%
* ADDITIONAL PALMS INCLUDED ON OVERALL SITE		
PERCENTAGE NATIVE AND DROUGHT TOLERANT TREES	REQUIRED	PROVIDED
A MINIMUM OF 50% OF REQUIRED TREES	50.00%	55.00%
* ADDITIONAL NATIVE SPECIES INCLUDED ON OVERALL SITE		
PERCENTAGE FLOWERING SHRUBS	REQUIRED	PROVIDED
AT LEAST 10% OF REQUIRED SHRUBS	10.00%	18.00%
* ADDITIONAL FLOWERING SHRUBS INCLUDED ON OVERALL SITE		
PERCENTAGE NATIVE & DROUGHT TOLERANT SHRUBS	REQUIRED	PROVIDED
A MINIMUM OF 50% OF REQUIRED SHRUBS	50.00%	57.00%
* ADDITIONAL NATIVE SPECIES INCLUDED ON OVERALL SITE		
NUMBER OF SHRUB SPECIES	REQUIRED	PROVIDED
	6	>12
* ADDITIONAL SHRUB SPECIES INCLUDED ON OVERALL SITE		

Landscape Plan

0' 10' 20' 40' 60' 80'

Scale: 1" = 20'

North

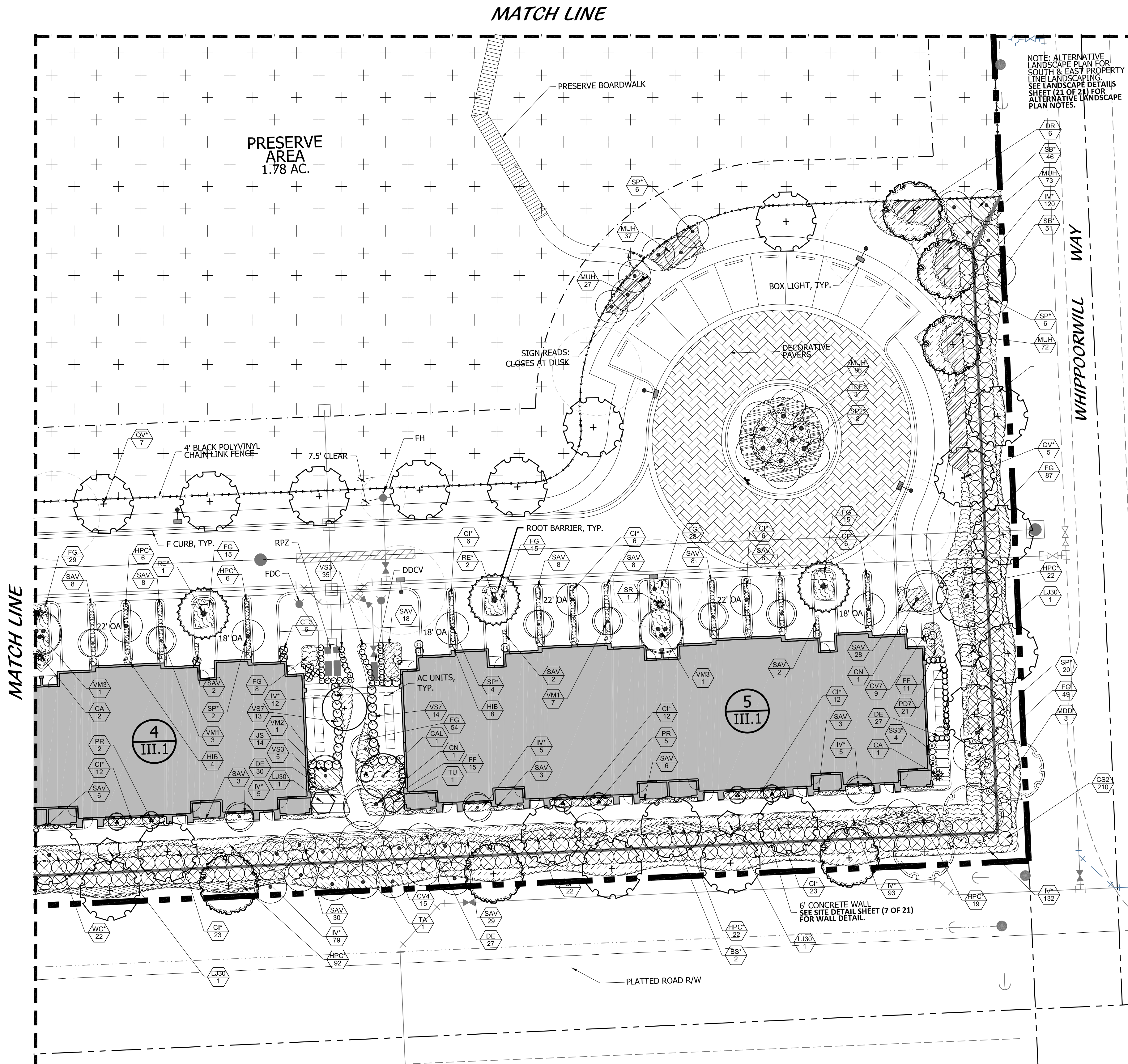
Cotleur Hearing

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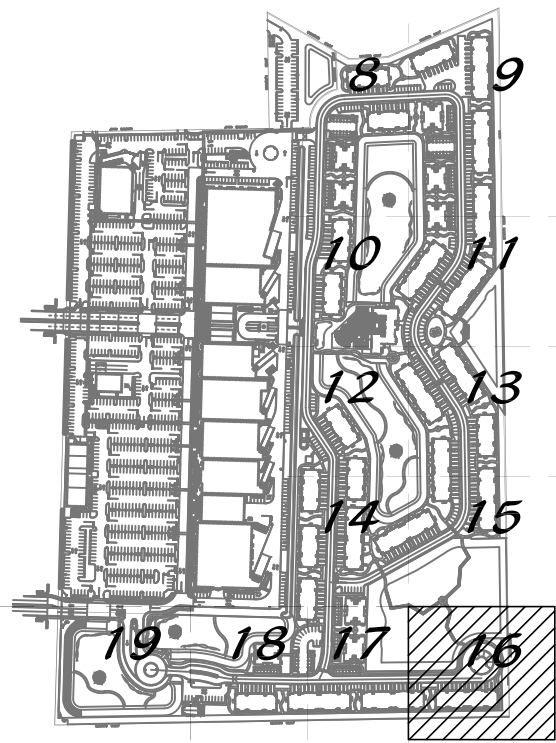


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	20.00%	56.00%
* ADDITIONAL PALMS INCLUDED ON OVERALL SITE		
PERCENTAGE NATIVE AND DROUGHT TOLERANT TREES A MINIMUM OF 50% OF REQUIRED TREES	REQUIRED	PROVIDED
	50.00%	56.00%
* ADDITIONAL NATIVE SPECIES INCLUDED ON OVERALL SITE		
PERCENTAGE FLOWERING SHRUBS AT LEAST 10% OF REQUIRED SHRUBS	REQUIRED	PROVIDED
	10.00%	18.00%
* ADDITIONAL FLOWERING SHRUBS INCLUDED ON OVERALL SITE		
PERCENTAGE NATIVE & DROUGHT TOLERANT SHRUBS A MINIMUM OF 50% OF REQUIRED SHRUBS	REQUIRED	PROVIDED
	50.00%	57.00%
* ADDITIONAL NATIVE SPECIES INCLUDED ON OVERALL SITE		
NUMBER OF SHRUB SPECIES	REQUIRED	PROVIDED
	6	>12
* ADDITIONAL SHRUB SPECIES INCLUDED ON OVERALL SITE		

LEGEND

ROW	RIGHT OF WAY	30	BUILDING NUMBER
DE	DRAINAGE EASEMENT	III.1	BUILDING TYPE
UE	UTILITY EASEMENT		AC UNITS
TOB	TOP OF BANK		STOP BAR & SIGN
EOW	EDGE OF WATER		BIKE RACK
TYP	TYPICAL		BENCH AND TRASH CAN
R	RADIUS		PEDESTRIAN LIGHT POLE
FH	FIRE HYDRANT		LIGHT POLE
DDCV	DOUBLE DETECTOR CHECK VALVE		
FDC	FIRE DEPARTMENT CONNECTION		
LME	LAKE MAINTENANCE EASEMENT		
SW	SEWER		
WM	WATER MAIN		
FM	FORCE MAIN		
EXIST	EXISTING		
HC	HANDICAP		

GENERAL NOTES

REFUSE SERVICE SHALL BE ACCOMPLISHED BY WAY OF INDIVIDUAL DUMPSTER AND RECYCLING.

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ROOT BARRIER, IN ACCORDANCE WITH THE LOCAL UTILITY AUTHORITY CRITERIA, SHALL BE PROVIDED FOR TREES AND PALMS ADJACENT TO UNDERGROUND UTILITIES.

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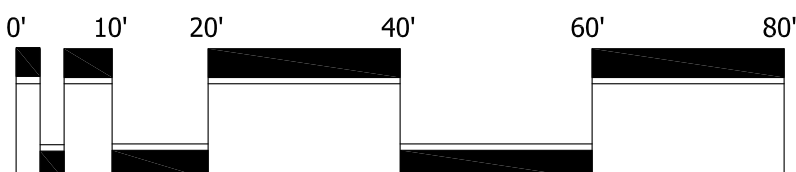
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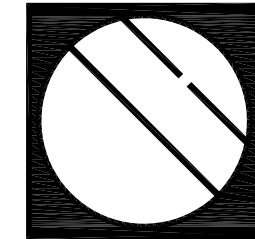
ALL WATER METERS ARE CLEAR OF PLANTS. AT LEAST 5 FEET AROUND THE METER.

Landscape Plan



Scale: 1" = 20'

North



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Hearing

Landscape Architecture
Planning
Environmental Consulting
Graphic Design

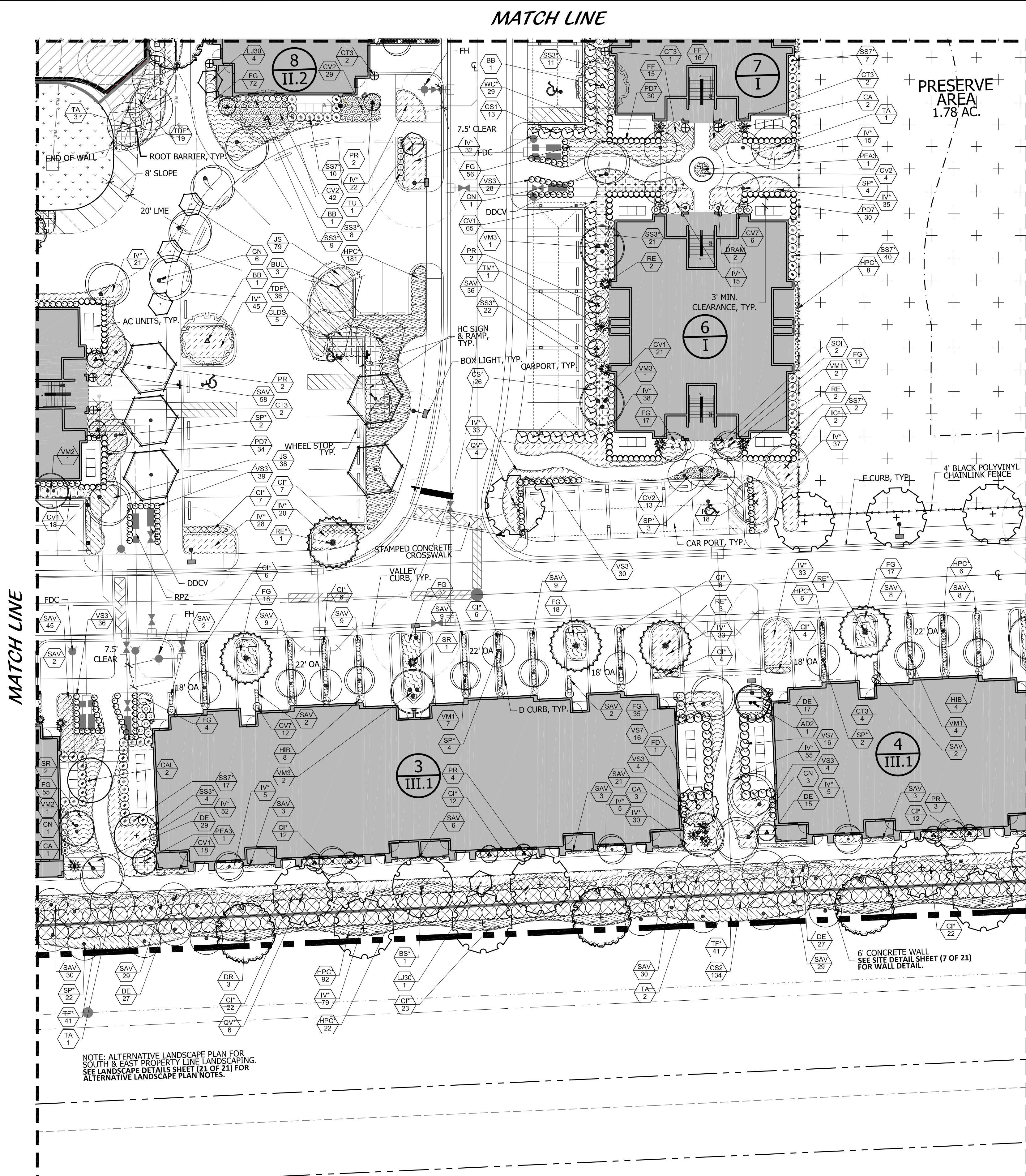
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Isla Verde Residential
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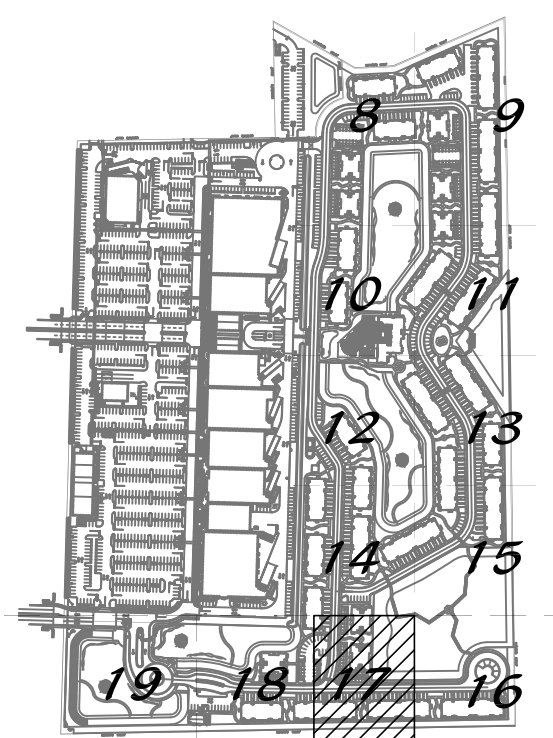
SHEET 16 OF 21

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PALM BEACH COUNTY UTILITY GUIDELINES
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ADDITIONALLY, TREES ARE TO BE INSTALLED WITH A TEN FOOT (10') SEPARATION FROM ANY WATER OR SEWER MAIN AND /OR SERVICE, HYDRANTS, AND LIFT STATIONS. IF A TEN FOOT (10') SEPARATION CANNOT BE ACHIEVED, THE TREE CAN BE INSTALLED WITH A ROOT BARRIER SYSTEM. REFER TO THE "ROOT BARRIER" DETAIL FOR INSTALLATION REQUIREMENTS. HOWEVER, IN NO CASE SHALL A TREE ENCR OACH INTO A PBCUE WITHOUT PRIOR PBCUWD APPROVAL AND ONLY SOD CAN BE INSTALLED WITHIN 7.5' OF A FIRE HYDRANT UNLESS OTHERWISE APPROVED BY THE FIRE MARSHAL.



Key Map

LANDSCAPE DATA

SECTION: 06, TOWNSHIP: 44, RANGE: 42	
PCN NUMBERS	72-42-44-06-001-0000
EXISTING LAND USE DESIGNATION	MIXED USE
EXISTING ZONING DESIGNATION	MIXED USE TYPE 1
FLOOD ZONE	B
TOTAL SITE AREA	30.66 ACRES
TYPE OF OWNERSHIP	PRIVATE
LOT FRONTAGE	1,270'
LOT WIDTH (100' MIN.)	1,270'
LOT DEPTH (200' MIN.)	660'
TOTAL SITE AREA	
INTERIOR PERVIOUS (OPEN SPACE) LANDSCAPE AREA	
SUBTOTAL	751,419.00 17.25 56.27%
LAND USE ALLOCATION	
BUILDING LOT COVERAGE	242,314.00 5.56 18.15%
VEHICULAR USE AREA	263,483.00 6.05 19.73%
OPENSACE, BUFFERS & PLAZAS	386,095.00 8.86 28.91%
LAKES (INCLUDING LME) & TRACT L3	298,588.00 6.62 12.37%
PRESERVE	154,870.00 3.56 6.64%
SUBTOTAL	1,335,339.00 30.66 85.80%
TOTAL	692,567.75 15.90 100.00%
PERCENT PERVIOUS	
REQUIRED	20.00%
PROVIDED	55.52%
OVERALL TREES AND SHRUBS (EXCLUSIVE OF BUFFER AND VEHICULAR AREA REQ S)	
1 TREE EACH 1,500 SQ. FT. OF LOT AREA	890 >890
3 SHRUBS EACH 1,500 SQ. FT. OF LOT AREA	1,602 >1602
NUMBER OF TREE SPECIES	
REQUIRED	7
PROVIDED	>7
* ADDITIONAL SPECIES INCLUDED ON OVERALL SITE	
PERCENTAGE FLOWERING TREES (AT LEAST 10% OF REQUIRED TREES	
REQUIRED	10.00%
PROVIDED	10.00%
* ADDITIONAL TREES INCLUDED ON OVERALL SITE	
PERCENTAGE PALM SPECIES (NOT LESS THAN 20% OF REQUIRED TREES	
REQUIRED	20.00%
PROVIDED	55.00%
* ADDITIONAL PALMS INCLUDED ON OVERALL SITE	
PERCENTAGE NATIVE AND DROUGHT TOLERANT TREES (A MINIMUM OF 50% OF REQUIRED TREES	
REQUIRED	50.00%
PROVIDED	55.00%
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PERCENTAGE NATIVE & DROUGHT TOLERANT SHRUBS (A MINIMUM OF 50% OF REQUIRED SHRUBS	
REQUIRED	50.00%
PROVIDED	57.00%
* ADDITIONAL NATIVE SPECIES INCLUDED ON OVERALL SITE	
NUMBER OF SHRUB SPECIES	
REQUIRED	6
PROVIDED	>12
* ADDITIONAL SHRUB SPECIES INCLUDED ON OVERALL SITE	

LEGEND

- ROW RIGHT OF WAY
 - DE DRAINAGE EASEMENT
 - UE UTILITY EASEMENT
 - TOB TOP OF BANK
 - EOW EDGE OF WATER
 - TYP TYPICAL
 - R RADIUS
 - FH FIRE HYDRANT
 - DDCV DOUBLE DETECTOR CHECK VALVE
 - FDC FIRE DEPARTMENT CONNECTION
 - LME LAKE MAINTENANCE EASEMENT
 - SW SIDEWALK
 - WM WATER MAIN
 - FM FORCE MAIN
 - EXIST EXISTING
 - HC HANDICAP
- 30 BUILDING NUMBER
 - II.1 BUILDING TYPE
 - AC UNITS
 - STOP BAR & SIGN
 - BIKE RACK
 - BENCH AND TRASH CAN
 - PEDESTRIAN LIGHT POLE
 - LIGHT POLE

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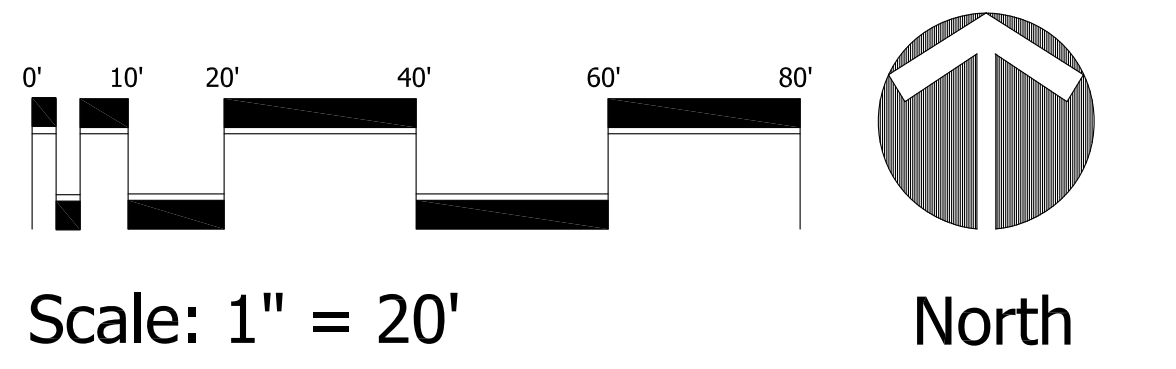
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ALL WATER METERS ARE CLEAR OF PLANTS. AT LEAST 5 FEET AROUND THE METER.

NOTE: ALTERNATIVE LANDSCAPE PLAN FOR SOUTH & EAST PROPERTY LINE LANDSCAPING. SEE LANDSCAPE DETAILS SHEET (21 OF 21) FOR ALTERNATIVE LANDSCAPE PLAN NOTES.

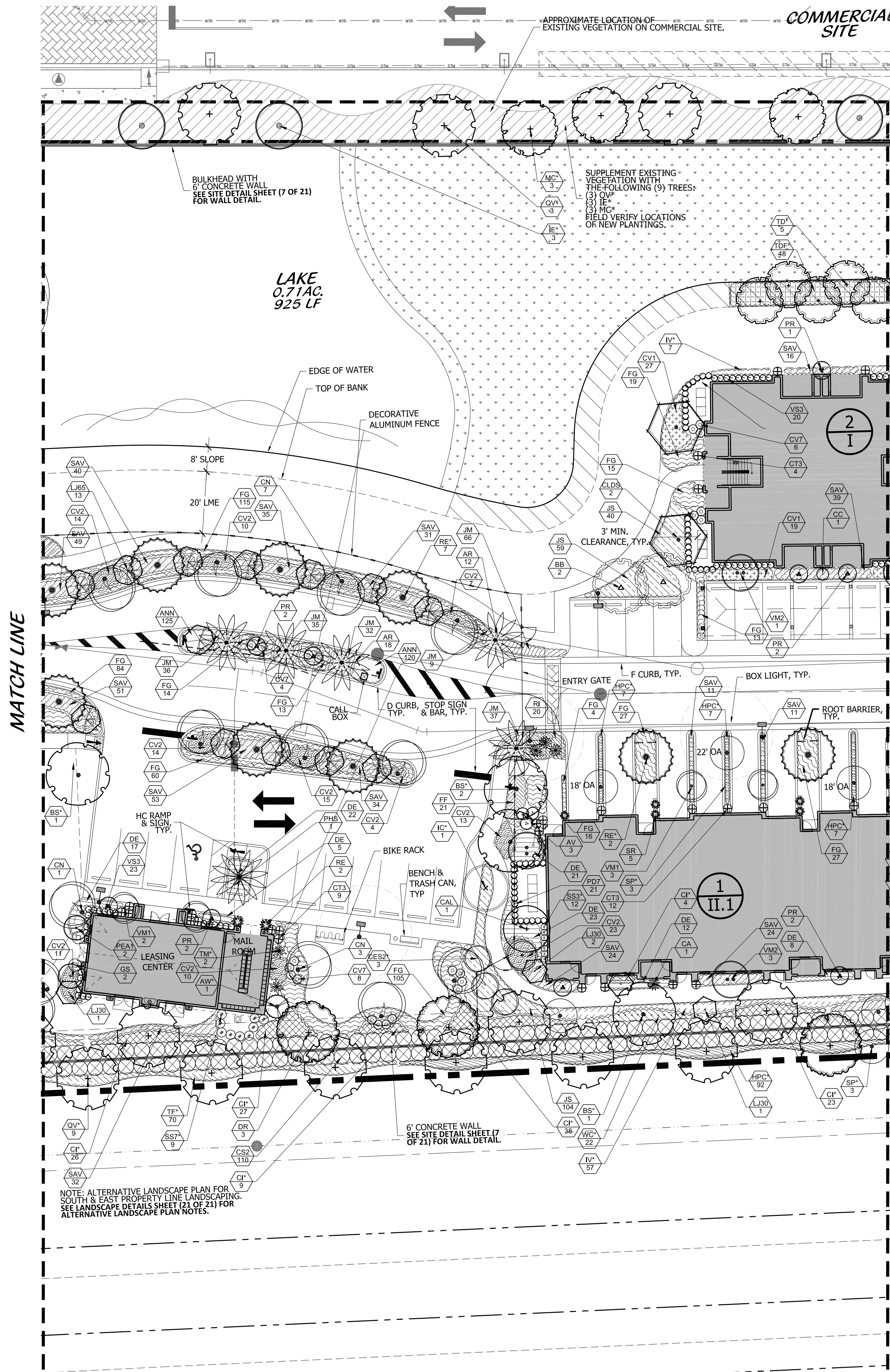
Landscape Plan




Cotleur Hearing
Landscape Architecture
Planning
Environmental Consulting
Graphic Design
1934 Commerce Lane
Suite 1
Jupiter, Florida 33458
561-747-6336 Fax-747-1377

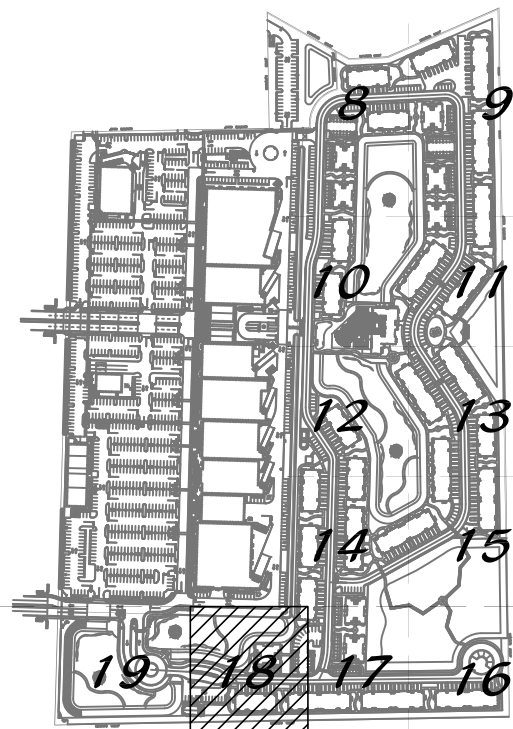
Isla Verde Residential
Wellington Isles, LLC
Village of Wellington, Florida

DESIGNED	DEH
DRAWN	MCR
APPROVED	DEH
JOB NUMBER	04-1216.03
DATE	10-17-13
REVISIONS	12-16-13



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Key Map

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EXISTING ZONING DESIGNATION		MIXED USE TYPE 1	
FLOOD ZONE		B	
TOTAL SITE AREA		30.66 ACRES	
TYPE OF OWNERSHIP		PRIVATE	
LOT FRONTAGE		1,270'	
LOT WIDTH (100' MIN.)		1,270'	
LOT DEPTH (200' MIN.)		660'	
TOTAL SITE AREA			
		SQUARE FT.	ACRE PERCENT
INTERIOR PERVIOUS (OPEN SPACE) LANDSCAPE AREA		751,419.00	17.25 56.27%
SUBTOTAL		751,419.00	17.25 56.27%
LAND USE ALLOCATION			
BUILDING LOT COVERAGE		242,314.00	5.56 18.15%
VEHICULAR USE AREA		263,483.00	6.05 19.73%
OPENSACE, BUFERS & PLAZAS		386,055.00	8.86 28.91%
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OVERALL TREES AND SHRUBS			
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1 TREE EACH 1,500 SQ. FT. OF LOT AREA		880	>880
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NUMBER OF TREE SPECIES			
		REQUIRED	PROVIDED
		7	>7
PERCENTAGE FLOWERING TREES			
AT LEAST 10% OF REQUIRED TREES		REQUIRED	PROVIDED
		10.00%	10.00%
PERCENTAGE PALM SPECIES			
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		20.00%	55.00%
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		50.00%	55.00%
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NUMBER OF SHRUB SPECIES			
		REQUIRED	PROVIDED
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LEGEND

- ROW

DE

UE

TOB

EDW

TYP

R

FH

DDCV

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SW

WM

FM

EXIST

HC
- RIGHT OF WAY

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- 30

II.1

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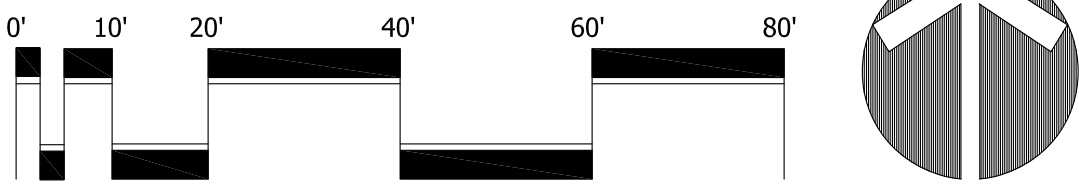
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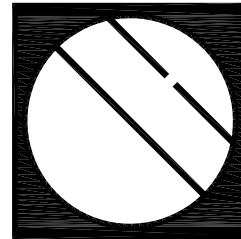
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Landscape Plan



Scale: 1" = 20' North



Cotleur
Hearing

Landscape Architecture
Planning
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561-747-6336 Fax-747-1377

Isla Verde Residential

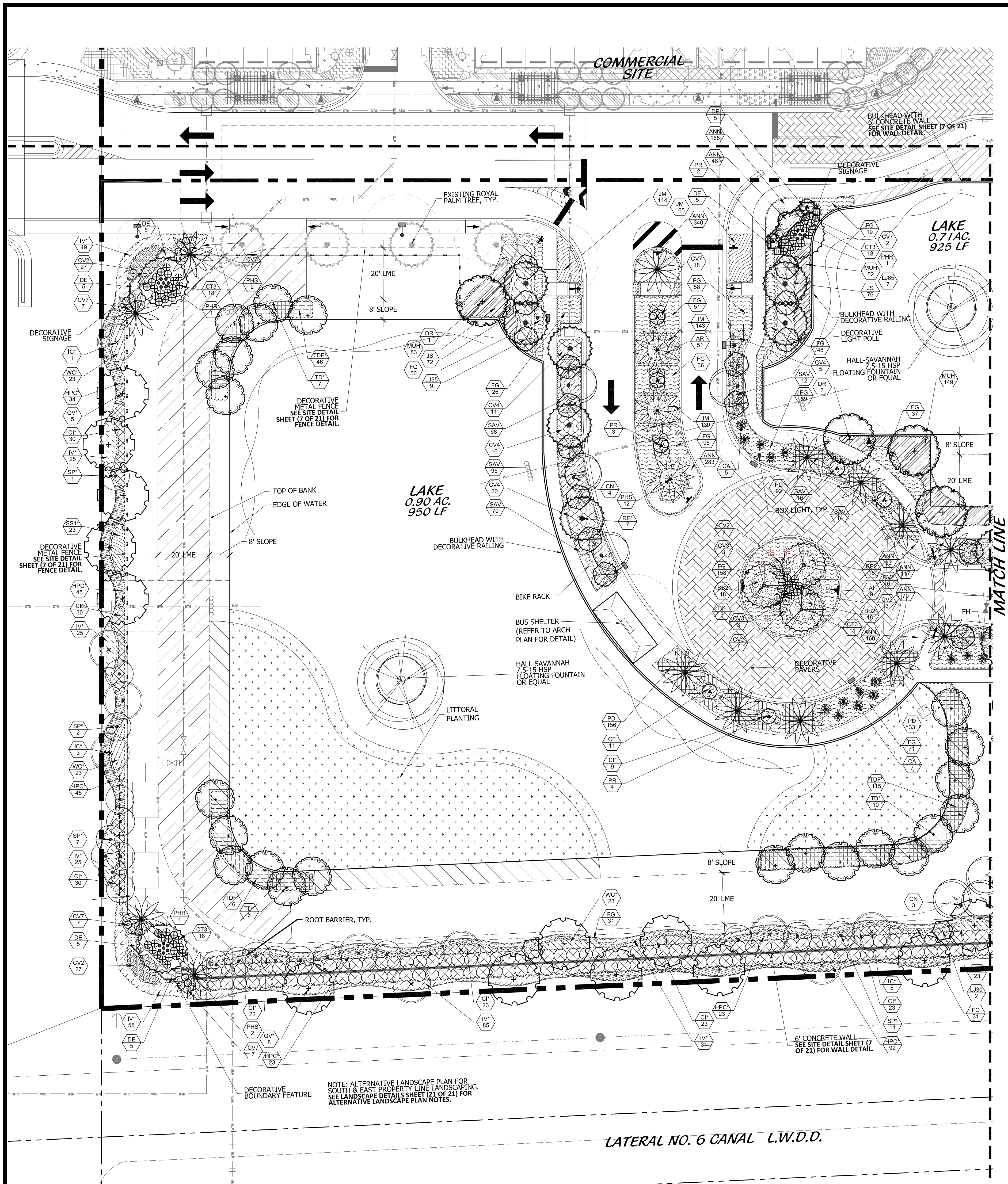
Wellington Isles, LLC
Village of Wellington, Florida

DESIGNED DEH
DRAWN MCR
APPROVED DEH
JOB NUMBER 04-1216.03
DATE 10-17-13
REVISIONS 12-16-13

October 21, 2013 4:21:45 p.m.
Drawing 04-1216.03 LP SHEETS LAYOUT.DWG

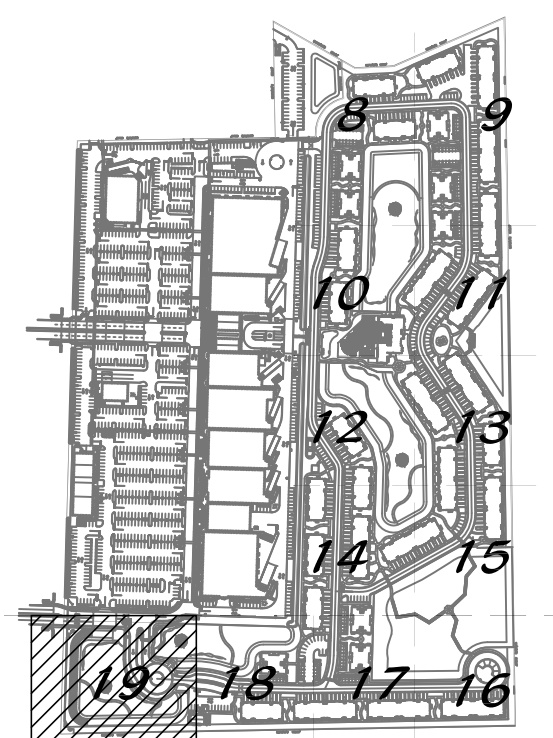
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PALM BEACH COUNTY UTILITY GUIDELINES
LANDSCAPE AND ROOT BARRIER NOTE:
TREES SHOWN ON THIS PLAN ARE FOR GRAPHIC REPRESENTATION ONLY. TREE SPACING IS BASES ON DESIGN REQUIREMENTS AND THE TREES SHOWN ON THESE PLANS ATTEMPT TO ACCOMPLISH THAT SPACING WHILE MAINTAINING THE REQUIRED SETBACKS FROM UTILITIES. TREES MAY BE FIELD ADJUSTED TO AVOID CONFLICTS WITH DRIVEWAYS AND UNDERGROUND UTILITIES. IN ANY CASE THE TREES SHALL BE LOCATED IN THE FIELD IN ACCORDANCE WITH THE PLANTING DETAILS SHOW HEREON.






ADDITIONALLY, TREES ARE TO BE INSTALLED WITH A TEN FOOT (10') SEPARATION FROM ANY WATER OR SEWER MAIN AND /OR SERVICE, HYDRANTS, AND LIFT STATIONS. IF A TEN FOOT (10') SEPARATION CANNOT BE ACHIEVED, THE TREE CAN BE INSTALLED WITH A ROOT BARRIER SYSTEM. REFER TO THE "ROOT BARRIER" DETAIL FOR INSTALLATION REQUIREMENTS. HOWEVER, IN NO CASE SHALL A TREE ENCRATCH INTO A PBCUE WITHOUT PRIOR PBCUWD APPROVAL AND ONLY SOD CAN BE INSTALLED WITHIN 7.5' OF A FIRE HYDRANT UNLESS OTHERWISE APPROVED BY THE FIRE MARSHAL.



Key Map

LANDSCAPE DATA

SECTION: 06, TOWNSHIP: 44, RANGE: 42	PCN NUMBERS	72-42-44-06-08-001-0000
EXISTING LAND USE DESIGNATION	MIXED USE	
EXISTING ZONING DESIGNATION	MIXED USE TYPE 1	
FLOOD ZONE	B	
TOTAL SITE AREA	30.66	ACRES
TYPE OF OWNERSHIP	PRIVATE	
LOT FRONTAGE	1,270'	
LOT WIDTH (100' MIN.)	1,270'	
LOT DEPTH (200' MIN.)	660'	
TOTAL SITE AREA	30.66	ACRES
INTERIOR PERVIOUS (OPEN SPACE) LANDSCAPE AREA	17.25	56.27%
SUBTOTAL	751,419.00	17.25 56.27%
LAND USE ALLOCATION		
BUILDING LOT COVERAGE	242,314.00	5.56 18.16%
VEHICULAR USE AREA	283,463.00	6.05 19.73%
OPENSPACE, BUFFERS & PLAZAS	386,095.00	8.86 28.91%
LAKES (INCLUDING LME) & TRACT L3	288,568.00	8.62 12.37%
PRESERVE	154,879.00	3.56 6.64%
SUBTOTAL	1,335,339.00	30.66 85.80%
TOTAL	682,567.75	15.90 100.00%
PERCENT PERVIOUS	REQUIRED	PROVIDED
	20.00%	55.52%
OVERALL TREES AND SHRUBS	REQUIRED	PROVIDED
(EXCLUSIVE OF BUFFER AND VEHICULAR AREA REQ'S)		
1 TREE EACH 1,500 SQ. FT. OF LOT AREA	890	>890
3 SHRUBS EACH 1,500 SQ. FT. OF LOT AREA	1,602	>1602
NUMBER OF TREE SPECIES	REQUIRED	PROVIDED
	7	>7
PERCENTAGE FLOWERING TREES	REQUIRED	PROVIDED
AT LEAST 10% OF REQUIRED TREES	10.00%	10.00%
PERCENTAGE PALM SPECIES	REQUIRED	PROVIDED
NOT LESS THAN 20% OF REQUIRED TREES	20.00%	55.00%
PERCENTAGE NATIVE AND DROUGHT TOLERANT TREES	REQUIRED	PROVIDED
A MINIMUM OF 50% OF REQUIRED TREES	50.00%	55.00%
PERCENTAGE FLOWERING SHRUBS	REQUIRED	PROVIDED
AT LEAST 10% OF REQUIRED SHRUBS	10.00%	18.00%
PERCENTAGE NATIVE & DROUGHT TOLERANT SHRUBS	REQUIRED	PROVIDED
A MINIMUM OF 50% OF REQUIRED SHRUBS	50.00%	57.00%
NUMBER OF SHRUB SPECIES	REQUIRED	PROVIDED
	6	>12

LEGEND			
ROW	RIGHT OF WAY		BUILDING NUMBER
DE	DRAINAGE EASEMENT		BUILDING TYPE
UE	UTILITY EASEMENT		
TOB	TOP OF BANK		AC UNITS
EOW	EDGE OF WATER		STOP BAR & SIGN
TYP	TYPICAL		BIKE RACK
R	RADIUS		BENCH AND TRASH CAN
CH	FIRE HYDRANT		
DDCV	DOUBLE DETECTOR CHECK VALVE		
FDC	FIRE DEPARTMENT CONNECTION		
LME	LAKE MAINTENANCE EASEMENT		
SW	SIDEWALK		
WM	WATER MAIN		PEDESTRIAN LIGHT POLE
FM	FORCE MAIN		
EX	EXISTING		LIGHT POLE
HC	HANDICAP		

GENERAL NOTES

REFUSE SERVICE SHALL BE ACCOMPLISHED BY WAY OF INDIVIDUAL DUMPSTER AND RECYCLING.

RAMPS SHALL BE PROVIDED AT ALL PLAZA, SIDEWALK AND STREET INTERSECTIONS IN ACCORDANCE WITH ADA AND THE FLORIDA HANDICAP ACCESSIBILITY CODE.

ALL SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF THE VILLAGE OF WELLINGTON AND MASTER SIGN PLAN.

THE LANDSCAPE SHALL AVOID CONFLICTS WITH UNDERGROUND DRAINAGE AND UTILITIES. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK.

TREES SHALL BE POSITIONED TO AVOID CONFLICTS WITH SIGNAGE AND SITE LIGHTING.

ALL LANDSCAPE SHALL CONFORM TO THE REQUIREMENTS OF THE VILLAGE OF WELLINGTON LAND DEVELOPMENT REGULATIONS. THE VILLAGE OF WELLINGTON CODE (LDR'S) SHALL GOVERN IN THE EVENT OF A CONFLICT.

ALL ABOVE GROUND UTILITIES I.E. TRANSFORMERS, SWITCH BOXES, AC CONDENSERS AND ALIKE SHALL BE FULLY SCREENED FROM VIEW ON THREE SIDES WITH LANDSCAPING. THE LANDSCAPING SHALL EXTEND TO THE TALLEST POINT OF SAID EQUIPMENT AT TIME OF PLANTING (36" MINIMUM).

TWENTY-FOUR (24") INCH RIDGED ROOT BARRIER SHALL BE PROVIDED FOR ALL SHADE TREES PLANTED WITHIN SIX (6) FEET OF CURBS OR SIDEWALKS. ROOT BARRIER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.

ROOT BARRIER, IN ACCORDANCE WITH THE LOCAL UTILITY AUTHORITY CRITERIA, SHALL BE PROVIDED FOR TREES AND PALMS ADJACENT TO UNDERGROUND UTILITIES.

ALL SIDEWALKS SHALL BE A MINIMUM OF 5 FEET IN WIDTH PER THE LDR'S.

ALL AREAS SHALL BE FULLY IRRIGATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE VILLAGE OF WELLINGTON.

ALL BUILDING LIGHTING AT ENTRY AND DOORS SHALL BE ON PHOTOCELL OR TIMER.

5' X 15' SAFE SIGHT TRIANGLE SHALL BE PROVIDED AT THE PROJECT'S ENTRY ROADS. ALL PLANT MATERIAL WITHIN SAFE SIGHT TRIANGLE SHALL BE MAINTAINED BELOW 30" IN HEIGHT OR ABOVE 8'-0" IN HEIGHT AS MEASURED FROM FINISHED GRADE.

THE PHOTOMETRIC PLAN WILL REFLECT INITIAL LIGHTING VALUES IN ACCORDANCE WITH THE REQUIREMENTS OF THE VILLAGE OF WELLINGTON.

ALL TREES PLANTED UNDER OR ADJACENT TO FPL POWER LINES WILL COMPLY WITH THE FPL RIGHT TREE PLACEMENT GUIDELINES.

ALL PARKING LOT STRIPING, EXCEPT FOR PARKING SPACES, SHALL BE CONSTRUCTED USING THERMOPLASTIC MATERIAL AND ALL STRIPING WITHIN PAVED AREAS SHALL BE PAVED BRICKS OF APPROPRIATE COLOR IN ACCORDANCE WITH LDR.

ALL PARKING AND STREET LIGHTS AND PEDESTRIAN LIGHTS SHALL BE METAL HALIDE OR EQUAL.

PROJECT ID SIGNS SHALL BE ILLUMINATED WITH GROUND MOUNTED FIXTURES ON PHOTOCELLS OR TIMERS.

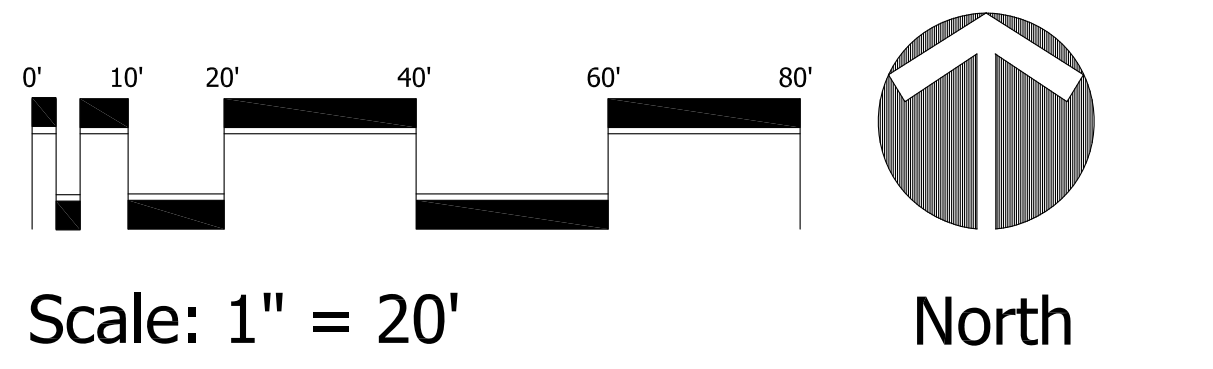
ALL HANDICAP ACCESSIBLE RAMPS SHALL MEET ALL APPLICABLE LOCAL, REGIONAL, STATE, AND FEDERAL ACCESSIBILITY GUIDELINES AND REGULATIONS. ANY MODIFICATIONS SHALL BE APPROVED BY THE ENGINEER-OF-RECORD.

TREES PLANTED A MINIMUM OF 15 FEET FROM LIGHT POLE UNLESS POLES ARE BELOW THE TREE CANOPY.

A 4" SETBACK IS REQUIRED FOR TREES AND LIGHT POLES. IF PROPOSING CURB AND GUTTER, A 6 FEET SETBACK IS REQUIRED FOR VALLEY CURB.

ALL WATER METERS ARE CLEAR OF PLANTS. AT LEAST 5 FEET AROUND THE METER.

Landscape Plan



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Isla Verde Residential
Wellington Isles, LLC
Village of Wellington, Florida

DESIGNED	DEH
DRAWN	MCR
APPROVED	DEH
JOB NUMBER	04-1216.03
DATE	10-17-13
REVISIONS	12-16-13

LANDSCAPE SPECIFICATIONS

1.0 GENERAL LANDSCAPE WORK

GENERAL WORK INCLUDES, BUT IS NOT LIMITED TO SOIL PREPARATION, FINISH GRADING, FURNISHING AND INSTALLING PLANT MATERIAL, WATERING, STAKING, GUYING AND MULCHING.

1.1 PLANT SIZE AND QUANTITY

PROVIDE SIZES OF PLANTS AS SHOWN OR SCHEDULED, CONFORMING TO ANSI Z60.1 "STANDARD FOR NURSERY STOCK" FOR SHAPE AND QUALITY AND GRADE AND STANDARDS FOR NURSERY PLAN VOL. I AND II F.D.A. ALL PLANTS SHALL BE EQUAL TO FLORIDA NO. 1 OR BETTER.

1.2 THE CONTRACTOR SHALL ACQUANT HIMSELF/HERSELF WITH THE PLANS AND SITE CONDITIONS AND SHALL VERIFY ALL UTILITY LOCATIONS IN FIELD.

1.3 WARRANTY PLANTS, SHRUBS AND TREES FOR A PERIOD OF 365 DAYS AGAINST DEATH AND UNHEALTHY CONDITIONS INCLUDING WHITE FLY, EXCEPT AS MAY RESULT FROM NEGLECT BY OWNER, DAMAGE BY OTHERS AND UNUSUAL PHENOMENA BEYOND INSTALLERS CONTROL. REPLACE AT TIME REQUESTED BY OWNER OR LANDSCAPE ARCHITECT.

1.4 FERTILIZER BACKFILL MIX FOR TREES AND SHRUBS SHALL CONSIST OF MILORGANITE ACTIVATED SLUDGE MIXED WITH THE BACKFILL AT A RATE OF NOT LESS THAN 50 LBS. PER CUBIC YARD.

1.5 FERTILIZER FOR TREES AND SHRUBS SHALL BE A TOP DRESS APPLICATION AND SHALL BE GRANULAR, UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS: 16% NITROGEN, 7% PHOSPHOROUS, 12% POTASSIUM, PLUS IRON. TABLET FERTILIZER (AGRIFORM OR EQUAL) IN 21 GRAM SIZE SHALL MEET THE FOLLOWING REQUIREMENTS: 20% NITROGEN, 10 % PHOSPHOROUS AND 5% POTASSIUM.

THE TWO FERTILIZERS WILL BE APPLIED AT THE FOLLOWING RATE:

PLANT SIZE	16-7-12	AGRIFORM
TABLETS (21 GRAMS)		
1 GAL	1/4 LB.	1
3 GAL	1 1/8 LB.	2
7-15 GAL	12 LB.	4
1"-8" CALIPER	2 LBS./ 1" CALIPER	2 1/1" CALIPER
6" CALIPER OR LARGER	3 LBS./ 1" CALIPER	2 1/1" CALIPER

"FLORIDA EAST COAST PALM SPECIAL" SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 12 LB. PER INCH OF TRUNK DIAMETER UNLESS OTHERWISE SPECIFIED.

1.6 FIELD GROWN TREES AND PALMS PREVIOUSLY ROOT PRUNED SHALL OBTAIN A ROOT BALL WITH SUFFICIENT ROOTS FOR CONTINUED GROWTH WITHOUT RESULTING SHOCK.

1.7 SABAL PALM TREES THAT HAVE BEEN "CIGAR-HEADED" OR HEAVILY PRUNED MAY BE USED.

1.8 CONTRACTOR SHALL NOT MARK OR SCAR THE TRUNK IN ANY FASHION.

2.0 PLANTING TREES

2.1 EXCAVATE PIT TO 1-1/2 TIMES THE DIAMETER OF THE ROOT BALL AND NOT LESS THAN 8" DEEPER. COMPACT A LAYER OF TOPSOIL IN THE PIT TO PROPERLY LOCATE PLANT WITH A SLIGHTLY DISHED FINISH GRADE. BACKFILL AROUND BALL WITH TOPSOIL, COMPACTED TO ELIMINATE VOIDS AND AIR POCKETS. WATER THOROUGHLY AS BACKFILL LAYERS ARE PLACED. BUILD A 6" HIGH BERM OF TOPSOIL BEYOND EXCAVATION. APPLY 3" MULCH OF CLASS "A" SHREDDED CYPRESS PLANTING MULCH.

2.2 PRUNE TREES TO REMOVE DAMAGED BRANCHES AND IMPROVE NATURAL SHAPE. DO NOT REMOVE MORE THAN 15% OF BRANCHES OR PRUNE BACK TERMINAL LEADER.

2.3 GUY AND STAKE TREE IN THREE DIRECTIONS WITH GALVANIZED WIRE, THROUGH FLEXIBLE HOSE OR CHAFING GUARDS, IN ACCORDANCE WITH THE DETAILS IMMEDIATELY AFTER THE PLANTING.

3.0 PLANTING SHRUBS

3.1 LAYOUT SHRUBS TO CREATE A CONTINUOUS SMOOTH FRONT LINE AND FILL IN BEHIND.

3.2 EXCAVATE PIT OR TRENCH TO 1-1/2 TIMES THE DIAMETER OF THE BALLS OR CONTAINERS OR 1'-0" WIDER THAN THE SPREAD OF ROOTS AND 3" DEEPER FOR POSITIONING AT PROPER HEIGHT. COMPACT A LAYER OF TOPSOIL IN BOTTOM BEFORE PLACING PLANTS. BACKFILL AROUND PLANTS WITH TOPSOIL, COMPACTED TO ELIMINATE VOIDS AND AIR POCKETS. FORM GRADE SLIGHTLY DISHED AND BERMED AT EDGES OF EXCAVATION. APPLY 3" MULCH OF CLASS "A" CYPRESS PLANTING MULCH.

3.3 PRUNE SHRUBS TO REMOVE DAMAGED BRANCHES AND IMPROVE NATURAL SHAPE. DO NOT REMOVE NOT MORE THAN 15% OF BRANCHES.

4.0 PLANTING GROUND COVERS AND ANNUALS

4.1 LOOSEN SUBGRADE TO DEPTH OF 4" (IN AREAS WHERE TOPSOIL HAS BEEN STRIPPED), AND SPREAD SMOOTH.

4.2 SPACE PLANTS AS OTHERWISE INDICATED. DIG HOLES LARGE ENOUGH TO ALLOW FOR SPREADING ROOTS. COMPACT BACKFILL TO ELIMINATE VOIDS AND LEAVE GRADE SLIGHTLY DISHED AT EACH PLANT. WATER THOROUGHLY. APPLY 3" MULCH OF SHREDDED CLASS "A" CYPRESS PLANTING MULCH OVER ENTIRE PLANTING BED, LIFTING PLANT FOLIAGE ABOVE MULCH. ANNUALS MAY BE PLANTING AFTER MULCH IS SPREAD.

4.3 DURING PERIODS OF HOT SUN AND/OR WIND AT TIME OF PLANTING, PROVIDE PROTECTIVE COVER FOR SEVERAL DAYS OR AS REQUIRED.

5.0 PLANTING LAWN

5.1 SOD

CLEAN, STRONGLY ROOTED, UNIFORM SIZED STRIPS OF SAND BASE STENOCTAPHRUM SECUNDATUS "FLORITAM" MACHINE STRIPPED NOT MORE THAN 24 HOURS PRIOR TO LAYING. SOD TO BE FREE OF WEEDS, FUNGUS, INSECTS AND DISEASES.

5.2 LOOSEN SUBGRADE TO DEPTH OF 4" AND GRADE TO FINISH DESIGN ELEVATIONS.

5.3 FINE GRADE OR HAND RAKE LAWN SURFACE TO INSURE POSITIVE DRAINAGE. WATER THOROUGHLY BUT NOT CREATE MUDDY SOIL CONDITIONS.

5.4 LAY SOD STRIPS WITH TIGHT JOINTS. ROLL OR TAMP LIGHTLY AND WATER THOROUGHLY.

6.0 MISCELLANEOUS LANDSCAPE WORK

6.1 LANDSCAPE MAINTENANCE

MAINTAIN LANDSCAPE WORK UNTIL THE LETTER OF SUBSTANTIAL COMPLETION BY THE OWNER OR GENERAL CONTRACTOR IS ISSUED. INCLUDE WATERING, WEEDING, CULTIVATING, ADJUSTMENT OF STAKES, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS (AT LEAST ONCE PER WEEK), PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES AND SIMILAR OPERATIONS AS NEEDED TO INSURE GROWTH AND GOOD HEALTH FOR LIVE PLANT MATERIAL.

6.2 PLANT MATERIAL SUBSTITUTIONS

NO SUBSTITUTIONS OF PLANT MATERIAL, TYPE OR SIZE WILL BE PERMITTED WITHOUT WRITTEN AUTHORIZATION FROM THE VILLAGE OF WELLINGTON. THE LANDSCAPE ARCHITECT AND THE OWNER.

PLANT LIST

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	REMARKS
BB	26	BUCIDA BUCERAS 'SHADY LADY'	SHADY LADY BLACK OLIVE	N.A.	4"Cal	16' HT. X 7" SPRD.	N	FULL CANOPY
BS*	33	BURSERA SIMARUBA	GUMBO LIMBO	N.A.	4"Cal	16' HT. X 7" SPRD.	Y	FULL CANOPY
CA	29	CALOPHYLLUM BRASILIENSE	BRAZILIAN BEAUTYLEAF	N.A.	4"Cal	16' HT. X 7" SPRD.	N	FULL CANOPY
CLDS	3	CLUSIA GUTTIFERA	CLUSIA TREE	N.A.	4"Cal	16' HT. X 7" SPRD.	N	FULL CANOPY
CES2*	3	CONOCARPUS ERECTUS SERICEUS	SILVER BUTTWOOD TREE	15 gal	1.5"Cal	5' HT., 4" SPRD	Y	FULL CANOPY
FD	22	FELICULM DECIPENS	JAPANESE FERN TREE	65 gal	3"Cal	8' O.A. X 7' SPRD.	N	FULL CANOPY
GS	2	GARCINIA SPICATA	GARCINIA	15 gal	1.5"Cal	5' HT., 4" SPRD	N	FULL & THICK, MATCHED
IC	27	ILEX CASSINE	DAHOON HOLLY	15 gal	3.5"Cal	16' HT. X 7' SPRD.	Y	FULL CANOPY
IE*	17	ILEX 'EAST PALATKA'	EAST PALATKA HOLLY	N.A.	3.5"Cal	16' HT. X 7' SPRD.	Y	FULL TO BASE
JS*	14	JUNIPERUS VIRGINIANA SILICICOLA	SOUTHERN RED CEDAR	N.A.	3.5"Cal	16' HT. X 7' SPRD.	Y	FULL TO BASE
LJ30	92	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	30 gal	MULTI TRUNK	6' HT. X 5-6' SPRD.	N	FULL CANOPY, LIMB-UP
LJ45	5	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	65 gal	2.5"Cal	8' O.A. X 7' SPRD.	N	FULL CANOPY, MULTI-STEM, LIMB UP
MDM*	48	MAGNOLIA GRANDIFLORA 'D.D. BLANCHARD' TM	MAGNOLIA	N.A.	4"Cal	16' HT. X 7' SPRD.	Y	FULL CANOPY
MC*	3	MYRICA CERIFERA	WAX MYRTLE	N.A.	4"Cal	16' HT. X 7' SPRD.	Y	FULL CANOPY, LIMB-UP 4' MIN., MULTI
QV*	139	QUERCUS VIRGINIANA	LIVE OAK	N.A.	5"Cal	16' HT. X 7' SPRD.	Y	FULL CANOPY, 5' C.T. MIN.
QV1*	4	QUERCUS VIRGINIANA	LIVE OAK	N.A.	6"Cal	20' HT., 8'-10' SPD.	Y	SPECIMEN, FULL CANOPY, CHARACTER
TD*	28	TAXODIUM DISTICHUM	BALD CYPRESS	N.A.	2.5"Cal	10' O.A.	Y	FULL

FLOWERING TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	REMARKS
BUL	3	BULNESIA ARBorea	BULNESIA TREE	N.A.	3.5"Cal	16' HT. X 7' SPRD.	N	FULL CANOPY
DR	50	DELONIX REGIA	ROYAL POINCIANA	N.A.	4"Cal	16' HT. X 7' SPRD.	N	FULL CANOPY
JAT	30	JATROPHA STANDARD	JATROPHA	15 gal	1.5"Cal	5' HT., 4" SPRD	N	FULL, SPECIMEN, 2.5" C.T. TIGHT HEADS
TA	33	TABEUIA CARAIBA	YELLOW TABEUIA	65 gal	3"Cal	10'-12' HT. x 6' SPD.	N	FULL CANOPY, SPECIMEN
TU	34	TIBOUCHINA GRANULOSA	GLORYBUSH	15 gal	1.5"Cal	5' HT., 4" SPRD	N	FULL CANOPY, SPECIMEN

PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	REMARKS
AW*	1	ACOLORHAPHIE WRIGHTII	PAUKOTIS PALM	N.A.	MULTI TRUNK	10' O.A.	Y	FULL CLUMP, CLEAN BASE
PEAL	17	ARCHONTOPHOENIX ALEXANRAE	ALEXANDER PALM	N.A.	N.A.	12' O.A.	N	SINGLE TRUNK
PEA3	11	ARCHONTOPHOENIX ALEXANRAE	ALEXANDER PALM	N.A.	N.A.	12' O.A.	N	TRIPLE TRUNK
BS	7	BISMARCKIA NOBILIS 'SILVER'	BISMARCK PALM	N.A.	N.A.	18' O.A.	N	FULL CANOPY, MATCHED
CH	12	CHAMAEROPS HUMILIS	EUROPEAN FAN PALM	45 gal	N.A.	4'-5' O.A.	N	MULTI TRUNK, FULL CANOPY
CG	5	COCOS NUCIFERA 'GREEN MALAYAN'	COCONUT PALM	N.A.	N.A.	15' CT, 30' O.A.	N	STRAIGHT TRUNK, FULL CANOPY
CH	4	COCOS NUCIFERA 'MALAYAN'	COCONUT PALM	N.A.	N.A.	10'-11' MIN.	N	FULL CANOPY, CURVED TRUNK
LD	41	LVISTONIA DECIPENS	RIBBON PALM	N.A.	N.A.	18'-24' O.A.	N	FULL CANOPY, STRAIGHT TRUNK, STAGGERED HEIGHTS
PRR	1	PHOENIX HYBRID RECLINATA x ROEBELINII	RECLINATA ROEBELINII CROSS	N.A.	N.A.	15' X 15'	N	COLLECTED SPECIMEN, FULL SYMMETRICAL, 8 TRUNK MIN.
PHR	3	PHOENIX RECLINATA	SENEGAL DATE PALM	FIELD GROWN	N.A.	20' X 20' MIN	N	FULL & THICK, SYMMETRICAL, 9 CANES MIN, FLORIDA FANCY
PR	122	PHOENIX ROEBELINII	PYGMY DATE PALM	25 gal	N.A.	5' O.A., 5' SPRD	N	MULTI-TRUNK, FULL CANOPY, 3 TRUNK MIN.
PHS	31	PHOENIX SYLVESTRIS	STYLSTER DATE PALM	N.A.	N.A.	16' CT	N	STRAIGHT TRUNK, FULL CANOPY, MATCHED, DIAMOND CUT
RE*	87	ROYSTONIA REGIA	ROYAL PALM	N.A.	N.A.	22' GW	Y	MATCHED, SIZES VARY ACCEPT WHERE NOTED ON PLAN
SP*	354	SABAL PALMETTO	SABAL PALMETTO	N.A.	N.A.	18', 22', 26' O.A. STGG.	Y	SLICK, STRAIGHT TRUNK. SIZES VARY ACCEPT WHERE NOTED ON PLAN
SP2*	8	SABAL PALMETTO	CURVED CABBAGE PALM	N.A.	N.A.	18', 22', 26' O.A. STGG.	Y	STRONG, UNIQUE CURVES, SLICK TRUNKS
TM*	7	THRINAX RADATA	THATCH PALM	15 gal	N.A.	4'-5' HT. X 5' SPRD.	Y	FULL & THICK
AD3	5	VEITCHIA MERRILLII	CHRISTMAS PALM	30 gal	N.A.	10' O.A.	N	TRIPLE STEM, FULL CANOPY, MATCHED
AD2	6	VEITCHIA MERRILLII	CHRISTMAS PALM	30 gal	N.A.	10' O.A.	N	FULL CANOPY, DOUBLE TRUNK
VM2	41	VEITCHIA MONTGOMERYANA	MONTGOMERY PALM	65 gal	N.A.	18' O.A.	N	DOUBLE TRUNK, FULL CANOPY
VM3	44	VEITCHIA MONTGOMERYANA	MONTGOMERY PALM	65 gal	N.A.	18' O.A.	N	TRIPLE TRUNK, FULL CANOPY
VM1	136	VEITCHIA MONTGOMERYANA	MONTGOMERY PALM	65 gal	N.A.	18' O.A.	N	SINGLE TRUNK, FULL CANOPY

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACE	NATIVE	REMARKS
AV	42	ALPINA ZERUMBER 'VARIEGATA'	VARIEGATED SHELL GINGER	7 gal	3' X 3'	4' O.C.	N	FULL
CC	1	CHAMAEDOREA CATARACTRUM	CAT PALM	7 gal	4' X 4'	A.S.	N	FULL & THICK
CT3	486	CORDYLINE TERMINALIS 'AUNTIE LOU'	AUNTIE LOU TI PLANT	3 gal	3' X 3'	A.S.	N	FULL & THICK, FLORIDA FANCY
AR	81	ACOECHMA BLANCHETIANA 'RASBERRY'	RASBERRY BROMELIAD	3 gal	2' X 2'	A.S.	N	FULL & THICK, SUN GROWN
AI	16	ALCANTAREA IMPERIALIS	IMPERIAL BROMELIAD	15 gal	2' X 2'	A.S.	N	MATCHED, SPECIMEN, FLORIDA FANCY
BG	5	BOUGAINVILLEA 'PALM BEACH PURPLE'	PALM BEACH PURPLE BOUGAINVILLEA	N.A.	3' X 3' BUSH	A.S.	N	FULL, SPECIMEN, DENSE FOLIAGE ONLY
CI7*	32	CHRYSOBALANUS ICACO	COCO PLUM	7 gal	3' X 3'	3' O.C.	Y	FULL
CS1	191	CLUSIA GUTTIFERA	CLUSIA	15 gal	5' HT X 4' SPRD.	4' O.C.	N	FULL & THICK
CS2	1,209	CLUSIA GUTTIFERA	CLUSIA	25 gal	6' HT. X 5' SPRD.	5' O.C.	N	FULL & THICK
CV7	202	CODIAEUM VARIEGATUM	CROTON	7 gal	3' X 3'	A.S.	N	FULL
CA	108	CRINUM AUGUSTUM	QUEEN EMMA CRINUM LILY	15 gal	3' X 3'	A.S.	N	FULL & THICK
DRAM	28	DRAECAENA FARGESIANA	DRAECAENA	7 gal	N.A.	N.A.	N	FULL
SO1	30	DRAECAENA REFLEXA	SONG OF INDIA	5 gal	N.A.	N.A.	N	FULL
HIB	165	HIBISCUS ROSA-SINENSIS 'SEMINOLE PINK'	PINK HIBISCUS	7 gal	4' HT., 2' SPRD	A.S.	N	FULL & THICK TO BASE
LP	9	LOROPETALUM CHINENSE F. RUBRUM 'RUBY'	LOROPETALUM 'RUBY'	3 gal	1.5' X 1.5'	2' O.C.	N	FULL & THICK
MD	9	MONSTERA DELICIOSA	SPLIT LEAF PHILODENDRON	3 gal	3' X 3'	A.S.	N	FULL & THICK, FLORIDA FANCY
SS7*	474	MYRSANTHES FRAGRANS	SIMPSON 'S STOPPER	7 gal	3' X 2'	2.5' O.C.	Y	FULL
SS3*	320	MYRSANTHES FRAGRANS	SIMPSON 'S STOPPER	3 gal	2' X 2'	2' O.C.	Y	FULL
MC1+*	286	MYRICA CERIFERA	WAX MYRTLE	25 gal	6' HT. X 5' SPRD.	5' O.C.	Y	SHRUB FORM, FULL & THICK
NT2	21	NEOREGELIA X 'TANGO MANGO'	TANGO MANGO BROMELIAD	3 gal	1' X 1' MIN.	N.A.	N	FULL, BULLIS BROMELIAD, SHADE GROWN
CS1	33	NEOREGELIA X 'TEQUILA'	TEQUILA BROMELIAD	3 gal	1' X 1' MIN.	N.A.	N	FULL, SHADE GROWN, BULLIS BROMELIAD
PDM	10	PODOCARPUS MAKII	PODOCARPUS	25 gal	6' HT. X 2' SPRD.	2' O.C.	N	FULL & THICK
P07	658	PODOCARPUS MAKII	PODOCARPUS	7 gal	3' X 2'	2' O.C.	N	FULL & THICK
RE	22	RHAPIS EXCELSA	LADY PALM	7 gal	5' O.A.	A.S.	N	FULL
SR	36	STRELITZIA REGINAE	ORANGE BIRD OF PARADISE	7 gal	3' X 3'	A.S.	N	FULL & THICK, FLORIDA FANCY
V53	899	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	3 gal	2' X 2'	2' O.C.	N	FULL & THICK
V57	342	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	7 gal	3' X 3'	3' O.C.	N	FULL

SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACE	NATIVE	REMARKS
CI*	7,463	CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCOPLUM	3 gal	18" X 18"	2' O.C.	Y	FULL & THICK
CV3	54	CODIAEUM	CROTON	7 gal	2.5' X 2.5'	A.S.	N	FULL & THICK
HPC*	6,692	HAMELIA PATENS 'COMPACTA'	DWARF FIREBUSH	3 gal	18" X 18"	2' O.C.	Y	FULL & THICK
IX	259	IKORA 'NOKA GRANT'	PINK IKORA	3 gal	18" X 18"	2' O.C.	N	FULL & THICK
MJH	2,688	MUELENBERGIA CAPILLARIS	PINK MIMLY GRASS	3 gal	18" X 18"	2' O.C.	N	FULL & THICK
SS1*	534	MYRSANTHES FRAGRANS	SIMPSON 'S STOPPER	3 gal	18" X 18"	2' O.C.	Y	FULL & THICK
SB*	484	SPARTINA BAKERI	SPARTINA GRASS	3 gal	3' HT. X 2' SPRD.	2' O.C.	Y	FULL & THICK
TD*	1,104	TRIPSACUM DACTYLOIDES	FAKAHATCHEE GRASS	3 gal	2' X 2'	3' O.C.	Y	FULL

GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACE	NATIVE	REMARKS
ANN	1,955	ANNUALS	ANNUALS	4"pot	N.A.	9" O.C.	N	IMPATIENS-WINTER, BEGONIAS-SUMMER
FF	448	ASPARAGUS DENSIFLORUS	FOTAIL FERN	12" x 12"	2' O.C.	N	FULL & THICK	
B82	131	BROMELIA	TBD	3 gal	TBD	2' O.C.	N	SPECIMEN BROMELIAD MIXTURE BY LA
BFH	378	BULBINE FRUTESCENS 'HALMRAK'	BULBINE	1 gal	12" x 12"	12" O.C.	N	FULL, YELLOW FLOWERS
CV1	476	CODIAEUM VARIEGATUM ELEANOR ROOSEVELT	ELEANOR ROOSEVELT CROTON	3 gal	18" X18"	2' O.C.	N	FULL & THICK
CF	35	CODIAEUM VARIEGATUM 'FRANKLIN ROOSEVELT'	FRANKLIN ROOSEVELT CROTON	3 gal	N.A.	N.A.	N	FULL & THICK
CV2	753	CODIAEUM MANNY	CROTON MANNY	3 gal	18" X18"	2' O.C.	N	FULL & THICK
CV4	211	CODIAEUM X 'MAGNIFICENT'	MAGNIFICENT CROTON	7 GAL	10" X 30"	2.5' O.C.	N	FULL & THICK
DE	1,623	DURANTA ERECTA	GOLD MOUND DURANTA	3 gal	12" x 12"	2' O.C.	N	FULL
FG	8,809	FICUS MACROPHYLLA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 gal	12" x 12"	2' O.C.	N	FULL & THICK
IV*	5,885	ILEX VOMITOKIA 'STOKES DWARF'	DWARF YAUPOIN HOLLY	3 gal	12" x 12"	2' O.C.	Y	FULL & THICK
JS	14	JASMINUM SIMPLICIFOLIUM	WAX JASMINE	7 GAL	2' X 2'	2' O.C.	N	FULL & THICK
WC*	539	PSYCHOTRIA NERVOSEA	DWARF PODOCARPUS	3 gal	18" X18"	2' O.C.	Y	FULL & THICK
R1	20	RAPHIOLEPIS INDICA	INDIAN HAWTHORNE	3 gal	18" X18"	2' O.C.	Y	FULL & THICK
SAV	4,292	SCHEFFLERA ARBORESCOLA 'TRINETTE'	DWARF VARIEGATED SCHEFFLERA	1 gal	18" X18"	2' O.C.	N	FULL & THICK
JM	3,911	TRACHELOSPERMUM ASIATICUM 'MINIMA'	MINIMA JASMINE	1 gal	6" X 12"	12" O.C.	N	FULL
TD*	447	TRIPSACUM FLORIDANA	DWARF FAKAHATCHEE GRASS	3 gal	2' X 2'	2' O.C.	Y	FULL & THICK

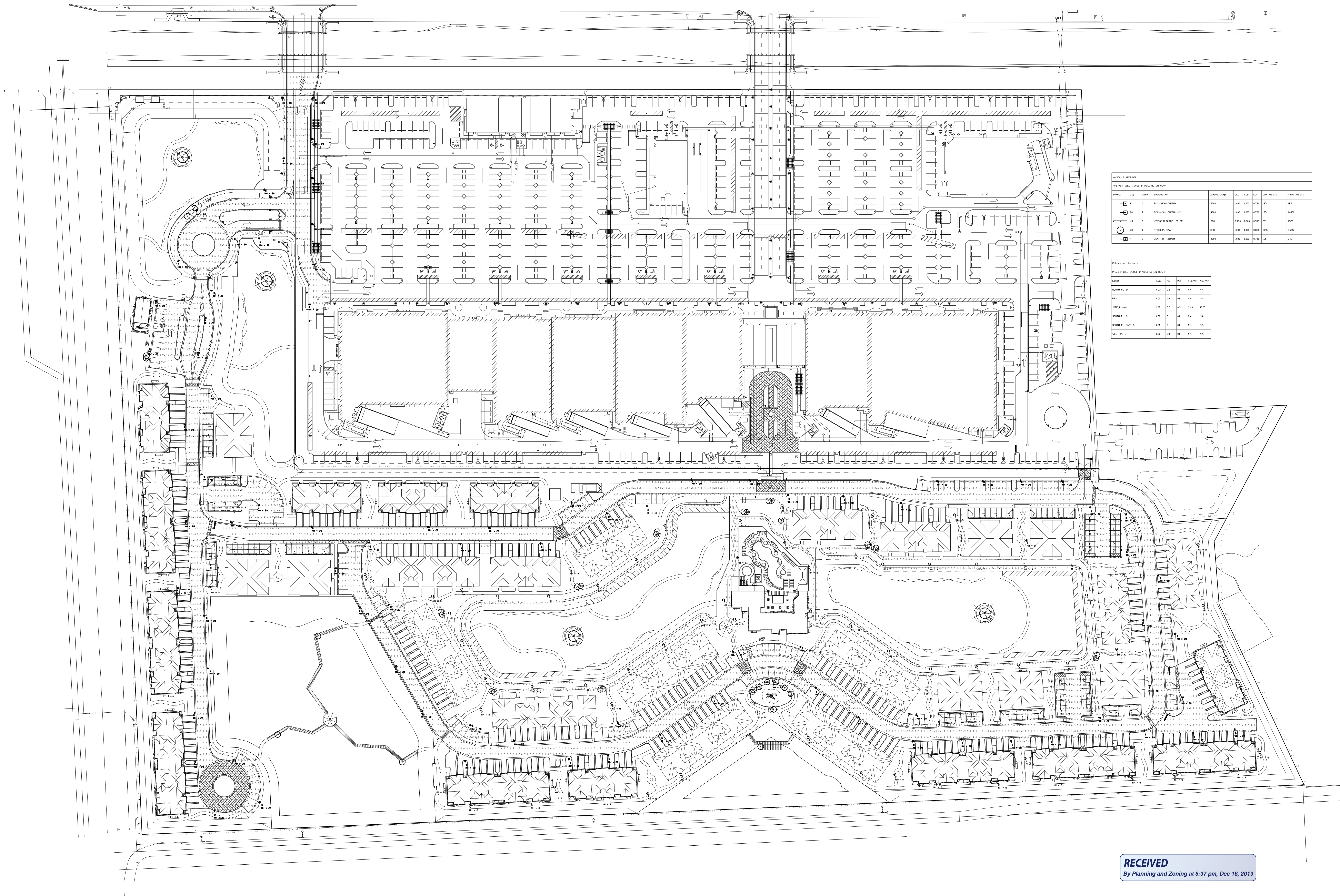
LANDSCAPE NOTES

ALL PLANT MATERIAL SHALL BE FLORIDA NUMBER 1 OR BETTER AS DEFINED BY THE DIVISION OF PLANT INDUSTRY FLORIDA GRADES AND STANDARDS LATEST EDITION.

ALL LANDSCAPE SHALL CONFORM TO THE REQUIREMENTS OF THE VILLAGE OF WELLINGTON LAND DEVELOPMENT REGULATIONS. THE VILLAGE OF WELLINGTON LANDSCAPE CODE (LDRS) SHALL GOVERN IN THE EVENT OF A CONFLICT.

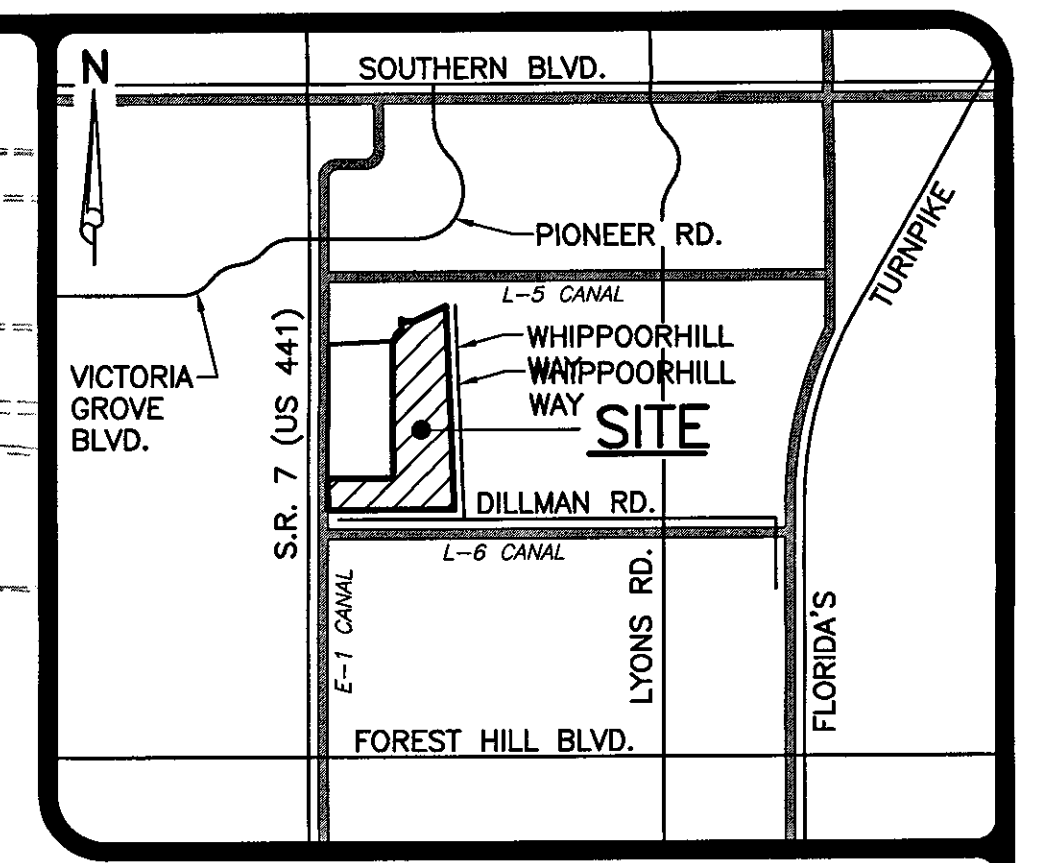
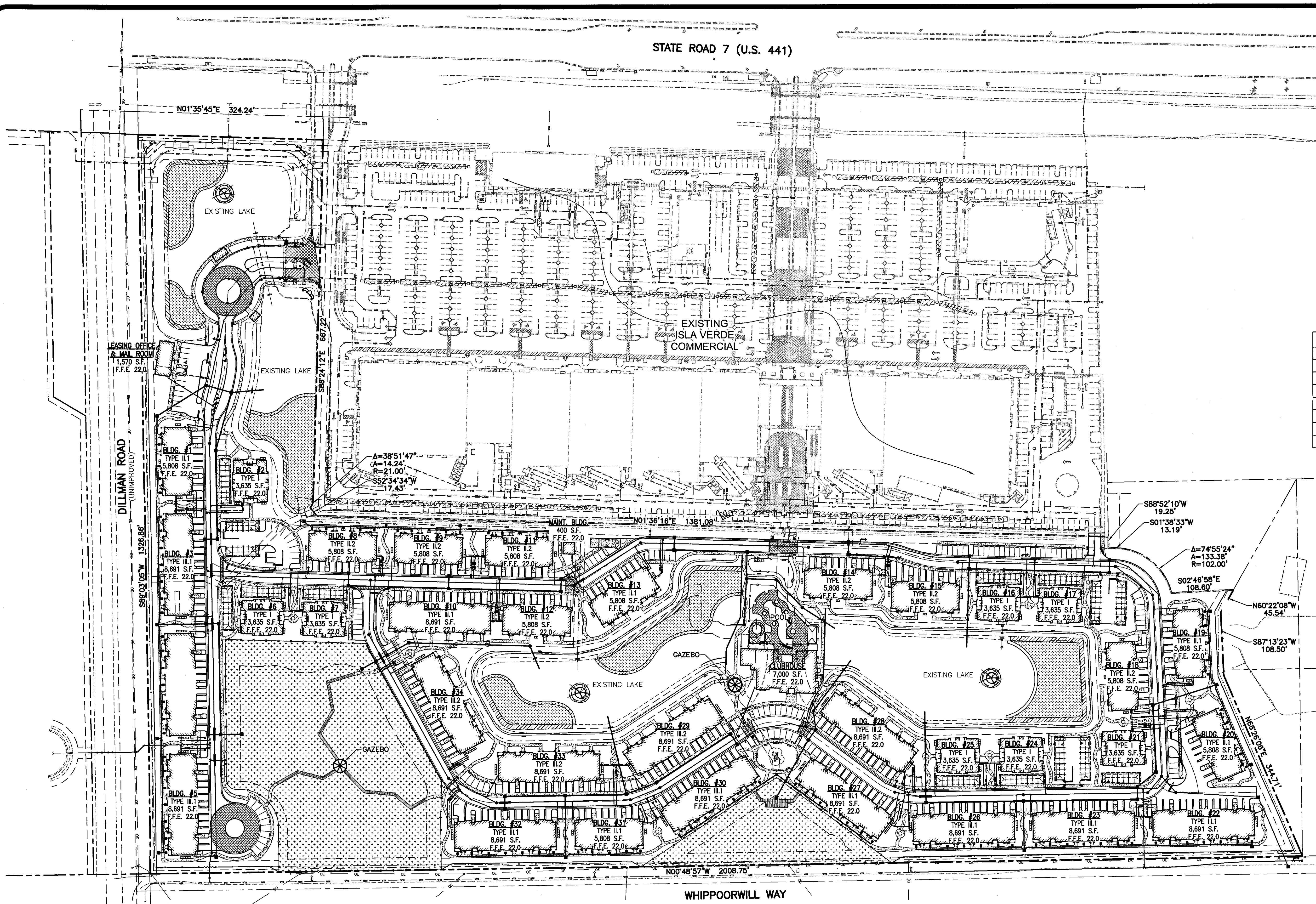
THE LANDSCAPE CONTRACTOR SHALL NOT MAKE ANY SUBSTITUTIONS AND/OR CHANGES WITHOUT THE AUTHORIZATION OF VILLAGE OF WELLINGTON, THE OWNER AND THE LANDSCAPE ARCHITECT.

THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT DRAINAGE AND UTILITY PLANS PRIOR TO CONSTRUCTION AND AVOID ALL CONFLICTS. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION

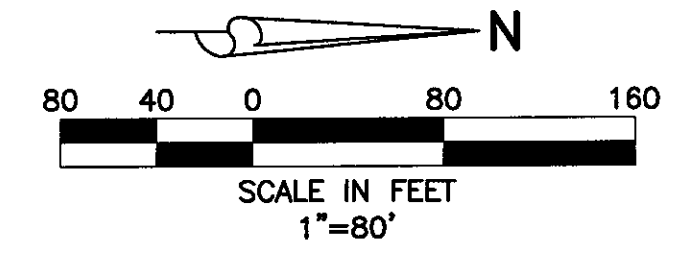


Luminaire Schedule							
Project: TELE VERDE @ WELLINGTON REVA							
Symbol	Qty	Label	Description	Luminaire/Lamp	LLS	LLF	Total Watts
	1	C	CEAH-FH-100PMH	1400	1.00	1.00	1750
	8	B	CEAH-3H-100PMH-6	1400	1.00	1.00	1750
	1	F	VF-400-1040-100-CP	1700	0.90	0.90	2700
	3	D	FM-100-PL-40V	3000	1.00	1.00	4800
	4	G	CEAH-3H-100PMH	1400	1.00	1.00	1750

Calculation Summary					
Project: TELE VERDE @ WELLINGTON REVA					
Label	Area	Per	Per	Per/Per	Per/Per
NORTH PL. 6+	800	0.2	0.0	NA	NA
PMV	0.0	0.0	0.0	NA	NA
SITE PLANT	1.00	0.0	0.3	3.00	10.00
SOUTH PL. 6+	0.0	0.1	0.0	NA	NA
SOUTH PL. EAST 6	0.0	0.1	0.0	NA	NA
WEST PL. 6+	0.0	0.0	0.0	NA	NA



SECTION 6 & 7, TOWNSHIP 44S., RANGE 42E.
LOCATION MAP
NOT TO SCALE



UNIT MIX SUMMARY				
UNIT TYPE	BED	BATH	A/C sq/ft	UNIT COUNT
A	1	1	792	96
B	2	2.5	1,268	80
BE	2	2.5	1,268	52
C	2	2.5	1,326	26
D	3	2.5	1,540	80
E	4	3.5	2,102	26
TOTALS				360

BUILDING TYPE NO. OF BUILDINGS	
TYPE I	8
TYPE II	12
TYPE III	14
TOTAL	34

RECEIVED

By Planning and Zoning at 5:37 pm, Dec 16, 2013

1.) GENERAL REVISIONS PER LATEST SITE PLAN, 12/11/13 D.B.

REVISIONS

SIMMONS & WHITE

ENGINEERING & PLANNING CONSULTING SINCE 1982

5601 Corporate Way • Suite 200 • West Palm Beach, Florida 33407 • (561) 478-7848

DESIGN

G.B.

DRAWN

D.B.

CHECKED

APPROVED

DATE

ISLE VERDE RESIDENTIAL

SECTION 6 & 7, TOWNSHIP 44S., RANGE 42E.

VILLAGE OF WELLINGTON, FLORIDA

CONCEPTUAL PAVING, DRAINAGE,

WATER & WASTEWATER PLAN

JOB NO.

13-107

DRAWING NO.

13107C01

SHEET

1

OF

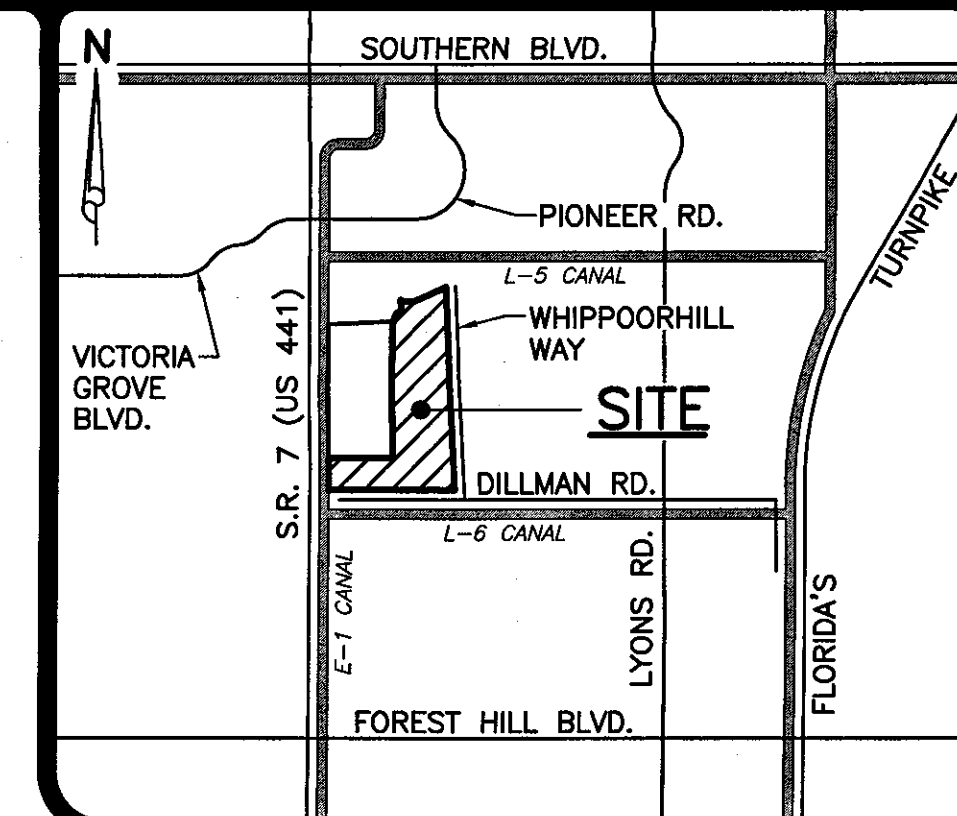
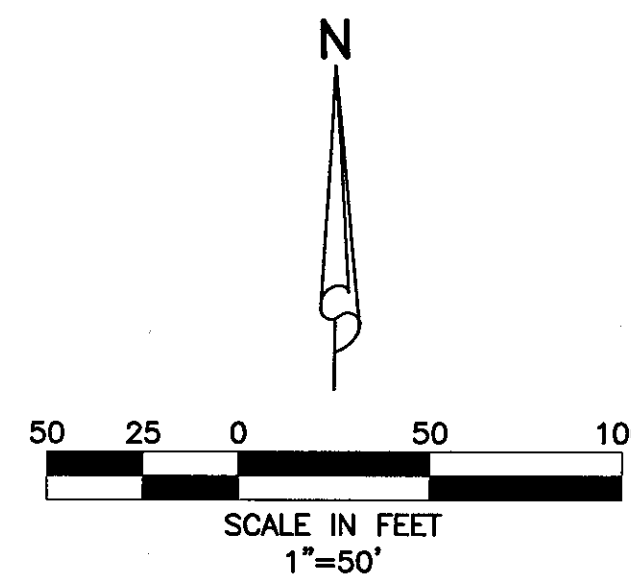
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LEGEND

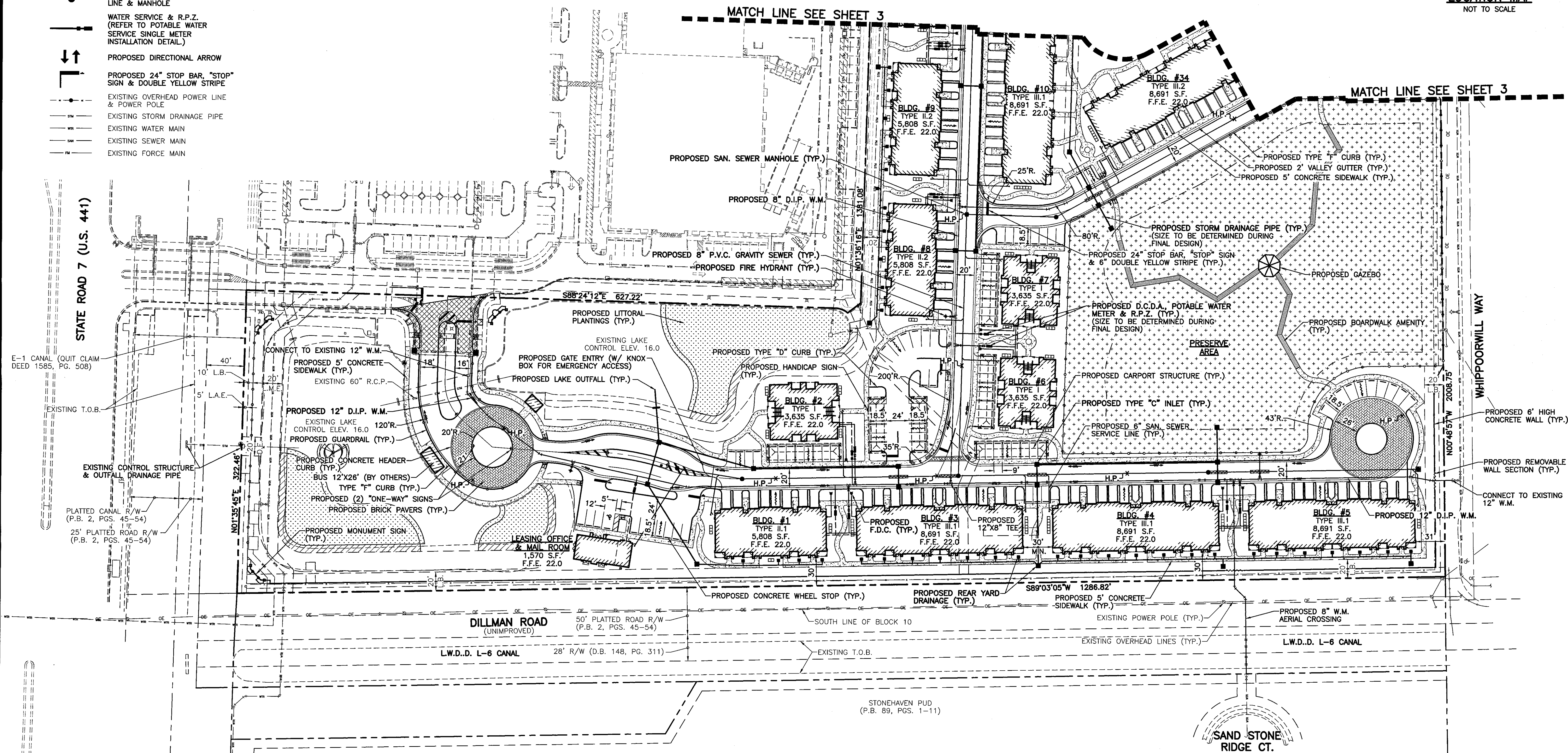
- PROPOSED STORM SEWER AND CATCH BASIN
- PROPOSED STORM SEWER AND CATCH BASIN
- DIRECTION OF FLOW
- DIRECTION OF SWALE
- H.P.
- EXISTING GRADE ELEVATION
- PROPOSED BRICK PAVERS
- PROPOSED CONCRETE
- SINGLE SEWER SERVICE W/ CLEAN-OUT
- DOUBLE SEWER SERVICE W/ CLEAN-OUT
- FIRE HYDRANT W/ GATE VALVE
- PROPOSED SANITARY SEWER LINE & MANHOLE
- WATER SERVICE & R.P.Z. (REFER TO POTABLE WATER SERVICE SINGLE METER INSTALLATION DETAIL.)
- PROPOSED DIRECTIONAL ARROW
- PROPOSED 24" STOP BAR, "STOP" SIGN & DOUBLE YELLOW STRIPE
- EXISTING OVERHEAD POWER LINE & POWER POLE
- EXISTING STORM DRAINAGE PIPE
- EXISTING WATER MAIN
- EXISTING SEWER MAIN
- EXISTING FORCE MAIN

NOTES:

- THIS DESIGN IS CONCEPTUAL AND SUBJECT TO CHANGE BASED ON FINAL DESIGN.
- ALL WATER AND WASTEWATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH PALM BEACH COUNTY WATER UTILITIES DEPARTMENT AND THE PALM BEACH COUNTY HEALTH DEPARTMENT. EASEMENTS TO BE DEDICATED TO P.B.C.W.U.D. 10' EACH SIDE OF ALL WATER AND SEWER TO POINT OF SERVICE (NOT SHOWN FOR CLARITY).
- LOCATIONS OF WATER AND SANITARY SEWER SERVICES, DRAINAGE STRUCTURES AND PIPES AND OTHER STRUCTURES TO BE COORDINATED WITH LANDSCAPE DESIGN DURING PREPARATION OF FINAL CIVIL ENGINEERING PLANS.
- DRAINAGE SYSTEM DESIGN SHALL BE IN ACCORDANCE WITH S.F.W.M.D. PERMIT NO. 50-07631-P, L.W.D.D. AND VILLAGE OF WELLINGTON CRITERIA.



SECTION 6 & 7, TOWNSHIP 44S., RANGE 42E.
LOCATION MAP
NOT TO SCALE



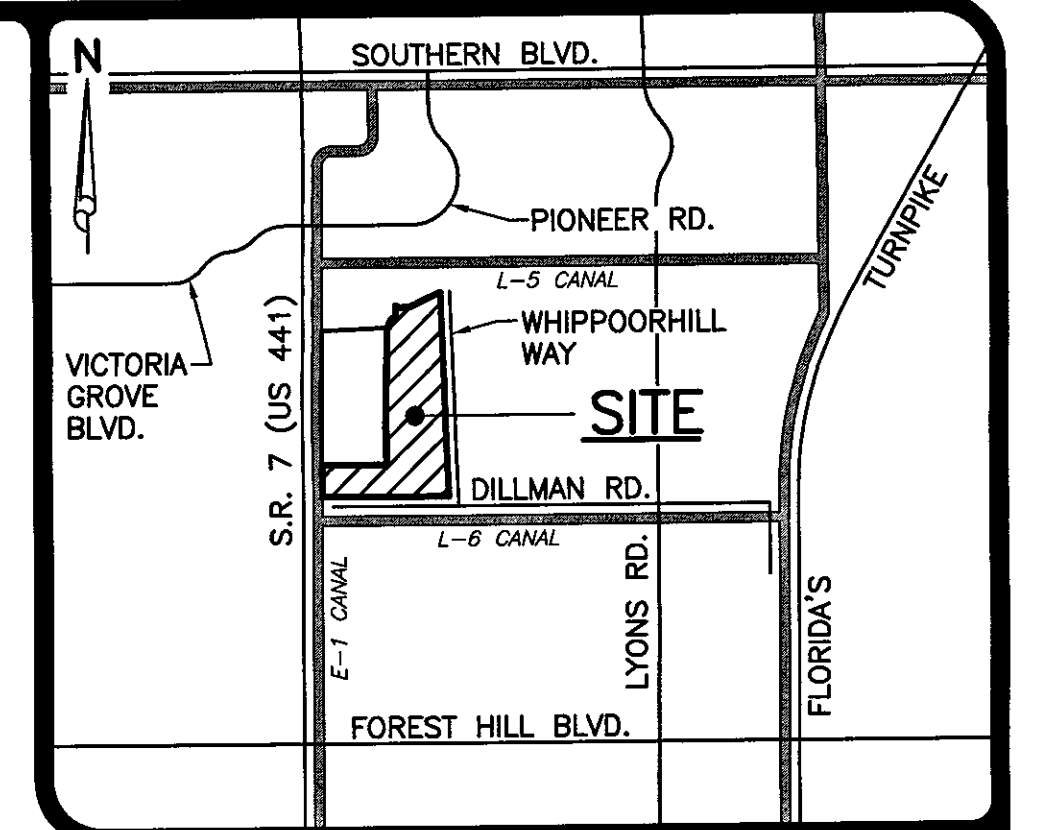
NOTES:

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- 4.) DRAINAGE SYSTEM DESIGN SHALL BE IN ACCORDANCE WITH S.F.W.M.D. PERMIT NO. 50-07631-P, L.W.D.D. AND VILLAGE OF WELLINGTON CRITERIA.

LEGEND

- PROPOSED STORM SEWER AND CATCH BASIN
- PROPOSED STORM SEWER AND CATCH BASIN
- DIRECTION OF FLOW
- DIRECTION OF SWALE
- PROPOSED HIGH POINT
- EXISTING GRADE ELEVATION
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- SINGLE SEWER SERVICE W/ CLEAN-OUT
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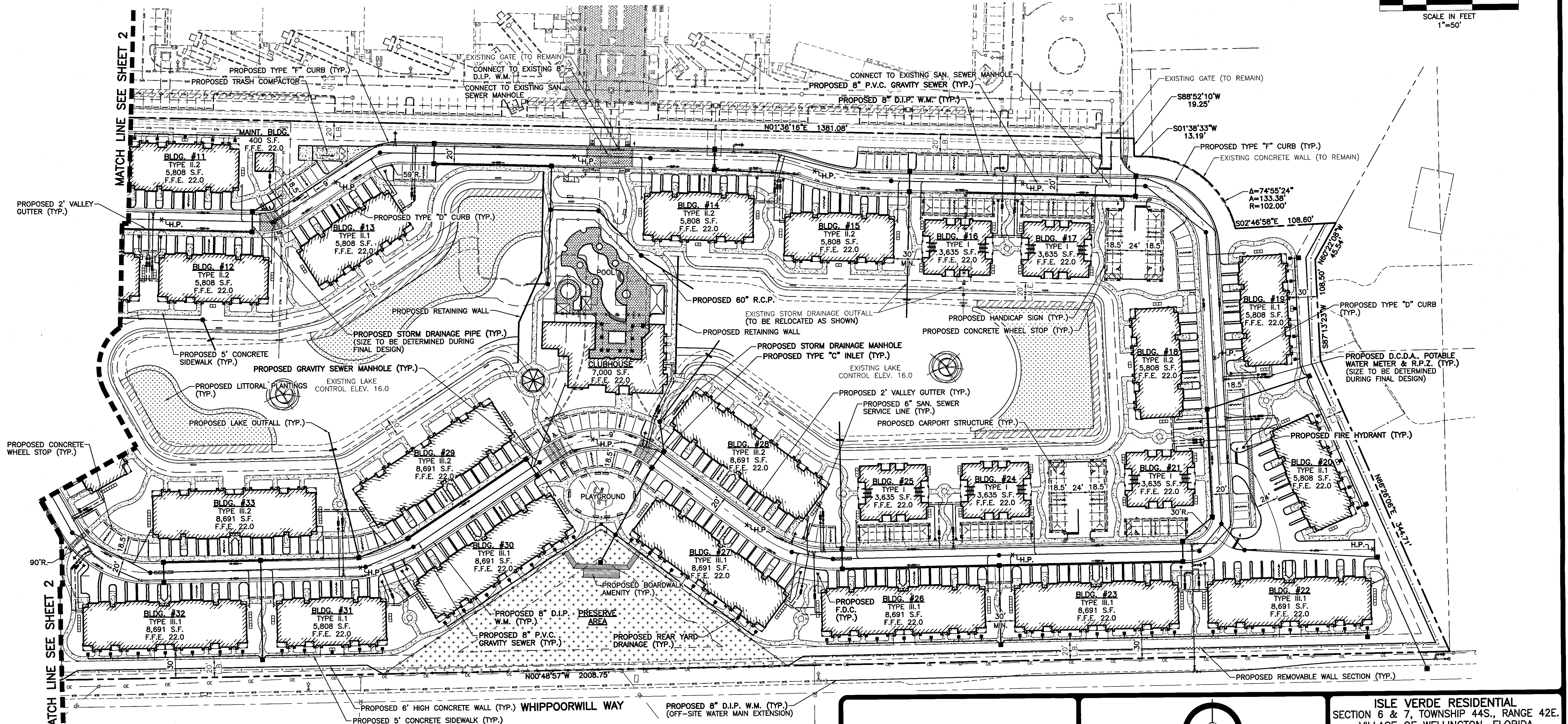
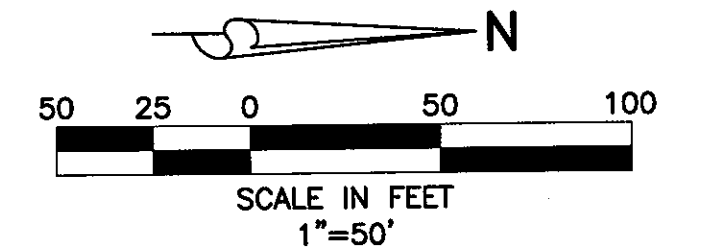
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- EXISTING SEWER MAIN
- EXISTING FORCE MAIN



SECTION 6 & 7, TOWNSHIP 44S., RANGE 42E.

LOCATION MAP

NOT TO SCALE



1.) GENERAL REVISIONS PER LATEST SITE PLAN, 12/11/13 D.B.

REVISIONS



ISLE VERDE RESIDENTIAL
SECTION 6 & 7, TOWNSHIP 44S., RANGE 42E.
VILLAGE OF WELLINGTON, FLORIDA
CONCEPTUAL PAVING, DRAINAGE,
WATER & WASTEWATER PLAN

DESIGN	DRAWN	CHECKED	APPROVED	DATE	JOB NO.	DRAWING NO.	SHEET	OF
G.B.	D.B.				13-107	13107C03	3	3

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By Planning and Zoning at 5:38 pm, Dec 16, 2013

**PRESERVE AREA MANAGEMENT PLAN:
MITIGATION, MAINTENANCE, AND MONITORING PLAN**

ISLA VERDE

VILLAGE OF WELLINGTON, PALM BEACH COUNTY, FLORIDA

**PREPARED FOR
PEBB ENTERPRISES**

**OCTOBER 4, 2006
REVISED: NOVEMBER 13, 2006**

**PREPARED BY
COTLEUR & HEARING, INC.
1934 COMMERCE LANE, SUITE 1
JUPITER, FLORIDA 33458
(561) 747-6336**

APPROVED: _____

The following Preserve Area Management Plan (PAMP) is provided by the developer of Isla Verde for approval by the South Florida Water Management District (SFWMD). A PAMP is required pursuant to Rule 40E-40 Florida Administrative Code (FAC) whenever wetland areas are found on a site proposed for development. Violation of the protective provisions described within or failure to manage the preserve area as directed in this plan may result in civil or administrative enforcement proceedings against the responsible person, corporation, association or other entity. Violations will result in the imposition of fines, restoration, mitigation, or other injunctive orders.

This document is divided into two parts.

Part I outlines the responsibilities of the developer. It includes the delineation of wetland areas required to be set aside pursuant to Rule 40E-40 F.A.C.

Part II outlines the maintenance responsibilities of Pebb Enterprises or other responsible entity.

PART I - RESPONSIBILITIES OF THE DEVELOPER OF ISLA VERDE

- 1.0** GENERAL
- 2.0** ENVIRONMENTAL ASSESSMENT
- 3.0** DELINEATION OF PRESERVE AREA
- 4.0** PROTECTION OF PRESERVE AREA
- 5.0** RESTORATION AND MANAGEMENT ACTIVITIES
- 6.0** TRANSFER OF RESPONSIBILITIES

Tables, Figures, and Attachments

Table 2.1: FLUCCS codes occurring on the Isla Verde site in Palm Beach County, Florida, May and June 2005

Table 2.2: Plant species occurring on the Isla Verde site in Palm Beach County, Florida, May and June 2005

Table 2.3: Listed wildlife species that could potentially occur at Isla Verde, Wellington, Palm Beach County, Florida, May and June 2006

Table 5.1 A list of plant zones occurring within each elevation Preserve Areas A and B on Isla Verde

Table 5.2 A list of native plant species, size, spacing, and quantities that will be used within each plant zone within Preserve Area A on Isla Verde

Table 5.3: A list of native plant species, size, spacing, and quantities that will be used within each plant zone within Preserve Area B on Isla Verde.

Table 5.4 Braun-Blanquet scale of cover and abundance

Table 5.5: Construction schedule including start and completion dates for construction, maintenance, and monitoring activities related to preserve areas on Isla Verde

Table 5.6 Cost estimate for mitigation, maintenance, and monitoring activities on preserve areas in Isla Verde, October 3, 2006



Table 5.7 Details of cost estimate of plant materials to be used in Preserve Area A in Isla Verde, October 3, 2006

Table 5.8 Details of cost estimate of plant materials to be used in Preserve Area B in Isla Verde, October 3, 2006

Figure 3.1: Isla Verde Site Map

Figure 5.1: Isla Verde Preserve Area A Cross Section Plan

Figure 5.2: Isla Verde Preserve Area A Wetland Plan

Figure 5.3: Isla Verde Preserve Area B Cross Section Plan

Figure 5.4: Isla Verde Preserve Area B Wetland Plan

Figure 5.5: Isla Verde Preserve Area A Monitoring Plan

Figure 5.6: Isla Verde Preserve Area B Monitoring Plan

Figure 5.7: Sample data sheet

Attachment 1: Environmental Assessment, Undeveloped Area West of Whippoorwill Way and East of State Road 7

Figures within Attachment 1:

Location Map

Aerial Map

USGS Quad Map

FLUCCS Map

Soils Map

Attachment 2: Littoral Planting Plan, Exhibits A through G

Attachment 3: Florida Exotic Pest Plan Council's 2005 List of Invasive Species

1.0 GENERAL

The owner/developer of ISLA VERDE, PEBB ENTERPRISES, Broward County, Florida, their successors, and assigns, their environmental consultants and contractors will implement Part I of this PAMP.

2.0 ENVIRONMENTAL ASSESSMENT

Several walking assessments of the 53.57 acre site identified as Isla Verde have been conducted by the environmental staff of Cotleur & Hearing Inc. on behalf of Pebb Enterprises. The objectives of the assessment were to determine jurisdictional wetlands, inventory vegetation and habitats present, and identify the presence, if any, of state-or federally-protected species.

In May and June 2005 permitting staff from the Army Corps of Engineers (USACE) and SFWMD, respectively, inspected wetland boundaries delineated by Cotleur & Hearing Inc. Information in this document reflects wetland boundaries approved by both agencies.

2.2 Existing Conditions

2.2.1 Location

The site is located within the Village of Wellington, immediately east of State Road 7 (also known as U.S. Highway 441), slightly north of Forest Hill Boulevard, and immediately west of Whippoorwill Way. Lake Worth Drainage District (LWDD) canals border the south (Lateral No.



Cotleur Hearing

1934 Commerce Lane, Suite 1
Jupiter, Florida 33458
561 747 6336 Fax 747 1377

6) and west (Canal E-1) property lines. A single-family residential community, Whippoorwill Lakes is located to the east. The property is located in Section 6, Township 44S, Range 42E. Please refer to the Location Map, Aerial Map, and USGS Quad Map located in Attachment 1: Environmental Assessment, Undeveloped Area West of Whippoorwill Way and East of St. Rd. 7.

2.2.2 Vegetation Communities and FLUCCS Codes

The site consists of degraded uplands and wetlands, with little intact native habitat. Upland forested communities are dominated by exotic trees and shrubs and non-forested uplands are open and have been cleared and graded. Wetlands on the site are of low quality due to off-road vehicular traffic, berm construction, and presence of exotic and nuisance species. Small stands of native wetland vegetation exist. A general description of vegetation communities present on the site is included below followed by a complete list of habitat types occurring on site as defined by the Florida Land Use, Cover, and Forms Classification System (FLUCCS) and a list of plants occurring on the site; please also refer to Attachment 1.

This property is largely disturbed and dominant features include the large swathe of Australian pine surrounding the large borrow pond, which encompass much of the western half of the site. A large portion of the site consists of upland areas that have been disturbed by vehicular traffic creating ruts and furrows in the soil and filled areas dominated by exotic vegetation. In addition to the large borrow pond, a smaller borrow pond and borrow ditch are present in the eastern half of the site, and a small borrow pond is present within a cypress stand in the southeast corner. The ditch runs north onto the adjacent property and connects with the drainage system at this point. These smaller borrow areas are partially populated by native plants including American white waterlily (*Nymphaea odorata*) and spatterdock (*Nuphar advena*). A house and horse farm are located in the northeast corner; impacts to this area are consistent with typical residential and ranch land.

Amount of native habitat existing on the site is minimal and condition of these areas is marginal, with heavy impact of exotic plants and human disturbance. The most notable native habitats are the cypress stands in the southeast corner and the wet prairies in the southeast and northwest corners. Much of the cypress habitat has been invaded by exotics including Australian pine (*Casuarina equisetifolia*), earleaf acacia (*Acacia auriculiformis*) and Brazilian pepper (*Schinus terebinthifolius*). The wet prairie in the southeast and northwest corners have been invaded by shrubs including Carolina willow (*Salix caroliniana*), wax myrtle (*Myrica cerifera*), and Brazilian pepper.



Table 2.1: FLUCCS codes occurring on the Isla Verde site in Palm Beach County, Florida, May and June 2005. Refer to the FLUCCS Map in Attachment 1 for location and area of each FLUCCS Code.

FLUCCS Code	DESCRIPTION
111/251	Fixed Single Family Unit/Horse Farms
415	Scrubby Flatwoods
422	Brazilian Pepper
437	Australian Pine
438	Mixed Hardwoods
451	Exotic Hardwood Forest (Upland)
513	Ditches
524	Lakes Less Than 10 Acres Which are Dominant Features
526	Borrow Pit Pond/Lake
621	Cypress
641	Freshwater Marshes
643	Wet Prairie
6442	Spatardock
6445	Waterlily
741	Rural Land in Transition without Positive Indicators of Intended Activity

Table 2.2: Plant species occurring on the Isla Verde site in Palm Beach County, Florida, May and June 2005. This is not meant to be an exhaustive list of all plant species found on the site.

Common Name	Latin Name	Wetland Status
*Rosary pea	<i>Abrus precatorius</i>	-----
*Earleaf Acacia	<i>Acacia auriculiformis</i>	FAC
*Woman's tongue	<i>Albizia lebeck</i>	-----
*Elephant ears	<i>Alocasia ssp</i>	-----
Pond apple	<i>Annona glabra</i>	OBL
*Norfolk Island pine	<i>Araucaria excelsa</i>	-----
*Shoebuttan Ardisia	<i>Ardisia elliptica</i>	FAC
Groundsel tree	<i>Baccharis glomeruliflora</i>	FAC
Bacopa	<i>Bacopa spp.</i>	OBL
Spanish needles	<i>Bidens spp</i>	-----
*Bishopwood	<i>Bischofia javanica</i>	-----
Swamp fern	<i>Blechnum serrulatum</i>	FACW
*Bougainvillea	<i>Bougainvillea spp.</i>	-----
Buttombush	<i>Cephalanthus occidentalis</i>	OBL
Sawgrass	<i>Cladium jamaicense</i>	OBL
Day flower	<i>Commelina spp</i>	FACW
Tickseed	<i>Coreopsis spp.</i>	FACW
Rattlebox	<i>Crotalaria pallida</i>	-----
*Queen sago	<i>Cycas circinalis</i>	-----
Beggar's Lice	<i>Desmodium incanum</i>	-----



Strangler fig	<i>Ficus aurea</i>	FAC
Pennywort	<i>Hydrocotyle</i> spp	FAC
Moon vine	<i>Ipomea alba</i>	-----
Bloodroot	<i>Lachnanthes caroliniana</i>	FAC
*Chinese ligustrum	<i>Ligustrum sinense</i>	-----
*Japanese climbing fern	<i>Lygodium japonicum</i>	-----
*Melaleuca	<i>Melaleuca quinquenervia</i>	FAC
*Monstera	<i>Monstera</i> spp.	-----
Wax myrtle	<i>Myrica cerifera</i>	FAC
Maidencane	<i>Panicum hemitomom</i>	OBL
*Torpedograss	<i>Panicum repens</i>	FACW
Spoonflower	<i>Peltandra sagittifolia</i>	OBL
Slash Pine	<i>Pinus elliottii</i>	-----
Dotted smartweed	<i>Polygonum punctatum</i>	OBL
Whisk fern	<i>Psilotum nudum</i>	-----
Wild coffee	<i>Psycotria nervosa</i>	FAC
Wild coffee	<i>Psycotria sulzneri</i>	FAC
Royal palm	<i>Roystonea elata</i>	FACW
Duck Potato	<i>Sagittaria latifolia</i>	OBL
Carolina pond willow	<i>Salix caroliniana</i>	OBL
Elderberry	<i>Sambucus canadensis</i>	FAC
*Queensland umbrella	<i>Schefflera actinophylla</i>	-----
*Brazilian Pepper	<i>Schinus terebinthifolius</i>	FAC
*Java plum	<i>Syzygium cumini</i>	FAC
Pond cypress	<i>Taxodium ascendens</i>	OBL
Spanish moss	<i>Tillandsia usenoides</i>	-----
Cattail	<i>Typha</i> spp.	OBL
Caesar's weed	<i>Urena lobata</i>	-----
Bladderwort	<i>Utricularia</i> spp.	OBL
Shoestring fern	<i>Vittaria lineata</i>	-----
*Creeping oxeye	<i>Wedelia</i> spp	FAC
*Zebrina	<i>Zebrina</i> spp.	-----

*Denotes exotic species



2.2.3 Soils

According to the National Cooperative Soil Survey, soils occurring on this site include Arents-Urban Land Complex, 0 to 5 Percent Slopes, Arents-Urban Land Complex, Organic Substratum, Boca Fine Sand, Chobee Fine Sandy Loam, Florida Fine Sand, Jupiter Fine Sand, Pinellas Fine Sand, and Riviera Fine Sand. All soils except Arents-Urban Land Complex, Organic Substratum are on the Hydric Soils of Florida list. Soils are described below and coverage is shown on the Soils Map in Attachment 1.

Arents-Urban Land Complex, 0 to 5 Percent Slopes

This land complex consists of nearly level, somewhat poorly drained, sandy soils and urban land. The soils formed in thick layers of sandy fill material that were placed over low, wet mineral soils to make the areas suitable for urban land use. Included with this complex in mapping are areas of better drained soils, soils that have a higher content of shells in some layers, and a few soils that have limestone at a depth of less than 50 inches. The soils material is generally rapidly permeable in all layers. The available water capacity is low or very low. The organic-matter content and natural fertility are low in most places.

Arents-Urban Land Complex, Organic Substratum

The southeast corner has soils classified as these are nearly level, sandy soils and urban land overlying organic soils. The residential and stable area is also identified as containing this overburden soil. These typically have been filled for urban use. The Hydric Soils Handbook classifies this soil type as a non-hydric soil 95 percent of the time it is encountered.

Boca Fine Sand

The soils found predominantly in the southern half of the project are Boca Fine Sand. This is a nearly level, poorly drained soil that has a loamy subsoil underlain by fractured limestone at a depth of 24 to 40 inches. The natural vegetation is slash pine, cabbages palm, saw palmetto, southern bayberry, inkberry and a wide variety of native grasses. The Hydric Soils Handbook classifies this soil type to not be a hydric soil 80percent of the time.

Chobee Fine Sandy Loam

This soil is described, in this publication, as a nearly level, very poorly drained soil that has a surface layer of dark colored fine sandy loam and a subsoil of sandy clay loam. This soil is in depressions and low, nearly level areas between the Everglades and the coastal ridge. Under natural conditions, the water table is within 10 inches of the surface for more than 6 months in most years. Depressions are covered by water most of each year. Natural vegetation is pickerelweed, needlegrass, sawgrass, maidencane, ferns, sedges, and scattered areas of cypress, sweetbay, and wax myrtle. The book, Hydric Soils of Florida Handbook – Second Addition, by the Florida Association of Environmental Soil Scientists identifies the Chobee Fine Sandy Loam as being a hydric soil 100 percent of the time where it is encountered. Soil inspection at the time of the site visit confirmed the presence of this soil.

Floridana Fine Sand

Soils of this type are encountered along the central-southern boundary of the site. This soil type is nearly level, poorly drained and with a thick black sandy surface layer and loamy subsoil. Under natural conditions, the water table is within the surface for at least 6 months of the year.



Jupiter Fine Sand

This soil type is a nearly level, poorly drained, shallow, sandy soil that is in broad low flats, low hammocks, and in poorly defined drainage ways. Natural vegetation is cabbage palm, scattered cypress, maidencane, ferns, southern bayberry and a wide variety of grasses. The Hydric Soils Handbook classifies this soil type as hydric 70percent of the time it is encountered.

Pinellas Fine Sand

This soil is found in the northeast portion of the site. It is nearly level and poorly drained with a sandy, calcareous subsurface layer and a loamy subsoil. Under natural conditions the water table is within 10 inches of the surface for 1 to 3 months and within 10 to 30 inches for 2 to 6 months of the year. Natural vegetation occupying this soil type includes sabal palm, slash pine, saw palmetto and a series of grasses.

Riviera Fine Sand

This is a nearly level, poorly drained soil that has a thick sandy subsurface layer that tongues into a loamy subsoil at a depth of 20 to 40 inches. The natural vegetation is saw palmetto, slash pine, pineland three-awn, inkberry, blue maidencane, toothachegrass, chalky bluestem, scattered cabbage palm and some cypress trees. The Hydric Soils Handbook classifies this soil type as a hydric soil 90 percent of the time it is encountered in natural conditions.

2.3 Wildlife

2.3.1 Wildlife Encountered

Few vertebrate wildlife species were observed at the site. Potential prey species such as insects, small reptiles were in low numbers. The only tracks seen were raccoon.

2.3.2 Listed Species

During the site investigations, there were no listed animal species encountered. Habitat potential is low for protected animal species with the possible exception of the gopher tortoise and indigo snake. Neither species were observed at the site.



Table 2.3: Listed wildlife species that could potentially occur at Isla Verde, Wellington, Palm Beach County, Florida, May and June 2006.

Common Name	Scientific Name	FWC	FWS
Fish			
None			
Amphibians			
None			
Reptiles			
American alligator	<i>Alligator mississippiensis</i>	SSC	T(S/A)
Gopher tortoise	<i>Gopherus polyphemus</i>	SSC	
Eastern indigo snake	<i>Drymarchon corais couperi</i>	T	T
Birds			
Limpkin	<i>Aramus guarauna</i>	SSC	
Little blue heron	<i>Egretta caerulea</i>	SSC	
Snowy egret	<i>Egretta thula</i>	SSC	
Tricolored heron	<i>Egretta tricolor</i>	SSC	
White ibis	<i>Eudocimus albus</i>	SSC	
Wood stork	<i>Mycteria americana</i>	E	E
Snail kite	<i>Rostrhamus sociabilis</i>	E	E
Mammals			
None			
Plants			
Curtis' milkweed	<i>Asclepias curtissii</i>		E
Okeechobee gourd	<i>Curcubita okeechobeensis</i>	E	E
Pine pinweed	<i>Lechea divaricata</i>	E	
Hand fern	<i>Ophioglossum palmatum</i>	E	
Simpson zephyr-lily	<i>Zephyranthes simpsonii</i>	T	



2.4 Conclusion and Summary

The majority of the site, about 39.77 would be considered upland by the SFWMD and the USACE. Approximately 6.91 acres of the property would be considered wetland (cypress, wet prairie, freshwater marsh, spatterdock, and waterlily) and approximately 7.78 acres of the property would be other surface waters (lakes, borrow pit ponds, and ditches). There are no native upland communities or habitats. The majority of the upland acreage supports Australian pine. Wetlands within the site would be classified as fair to low, with regard to both function and quality. No listed species were observed at the site and minimal wildlife usage of the site was noted. Habitat for listed species is of generally low quality because much of the site is inhabited by exotic vegetation, has little to no vegetation cover, or is disturbed by farming and human impacts.

Permitting issues that relate to the site include listed threatened and endangered species, wetlands jurisdictional determinations, native upland habitat status, and storm water management and drainage features of the site. The USACE and SFWMD have both inspected the site and agree with wetland boundaries shown. Palm Beach County requires a 25 percent native upland reserve. Upland habitats on this site lack native canopy, shrub or herbaceous vegetation. These areas are dominated by exotic species with few native species and individuals present. Site drainage issues will be addressed by site plan engineering. There are no native or naturally occurring aquatic systems on the site.

3.0 DELINEATION OF PRESERVE AREAS

There are two preserve areas that will be set aside as mitigation for wetlands that will be impacted; please refer to Figures 3.1: Isla Verde Site Map.

3.1 Size and Location

For the purposes of this PAMP, Preserve Areas A and B shall be defined as the preserve areas shown on the Site Map, a reduced copy of which is attached as Figure 3.1. Preserve Area A refers to the 0.76-acre wetland preserve, including 0.38 acre of transitional buffer area, located midway along the eastern side of the property, and Preserve Area B refers to the 2.79-acre wetland preserve, including 0.68 acre of transitional buffer area, located in the southeastern corner of the property. In total there are 3.55 acres being preserved, including 2.48 acres of wetland preserve areas and 1.07 acres of transitional buffer area. The preserve areas shall be surveyed and staked based on the site plan for Isla Verde.

3.2 Recording and Labeling

The plat is to be labeled with the Official Record Book and page number where the PAMP is recorded. All preserve areas are to be labeled: "PRESERVE AREA – NOT TO BE ALTERED WITHOUT WRITTEN PERMISSION OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT".

4.0 PROTECTION OF PRESERVE AREAS

4.1 Barricading

Prior to clearing, the developer shall ensure that the preserve areas are barricaded. Areas that may receive surface waters with high turbidity shall be protected by the placement of silt screens, hay bales, or other turbidity control approved by SFWMD to minimize the effects of turbidity on



the wetland. These areas shall be protected with physical barriers during all clearing and construction activities in accordance with the following guidelines:

1. All preserve areas must be barricaded according to the approved site plan prior to any clearing of any part of the site or phase. An inspection of the barricades must be conducted by the SFWMD prior to any clearing of the site or phase.
2. Barricades must be constructed of a minimum of 1/4-inch diameter rope which is yellow or orange in color and made of nylon, polypropylene or other material with an expected useful life that exceeds the projected time for construction of the project or phase. The rope is to be attached to wooden poles (minimum rough size 2-inch by 2-inch), iron rebar, PVC pipe (minimum size 2-inch diameter) or other material with prior approval of the SFWMD.
3. The rope must be a minimum of 4 feet above the ground and must not be attached to any vegetation. Lathe strips and surveyor's flagging or similar materials are not acceptable. All barricades must be upright and maintained intact for the duration of construction.
4. Building and construction materials, debris, fill, trash, etc. are not permitted to be stored in the preserve areas. Fill is not allowed to encroach into the preserve areas.
5. Where areas are proposed for clearing (i.e. building envelope, utilities, drainage, road right-of-way) barricades must be offset at least 10 feet outside the preserve areas or placed at the dripline of the canopy trees, whichever is greater. Individual trees or groups of vegetation that are to be saved for landscape credit requirements are to be barricaded according to these guidelines.
6. All native vegetation which is not located in areas requiring their removal as part of the development plans shall be retained in their undisturbed state.
7. Failure to comply with these guidelines will be considered a violation of site plan approval. Further work on the project may be stopped until compliance with the barricade guidelines is achieved, and the applicant or developer may be brought before the SFWMD.

CONTRACTORS PLEASE NOTE: IT IS RECOMMENDED THAT YOU BECOME FAMILIAR WITH THESE GUIDELINES AND ALL PERMIT CONDITIONS. VIOLATION OF THESE GUIDELINES AND DAMAGE TO OR DESTRUCTION OF PRESERVE AREAS WILL BE NOTED. APPROPRIATE ACTION WILL BE TAKEN FOR THOSE CONTRACTORS WHO VIOLATE THE BARRICADE GUIDELINES.

Barricades shall be maintained in good order and condition through construction of the project or phase. Cut or fill must meet existing grade without encroaching into preserve areas. SFWMD



will authorize the removal of preserve area barricades after the baseline survey has been completed, inspected and approved.

4.2 Pre-construction Inspection

No construction shall commence until the barricades around the preserve areas have been approved and inspected by the SFWMD.

4.3 Prohibited Activities

Construction or alteration shall not be permitted within the preserve areas as they are reflected on Figure 3.1, except as necessary in connection with the proposed restoration or enhancement activities described below.

Prohibited activities within the preserve areas include:

1. Construction or storage of building materials, soil, debris, trash, cuttings, or hazardous materials;
2. Mowing or the placement of sod;
3. Removal or destruction of native trees, shrubs or other vegetation;
4. Excavation, dredging, soil removal, or activities which create erosion;
5. Parking or operation of vehicles;
6. Operation of utilities;
7. Erecting dikes or fences;
8. Recreational vehicle use;
9. Any activity that would be detrimental to drainage, flood control, water conservation, erosion control, or fish and wildlife habitat conservation or preservation;
10. Any easements, utility lines, or improvements.

4.3.1 Hazardous Material

No hazardous material other than fuel for refueling on-site heavy equipment will be stored during the construction phases. On-site fuel tanks shall not be located within 25 feet of any preserve area and shall be removed upon completion of construction work.

4.3.2 Vegetation Removal

The site shall be cleared and grubbed of all vegetation only in those areas indicated for roadways and stormwater management improvements, as shown on the approved construction plans. All trash and construction debris must be removed from the site.



4.3.3 Adjacent Buildings

Buildings proposed to be located adjacent to preserve areas shall be set back a minimum of 10 feet to allow for construction and maintenance without encroaching into the preserve. All other structures (i.e. pools, sheds, decks, fences) shall be set back a minimum of 5 feet.

4.4 Surface Water Management Plan

The preserve areas will be interconnected with the storm water management system, and connected to nearby lakes by bleeders, which will be set at control elevation 16.0 NGVD. Water quality treatment will take place in the lakes prior to discharge to the preserve areas. In order to protect water quality, the surface water management system for this development project shall be managed in strict accordance with the regulations of SFWMD governing such facilities. Unauthorized discharge of surface water shall not be made into the preserve areas. All storm water from developed areas will be collected by the use of valley gutters, swales, and inlets and will be directed to the lakes. All pre-development runoff will be maintained to insure the stability of the preserve areas. All runoff from the construction area shall be contained within the storm water management system with proper protection to insure removal of sedimentation and turbidity. Grade changes occurring outside of preserve areas will be engineered to avoid impacting preserve areas. Violation of the Surface Water Management Permit Conditions shall constitute violation of this PAMP.

4.5 Violations

If, upon the basis of inspection or other sources, SFWMD finds applicable laws, rules or regulations have been violated or not complied with, they have the right to enforce the provisions of the PAMP through any available administrative or civil proceeding. These proceedings may result in penalties, re-vegetation, and other remedies against any person, corporation, or other entity in violation of any of the provisions of the PAMP.

5.0 RESTORATION AND MANAGEMENT ACTIVITIES

Except for prescribed restoration activities, described below, the preserve areas shall be maintained in existing natural condition. All management of preserve areas will be in accordance with this PAMP. Management activities will be performed by or under the supervision of a qualified environmental professional. Management activities must be approved by the SFWMD.

5.1 Approved Activities

The following activities are allowed within preserve areas (with written approval from the SFWMD): any earthwork necessary to create the lake, tree island, and littoral zone (see section 5.2.1), planting native vegetation (see section 5.2.3), and removing exotic plant material, refuse, and dead or diseased plant material (see section 5.2.4).

5.2 Mitigation Plan

Preserve Area A consists of an existing borrow pond, borrow ditch, other deep water areas populated by spatterdock and waterlily, and disturbed land (FLUCCS Code 741: Rural Land in Transition). Proposed mitigation involves filling in the pond, ditch, and other deep water areas, and creating wet prairie habitat. Please refer to Figure 5.1 Isla Verde Preserve Area A Cross Section Plan showing proposed contours and Figure 5.2 Isla Verde Preserve Area A Wetland



Plan showing proposed planting zones. Please also refer to subsection 5.2.3, below, and Tables 5.1 and 5.2, which give more information about species that will be planted within each plant zone identified in Figure 5.2.

Preserve Area B consists of a pond populated by waterlily, cypress stands, and disturbed land. All habitats within this area have been disturbed to some degree. The large cypress swamp, approximately 0.69 acre, in the western side of the preserve area is good condition with some invasion by exotic plants. This area will be restored to a healthy cypress stand with exotic plant treatment. Cattails and other nuisance plants grow in the pond and the cypress swamp has been inundated with large spoil piles.

Preserve Area B will be restored to healthy wet prairie and cypress swamp habitat, and pond apple and freshwater marsh habitats will be created out of the disturbed land. Achieving mitigation goals will require the use of several methods of habitat restoration, described below. Please refer to Figure 5.3 Isla Verde Preserve Area B Cross Section Plan showing proposed contours and Figure 5.4 Isla Verde Preserve Area B Wetland Plan showing proposed planting zones. Please also refer to subsection 5.2.3, below, and Tables 5.1 and 5.3, which give more information about species that will be planted within each plant zone identified in Figure 5.4.

5.2.1 Removal of Spoil Piles

Disturbed land within Preserve A includes areas where spoil has been added. The borrow pond and ditch will be filled using this spoil. Within Preserve B, the cypress stands contain spoil piles. These piles were likely created when the adjacent street was constructed or when the land to the north of the wetlands was filled to raise ground surface elevation. These piles will be removed.

5.2.2 Hydrological Improvements

The preserve areas on the site are connected to the storm water management (SWM) system by pipes discharging into the preserve areas from on-site water control lakes. Control elevations for the entire site including preserve areas will be set to 16 feet. This elevation is consistent with the basin criteria established by SFWMD. Substantial littoral zones will be provided within the water control lakes; please refer to Attachment 2: Littoral Planting Plan, Exhibits A through D.

Water from the SWM system will be used to enhance the hydrological needs of preserve wetlands. The applicant proposes to enhance Preserve Area A by lowering the ground elevation to increase average water depth. The preserve area will be connected to proposed lakes by a bleeder and water will also be added through rainfall. Excess water will flow from the preserve into the closest lake to the northwest. Hydrological enhancements are designed to create more appropriate seasonal water levels for the proposed habitat and will benefit the wetland vegetation and related wildlife.

The ground elevation of Preserve Area B will also be lowered in the eastern side to increase average water depth. The existing cypress swamp in the west will remain intact at present ground elevations. The preserve area will be connected to proposed lakes by a bleeder and water will also be added through rainfall. Excess water will flow from the preserve into the closest lake to the northwest. Hydrological enhancements are designed to create more appropriate



seasonal water levels for the proposed habitat and will benefit the wetland vegetation and related wildlife.

It is expected that normal water levels will generally be between elevation 15.5 to 16.0 NGVD. Planting elevations for wetland species have been selected accordingly. Following storm events wetland water levels may attain levels above the control of 16.0 NGVD, but these periods will be brief. Planting elevations were selected for suitability under normal conditions, however brief periods of higher water and inundation should not impact planted species survival.

5.2.3 Planting Native Vegetation

Planting native vegetation will help ensure the success of desired habitats by supplementing native plant communities already in place, and by reducing the area available for colonization by exotic and nuisance species. Areas that will have large amounts of spoil removed and areas that will have large amounts of exotic and nuisance vegetation removed will likely require planting of native vegetation. The elevation at which each plant zone will occur is indicated in Table 5.1. Tables 5.2 and 5.3 list native species that will be planted in each plant zone.



Table 5.1: A list of plant zones occurring within each elevation Preserve Areas A and B on Isla Verde.

Elevation	Plant Zone
18-20	Buffer
17-18	Wet Prairie Zone
16-17	Cypress Zone/Wet Prairie Zone
15-16	Pond Apple Zone
14-15	Freshwater Marsh Zone

Table 5.2 A list of native plant species, size, spacing, and quantities that will be used within each plant zone within Preserve Area A on Isla Verde.

Transitional Buffer (18 to 20 feet)		Size	Spacing	Quantity
wiregrass	<i>Aristida stricta</i> var. <i>beyrichiana</i>	#3	3' OC	*
American beautyberry	<i>Callicarpa americana</i>	#3	3' OC	*
coco plum	<i>Chrysobalanus icaco</i>	#3	3' OC	*
laurel oak	<i>Quercus laurifolia</i>	#7	10' OC	50
live oak	<i>Quercus virginiana</i>	#30	10' OC	150
myrsine	<i>Rapanea punctata</i>	#3	3' OC	*
cabbage palm	<i>Sabal palmetto</i>	8' CT	10' OC	265
saw palmetto	<i>Serenoa repens</i>	#3	3' OC	*
* Total quantity of grasses and shrubs planted will equal 5,329 plants and will consist of a mixture of the species listed				
Wet Prairie Zone (17 to 18 feet)		Size	Spacing	Quantity
tickseed	<i>Coreopsis</i> sp.	#3	18" OC	*
flat sedge	<i>Cyperus odoratus</i>	#3	18" OC	*
spikerush	<i>Eleocharis</i> sp.	#3	18" OC	*
pipewort	<i>Eriocaulon</i> sp.	#3	18" OC	*
rush fuirena	<i>Fuirena scirpodea</i>	#3	18" OC	*
roundpod St. John's-wort	<i>Hypericum</i> sp.	#3	18" OC	*
gulf hairawn muhly	<i>Muhlenbergia capillaris</i> var. <i>filipes</i>	#3	18" OC	*
maidencane	<i>Panicum hemitomon</i>	#3	18" OC	*
meadowbeauty	<i>Rhexia</i> sp.	#3	18" OC	*
white-top sedge	<i>Rhynchospora colorata</i>	#3	18" OC	*
bulltongue arrowhead	<i>Sagittaria lancifolia</i>	#3	18" OC	*
yelloweyedgrass	<i>Xyris</i> sp.	#3	18" OC	*
* Total quantity of grasses and shrubs planted will equal 4,666 plants and will consist of a mixture of the species listed				



Cypress Zone (16 to 17 feet)		Size	Spacing	Quantity
red maple	<i>Acer rubrum</i>	#7	10' OC	68
giant leathern fern	<i>Acrostichum danaeifolium</i>	#3	18" OC	*
pond apple	<i>Annona glabra</i>	#7	10' OC	67
buttonbush	<i>Cephalanthus occidentalis</i>	#3	18" OC	*
royal fern	<i>Osmunda regalis</i>	#3	18" OC	*
lizard's tail	<i>Saururus cernuus</i>	#3	18" OC	*
pond-cypress	<i>Taxodium ascendens</i>	#7	10' OC	250
* Total quantity of grasses and shrubs planted will equal 2,566 plants and will consist of a mixture of the species listed				
Pond Apple Zone (15 to 16 feet)		Size	Spacing	Quantity
pond apple	<i>Annona glabra</i>	#7	10' OC	727
canna lily	<i>Canna flaccida</i>	#3	18" OC	*
green arrow arum	<i>Peltandra virginica</i>	#3	18" OC	*
cinnamon fern	<i>Osmunda cinnamomea</i>	#3	18" OC	*
pickerelweed	<i>Pontederia cordata</i>	#3	18" OC	*
broadleaf arrowhead	<i>Sagittaria latifolia</i>	#3	18" OC	*
fire flag	<i>Thalia geniculata</i>	#3	18" OC	*
* Total quantity of grasses and shrubs planted will equal 4,845 plants and will consist of a mixture of the species listed				

NOTE: Minimum coverage will equal a density of 1 plant every 2 feet, except in transitional buffer areas, where minimum coverage is 1 plant every 3 feet.



Table 5.3 A list of native plant species, size, spacing, and quantities that will be used within each plant zone within Preserve Area B on Isla Verde.

Transitional Buffer #1 (18 to 20 feet)		Size	Spacing	Quantity
wiregrass	<i>Aristida stricta</i> var. <i>beyrichiana</i>	#3	3' OC	*
American beautyberry	<i>Callicarpa americana</i>	#3	3' OC	*
coco plum	<i>Chrysobalanus icaco</i>	#3	3' OC	*
firebush	<i>Hamelia patens</i>	#3	3' OC	*
gulf hairawn muhly	<i>Muhlenbergia capillaris</i> var. <i>filipes</i>	#3	3' OC	*
wax myrtle	<i>Myrica cerifera</i>	#3	3' OC	*
dahoon holly	<i>Ilex cassine</i>	#15	10' OC	165
live oak	<i>Quercus virginiana</i>	#30	10' OC	150
myrsine	<i>Rapanea punctata</i>	#3	3' OC	*
cabbage palm	<i>Sabal palmetto</i>	8' CT	10' OC	195
saw palmetto	<i>Serenoa repens</i>	#3	3' OC	*
sand cordgrass	<i>Spartina bakeri</i>	#3	3' OC	*
* Total quantity of grasses and shrubs planted will equal 9,468 plants and will consist of a mixture of the species listed				

Transitional Buffer #2 (18 to 20 feet)		Size	Spacing	Quantity
wiregrass	<i>Aristida stricta</i> var. <i>beyrichiana</i>	#3	3' OC	*
American beautyberry	<i>Callicarpa americana</i>	#3	3' OC	*
coco plum	<i>Chrysobalanus icaco</i>	#3	3' OC	*
firebush	<i>Hamelia patens</i>	#3	3' OC	*
gulf hairawn muhly	<i>Muhlenbergia capillaris</i> var. <i>filipes</i>	#3	3' OC	*
wax myrtle	<i>Myrica cerifera</i>	#3	3' OC	*
slash pine	<i>Pinus elliottii</i>	#15	10' OC	250
live oak	<i>Quercus virginiana</i>	#30	10' OC	75
myrsine	<i>Rapanea punctata</i>	#3	3' OC	*
cabbage palm	<i>Sabal palmetto</i>	8' CT	10' OC	240
saw palmetto	<i>Serenoa repens</i>	#3	3' OC	*
sand cordgrass	<i>Spartina bakeri</i>	#3	3' OC	*
* Total quantity of grasses and shrubs planted will equal 2,585 plants and will consist of a mixture of the species listed				
Wet Prairie Zone/Cypress Zone (16 to 18 feet)		Size	Spacing	Quantity
red maple	<i>Acer rubrum</i>	#7	10' OC	153
giant leathern fern	<i>Acrostichum danaeifolium</i>	#3	18" OC	*
pond apple	<i>Annona glabra</i>	#7	10' OC	152
buttonbush	<i>Cephalanthus occidentalis</i>	#3	18" OC	*
tickseed	<i>Coreopsis</i> sp.	#3	18" OC	*



flat sedge	<i>Cyperus odoratus</i>	#3	18" OC	*
spikerush	<i>Eleocharis</i> sp.	#3	18" OC	*
pipewort	<i>Eriocaulon</i> sp.	#3	18" OC	*
rush fuirena	<i>Fuirena scirpodea</i>	#3	18" OC	*
roundpod St. John's-wort	<i>Hypericum</i> sp.	#3	18" OC	*
gulf hairawn muhly	<i>Muhlenbergia capillaris</i> var. <i>filipes</i>	#3	18" OC	*
royal fern	<i>Osmunda regalis</i>	#3	18" OC	*
maidencane	<i>Panicum hemitomon</i>	#3	18" OC	*
meadowbeauty	<i>Rhexia</i> sp.	#3	18" OC	*
white-top sedge	<i>Rhynchospora colorata</i>	#3	18" OC	*
bulltongue arrowhead	<i>Sagittaria lancifolia</i>	#3	18" OC	*
lizard's tail	<i>Saururus cernuus</i>	#3	18" OC	*
pond-cypress	<i>Taxodium ascendens</i>	#7	10' OC	375
yelloweyedgrass	<i>Xyris</i> sp.	#3	18" OC	*
* Total quantity of grasses and shrubs planted will equal 49,906 plants and will consist of a mixture of the species listed				
Pond Apple Zone (15 to 16 feet)		Size	Spacing	Quantity
pond apple	<i>Annona glabra</i>	#7	10' OC	350
canna lily	<i>Canna flaccida</i>	#3	18" OC	*
green arrow arum	<i>Peltandra virginica</i>	#3	18" OC	*
cinnamon fern	<i>Osmunda cinnamomea</i>	#3	18" OC	*
pickerelweed	<i>Pontederia cordata</i>	#3	18" OC	*
broadleaf arrowhead	<i>Sagittaria latifolia</i>	#3	18" OC	*
fire flag	<i>Thalia geniculata</i>	#3	18" OC	*
* Total quantity of grasses and shrubs planted will equal 2,906 plants and will consist of a mixture of the species listed				
Freshwater Marsh Zone (14 to 15 feet)		Size	Spacing	Quantity
rush	<i>Juncus</i> sp.	BR	18" OC	*
American lotus	<i>Nelumbo lutea</i>	BR	18" OC	*
American white waterlily	<i>Nymphaea odorata</i>	BR	18" OC	*
pickerelweed	<i>Pontederia cordata</i>	BR	18" OC	*
bulltongue arrowhead	<i>Sagittaria lancifolia</i>	BR	18" OC	*
fireflag	<i>Thalia geniculata</i>	BR	18" OC	*
* Total quantity of grasses and shrubs planted will equal 8,351 plants and will consist of a mixture of the species listed				



NOTE: Minimum coverage will equal a density of 1 plant every 2 feet, except in transitional buffer areas, where minimum coverage is 1 plant every 3 feet.

Any re-vegetation that might be necessary as a result of exotic vegetation removal or site construction activities shall consist of native plant species indicative of the existing plant community (use species included on the plant lists provided for each plant zone). This will ensure that preserve areas maintain natural plant associations. Re-vegetation plans shall be submitted to the SFWMD for approval prior to implementation.

Planting and re-vegetation will be achieved through the use of nursery stock plant materials or on-site transplants using the built area as a donor site. Herbaceous material shall be installed using liner or 2-inch nursery stock with on-center spacing as described in Tables 5.2 and 5.3. Woody material shall be 4 to 10 feet with on-center spacing to mimic natural association (i.e. informal massing, curvilinear planting arrangement, staggered heights, mixed species, etc.). Adequate water for temporary irrigation must be in place prior to commencement of planting. Irrigation shall continue until plants are established.

5.2.4 Removal of Exotic and Nuisance Vegetation

An exotic plant is a species designated as a Category I or II exotic according to the Florida Exotic Pest Plant Council, please refer to Attachment 3: Florida Exotic Pest Plant Council's 2005 List of Invasive Species. Exotic and nuisance plants shall be eradicated from the site, including preserve areas, concurrent with permitted vegetation removal and site development. A regularly-scheduled maintenance regime will be instituted to control exotic vegetation and keep levels below the acceptable amount.

Removal of exotic and nuisance vegetation will include eradication of Brazilian pepper (*Schinus terebinthifolius*), Old World climbing fern (*Lygodium microphyllum*), Australian pine (*Casuarina equisetifolia*), and cattail (*Typha* spp.). Other exotic plants listed as Category I and II on the Florida Exotic Pest Plant Council's 2005 List of Invasive Species, included as Attachment 3, will also be removed as encountered.

Exotic vegetation in preserve areas shall be removed by the least ecologically-damaging method available. Such methods include hand-pulling, hand-spading, chain saw, and treatment with an appropriate herbicide. No debris such as plant clippings or wood scraps shall be allowed in the preserve areas. Construction debris, abandoned equipment and trash shall be removed from the project area and disposed of according to local, state, and federal regulations.

Dead or diseased plant material may be removed only upon written finding by SFWMD that the material creates a safety hazard to buildings within the fall zone of the material. Re-vegetation may be required for any removed plant material.

5.2.5 Buffer Zones

SFWMD requires a buffer zone of appropriate native vegetation a minimum of 15 feet and an average of 25 feet in width be provided and maintained around all isolated wetland areas. The amount of buffer around Preserve Area A and B is 0.38 acre and 0.68 acre, respectively.

5.2.6 Fencing



A 4' tall chain link fence will be installed around the entire perimeter of both preserve areas. The fence will be posted with signs at each corner identifying the area as a preserve and informing the public that entry is prohibited; please refer to Figure 5.1 for the sign wording and placement.

5.3 Maintenance

A quarterly maintenance program shall be implemented to control invasive exotic and nuisance plant species and maintain preserve areas as functioning habitat. Control efforts will include species designated as a Category I or II exotic according to the Florida Exotic Pest Plant Council and will include any other exotic or nuisance vegetation that impede the growth of native plants and success of mitigation.

Exotic vegetation in preserve areas shall be removed by the least ecologically-damaging method available. Such methods include hand-pulling, hand-spading, chain saw, and treatment with an appropriate herbicide. No debris such as plant clippings or wood scraps shall be allowed in the preserve areas. Construction debris, abandoned equipment, and trash shall be removed from the project area and disposed of according to local, state, and federal regulations.

Dead or diseased plant material may be removed only upon written finding by SFWMD that the material creates a safety hazard to buildings within the fall zone of the material. Re-vegetation may be required for any removed plant material.

5.4 Preserve Area Monitoring

Monitoring of preserve areas shall be conducted in accordance with requirements of the jurisdictional agencies. Monitoring will be conducted by a qualified environmental professional and reports submitted to SFWMD. Monitoring will be conducted semi-annually, in March and April after the dry season and in October and November after the wet season, for 5 years. After the initial 5 year monitoring period, the preserve areas will be subject to periodic review and, if conditions warrant, will be subject to further monitoring and maintenance to ensure environmental integrity consistent with the provisions of this PAMP.

5.4.1 Vegetation Surveys

Upon completion of construction, exotic treatment, and planting activities within the preserve areas, transects and photo stations used to monitor vegetation will be established. Three transects, one in Preserve Area A and two in Preserve Area B will be established within the preserve areas; please see Figures 5.5 and 5.6 for locations of transects. These transects shall remain constant over the monitoring period. Transects shall be established to cross the full range of water depths and topographic gradients existing within the mitigation area.

At the time of station establishment (time zero) and subsequently during each monitoring session, information shall be collected concerning species composition, density and relative health of vegetation present at each station. A sample data sheet is included as Figure 5.7.

Ground layer: Vegetation occurring within the 0 to 1-meter vertical stratum is sampled within a 1 meter squared plot using the transect line as one side. Record species and percent cover of herbs originating within the plot.



Shrub layer: Vegetation occurring within the 1 to 2-meter vertical stratum is sampled within a square plot with each side measuring 3 meters using the PVC pole as the center. Record species and percent cover of shrubs originating within the plot.

Canopy species: Vegetation occurring within the 2-meter and greater vertical stratum is sampled within a square plot with each side measuring three meters using the PVC pole as the center. Record species and percent cover of trees originating within the plot.

Percent cover will be measured using the Braun-Blanquet scale of cover and abundance, Table 5.4. Data will be recorded on field sheets and later entered into a spreadsheet (Figure 5.7: Sample Data Sheet). Vegetation sampling will include exotic species to estimate percent cover over the entire preserve area. Additionally, information on relative health of plants will be recorded in the 'Status and Comments' sections on field sheets.

Table 5.4: Braun-Blanquet scale of cover and abundance.

BRAUN-BLANQUET SCALE OF COVER AND ABUNDANCE	
Scale	Definition
r	Solitary, with small cover
+	(A pronounced cross) few, with small cover
1	Numerous but less than 5% cover, or scattered, with cover up to 5%
2	Any number with 5-25% cover
3	Any number with 26-50% cover
4	Any number with 50-75% cover
5	Any number with more than 75% cover

5.4.2 Photographic Documentation

Photo stations shall be established in each of the locations indicated in Figures 5.1 and 5.2. Photos of each location will provide a panoramic view and record of conditions and changes within the wetland and buffer areas. Photos will also be taken at the endpoints of each transect looking toward the other end so the entire length is photographed. If vegetation obscures the transect, a photo taken along the transect will be included.

5.4.3 Wildlife Utilization

All wildlife species observed during monitoring activities will be recorded and included with vegetation sampling reports.

5.4.4 Staff Gauge and Piezometer

A staff gauge and piezometer shall be installed in each preserve area as shown on Figures 5.1 and 5.2. Water levels shall be monitored and recorded every two weeks.

5.4.5 Reports

Summary reports including a description of the condition of the preserve areas and a list of items needing attention within the preserve areas, will be prepared in April, after the dry season



monitoring. Annual reports documenting current conditions within the mitigation site shall be prepared in November, after the wet season monitoring. Annual reports will contain data from vegetation sampling, photo stations, wildlife utilization, and water level measuring devices (staff gauge and piezometer).

The objective of wet and dry season monitoring shall be to evaluate the success of the preserve area according to criteria established within this PAMP. Reports should also document changes including encroachment and growth of exotic or nuisance vegetation. Additionally, any violations of this PAMP should be addressed in summary or annual reports, including proposed remedial action. Monitoring will continue for a period of 5 years from the date of completion of the project or project phase encompassing the monitored area.

5.4.6 Inspections

SFWMD is authorized to inspect any regulated site or appurtenance. Duly authorized representatives of SFWMD may at reasonable times and upon proper identification enter upon and shall be given access to any premises for the purpose of such inspection.

5.4.7 Success Criteria

The success of the preserve areas shall be quantified through monitoring activities. Success criteria includes: 80 percent survivorship of planted vegetation, 80 percent coverage by native wetland vegetation, 0.5 to 0.7 feet of free-standing water in the deepest part of Preserve Area A and 1.5 to 1.7 feet in the deepest part of Preserve Area B for 5 to 7 months in most years, and no more than 1 percent coverage by exotic and nuisance vegetation. If greater than 20 percent of the planted vegetation dies replacement plants must be installed to achieve 80 percent. Coverage of native vegetation may consist of understory, shrub, and canopy vegetation and may include volunteer native wetland plants in addition to planted vegetation. More than 1 percent coverage of exotic and nuisance vegetation will not meet success criteria and will necessitate further exotic eradication practices by manual means.

5.5 Construction Schedule and Cost Estimate

Any deviation from construction schedule start dates, outlined below in Table 5.5, shall mandate pushing the activity dates of the construction schedule forward. However, moving the dates forward shall require that the construction schedule follow the guidelines and spatial time frames set forth in the following table. Following the initiation of the construction sequence, there will be a time-zero monitoring activity which will occur within 60 days of permit issuance. After the time-zero monitoring report, it is required that the first annual monitoring effort and subsequent report shall be submitted to the SFWMD within 1 year of the date of the time-zero report.



Table 5.5: Construction schedule including start and completion dates for construction, maintenance, and monitoring activities related to preserve areas on Isla Verde.

Activity	Estimated Start Date	Anticipated Completion Date
File conservation easement	01/15/2007	01/15/2007
Install barricades and silt screen	02/02/2007	02/15/2007
Remove exotic vegetation	02/15/2007	02/30/2007
Scrape-down elevation	02/15/2007	04/15/2007
Fill wetlands	02/30/2007	03/30/2007
Construct stormwater outfall	06/01/2007	08/01/2007
SFWMD inspection of grades/slopes	09/01/2007	11/01/2007
Plant wetlands	09/01/2007	11/15/2007
Plant buffers	09/01/2007	11/15/2007
Time zero monitoring	11/30/2007	12/15/2007
Time zero monitoring report to SFWMD	--	12/31/2007
First exotic removal	03/01/2008	03/15/2008
First interim monitoring	04/01/2008	04/15/2008
Second exotic removal	06/01/2008	06/15/2008
Annual exotic removal	10/01/2008	10/15/2008
First annual monitoring	11/01/2008	11/15/2008
First report due to SFWMD	--	11/31/2008
Second interim monitoring	04/01/2009	04/14/2009
Semi-annual exotic removal	06/01/2009	06/15/2009
Annual exotic removal	10/01/2009	10/15/2009
Second annual monitoring	11/01/2009	11/15/2009
Second report due to SFWMD	--	11/30/2009
Third interim monitoring	04/01/2010	04/15/2010
Semi-annual exotic removal	06/01/2010	06/15/2010
Annual exotic removal	10/01/2010	10/15/2010
Third annual monitoring	11/01/2010	11/15/2010
Third report due to SFWMD	--	11/30/2010
Fourth interim monitoring	04/01/2011	04/15/2011
Semi-annual exotic removal	06/01/2011	06/15/2011
Annual exotic removal	10/01/2011	10/15/2011
Fourth annual monitoring	11/01/2011	11/15/2011
Fourth report due to SFWMD	--	11/30/2011
Fifth interim monitoring	04/01/2012	04/15/2012
Semi-annual exotic removal	06/01/2012	06/15/2012
Annual exotic removal	10/01/2012	10/15/2012
Fifth annual monitoring	11/01/2012	11/15/2012
Fifth report due to SFWMD	--	11/30/2012

A detailed cost estimate is included below as Table 5.6. This includes costs for earthmoving, exotic and nuisance plant species removal and maintenance, planting, management, consultant fees, and monitoring activities.



Table 5.6 Cost estimate for mitigation, maintenance, and monitoring activities on preserve areas in Isla Verde, October 3, 2006

Mitigation Activities	Estimated Cost
Earthwork for Scrape Down	\$6,500.00
Survey and Staking	\$1,750.00
Top Soil / Organic Layer	\$3,500.00
Planting Materials (See Detail Of Costs)	\$306,014.15
Irrigation	\$8,500.00
Environmental Professional	\$ 4,200.00
Pine Mulch	\$16,500.00
Subtotal Costs	\$346,964.15
Maintenance & Monitoring Activities	Estimated Cost
5 Years Maintenance (\$ 15,000 per Year)	\$75,000.00
5 Years Monitoring (\$ 10,000 per Year)	\$50,000.00
Subtotal Maintenance & Monitoring	\$125,000.00
5% Contingency	\$23,598.21
Total Estimated Costs	\$495,562.36

Table 5.7 Details of cost estimate of plant materials to be used in Preserve Area A in Isla Verde, October 3, 2006

Tree species/Vegetation Type	Quantity	Unit Costs	Extended
Transitional Buffer			
laurel oak	50	\$25.00	\$1,250.00
live oak	150	\$195.00	\$29,250.00
cabbage palm	265	\$110.00	\$29,150.00
grasses and shrubs	5329	\$7.00	\$37,303.00
Wet Prairie Zone			
grasses and shrubs	4666	\$1.10	\$5,132.60
Cypress Zone			
red maple	68	\$25.00	\$1,700.00
pond apple	67	\$25.00	\$1,675.00
cypress	250	\$25.00	\$6,250.00
grasses and shrubs	2566	\$1.10	\$2,822.60
Pond Apple Zone			
Pond Apple	727	\$25.00	\$18,175.00
grasses and shrubs	4845	\$1.10	\$5,329.50
Sub Total Planting Costs			\$138,037.70

NOTE: See Total Planting Costs in Table 5.8 below.



Table 5.8 Details of cost estimate of plant materials to be used in Preserve Area A in Isla Verde, October 3, 2006

Tree species/Vegetation Type	Quantity	Unit Costs	Extended
Transitional Buffer #1			
dahoon holly	165	\$75.00	\$12,375.00
live oak	150	\$195.00	\$29,250.00
cabbage palm	195	\$110.00	\$21,450.00
grasses and shrubs	9468	\$7.00	\$66,276.00
Transitional Buffer #2			
slash pine	250	\$75.00	\$18,750.00
live oak	75	\$195.00	\$14,625.00
cabbage palm	240	\$110.00	\$26,400.00
grasses and shrubs	2585	\$7.00	\$18,095.00
Wet Prairie/Cypress Zone			
red maple	153	\$25.00	\$3,825.00
pond apple	152	\$25.00	\$3,800.00
cypress	375	\$25.00	\$9,375.00
grasses shrubs	49906	\$1.10	\$54,896.60
Pond Apple Zone			
Pond Apple	350	\$25.00	\$8,750.00
grasses and shrubs	2906	\$1.10	\$ 3,196.60
Freshwater Marsh Zone			
herbaceous plants	8351	\$0.75	\$ 6,263.25
Sub Total Planting Costs			\$167,976.45
Total Planting Costs			\$306,014.15



6.0 ENFORCEMENT PROVISION

The South Florida Water Management District shall have the right to enforce the provisions of the PAMP through any available administrative or civil proceeding which may result in penalties. Appropriate revegetation and other remedies may be required of any person, corporation or other entity found in violation of any of the provisions of the PAMP.

7.0 TRANSFER OF RESPONSIBILITIES

At such time as the developer is ready to transfer control of Isla Verde to the property owners, whether the developer retains ownership of parcels within the project or not, an environmental professional shall certify to SFWMD in writing that the preserve areas are in full compliance with this PAMP. All transfers shall be consistent with the requirements of subsection 4.3.7.8.C of the Basis of Review for Environmental Resource Permit Applications.

7.1 Transfer of Responsibilities—Part II

The developer will be responsible for all requirements of Part II of the PAMP until such time as the developer transfers responsibility to the property owners association. Developer will pay this share of total cost of management activities or fines on a per lot basis if he retains ownership of lots.



PART II - RESPONSIBILITIES OF THE ISLA VERDE PROPERTY OWNERS ASSOCIATION

13.0 GENERAL

14.0 DELINEATION OF PRESERVATION AREAS

15.0 PROHIBITED ACTIVITIES

16.0 MAINTENANCE AND MANAGEMENT ACTIVITIES

17.0 MISCELLANEOUS PROVISIONS AND RESTRICTIONS

18.0 ANNUAL REPORTS

13.0 GENERAL

The owners of parcels within Isla Verde and the Isla Verde Property Owners' Association have continuing management responsibility for the preserve areas on the property.

14.0 DELINEATION OF PRESERVE AREA

For a description of the preserve areas see Part I, Section 3.0.

15.0 PROHIBITED ACTIVITIES

For a description of all prohibited activities in or adjacent to preserve areas see Part I, Section 4.3.

16.0 MAINTENANCE AND MANAGEMENT ACTIVITIES

For a description of all maintenance and management responsibilities see Part I, Sections 5.3 through 5.5.

16.1 Transfer of Responsibilities

After transfer of responsibilities funding for all maintenance and management programs will be the responsibility of the Isla Verde Property Owners' Association. Management of all preserve areas shall be the responsibility of the Isla Verde Property Owners' Association. The property owners' association shall be charged with maintaining the preserve areas in their existing condition and with the periodic removal of invading exotics as noted in Part I, Section 5.3.

17.0 MISCELLANEOUS PROVISIONS AND RESTRICTIONS

For a description of miscellaneous provisions and restrictions see Part I, Sections 6.0 and 7.0.

18.0 MONITORING REPORTS

For a description of requirements for monitoring reports see Part I, Section 5.4.5.



FIGURE 3.1 ISLA VERDE SITE MAP



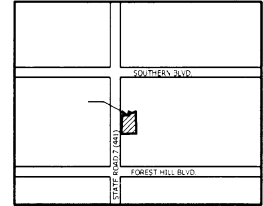
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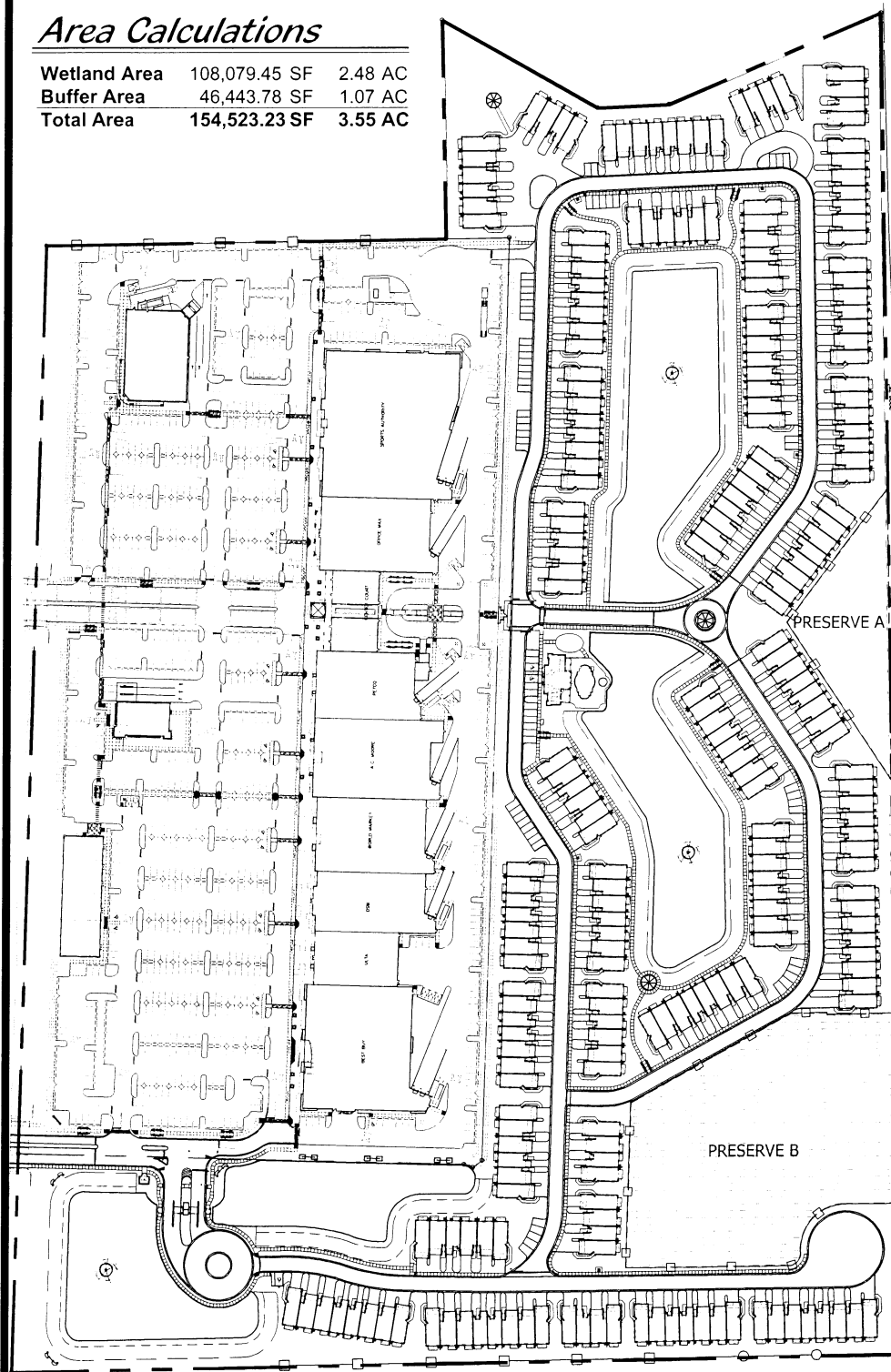
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Area Calculations

Wetland Area	108,079.45 SF	2.48 AC
Buffer Area	46,443.78 SF	1.07 AC
Total Area	154,523.23 SF	3.55 AC



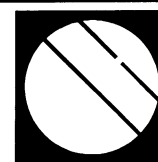
Location Map North



PLAN VIEW North
Scale: 1" = 250'

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*Isla Verde
SITE MAP*



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FIGURE 5.1 ISLA VERDE PRESERVE AREA A CROSS SECTION PLAN



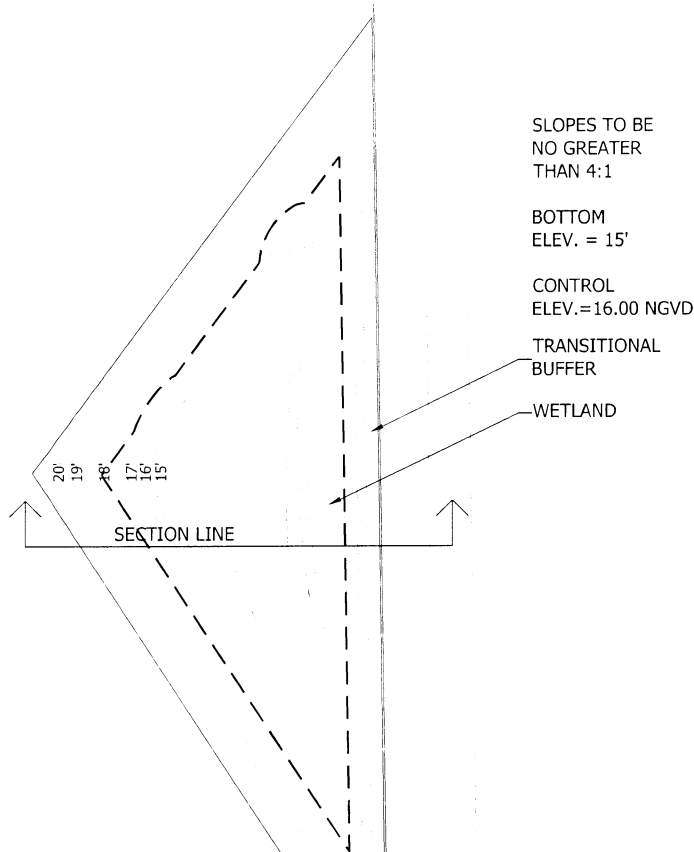
General Notes

Lake Worth Drainage District manages surrounding canal elevations, which on-site lakes and preserve areas are connected to at 16.00 NGVD throughout the year.

Buffer maintains 25' average width except in the area adjacent to the structural barrier (wall) where a 12.5' buffer width is provided.

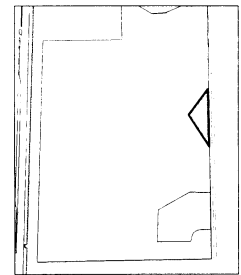
Area Calculations

Wetland Area	16,283.56 SF	0.37 AC
Buffer Area	16,636.38 SF	0.38 AC
Total Area	32,919.94 SF	0.76 AC

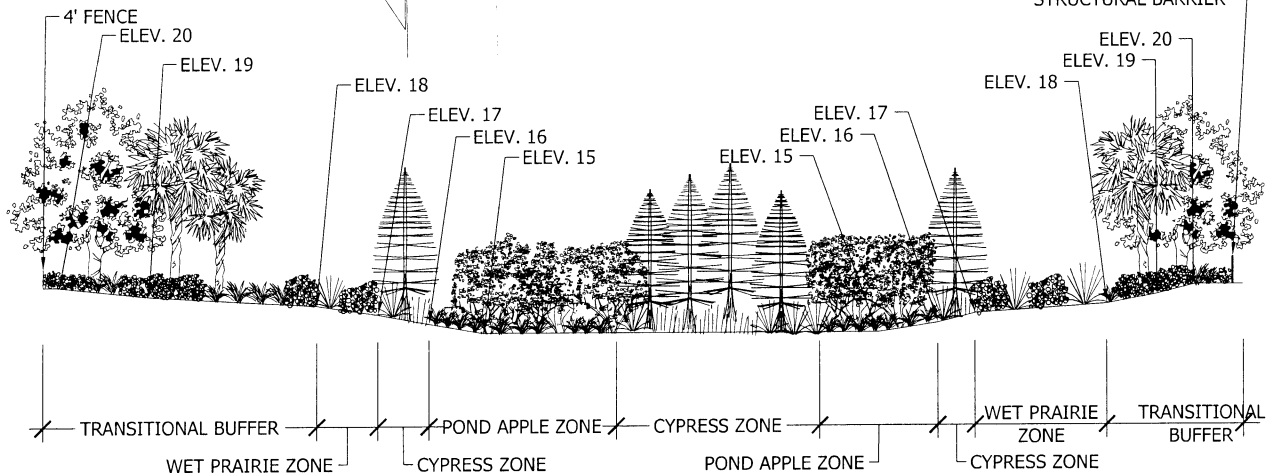


PLAN VIEW

Scale: 1" = 80'



Key Map

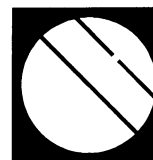


CROSS SECTION

Scale: 1" = 20'

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*Isla Verde
Preserve Area A
Cross Section Plan*



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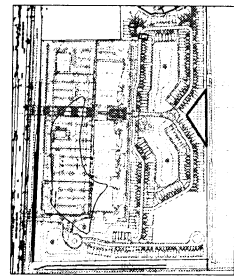
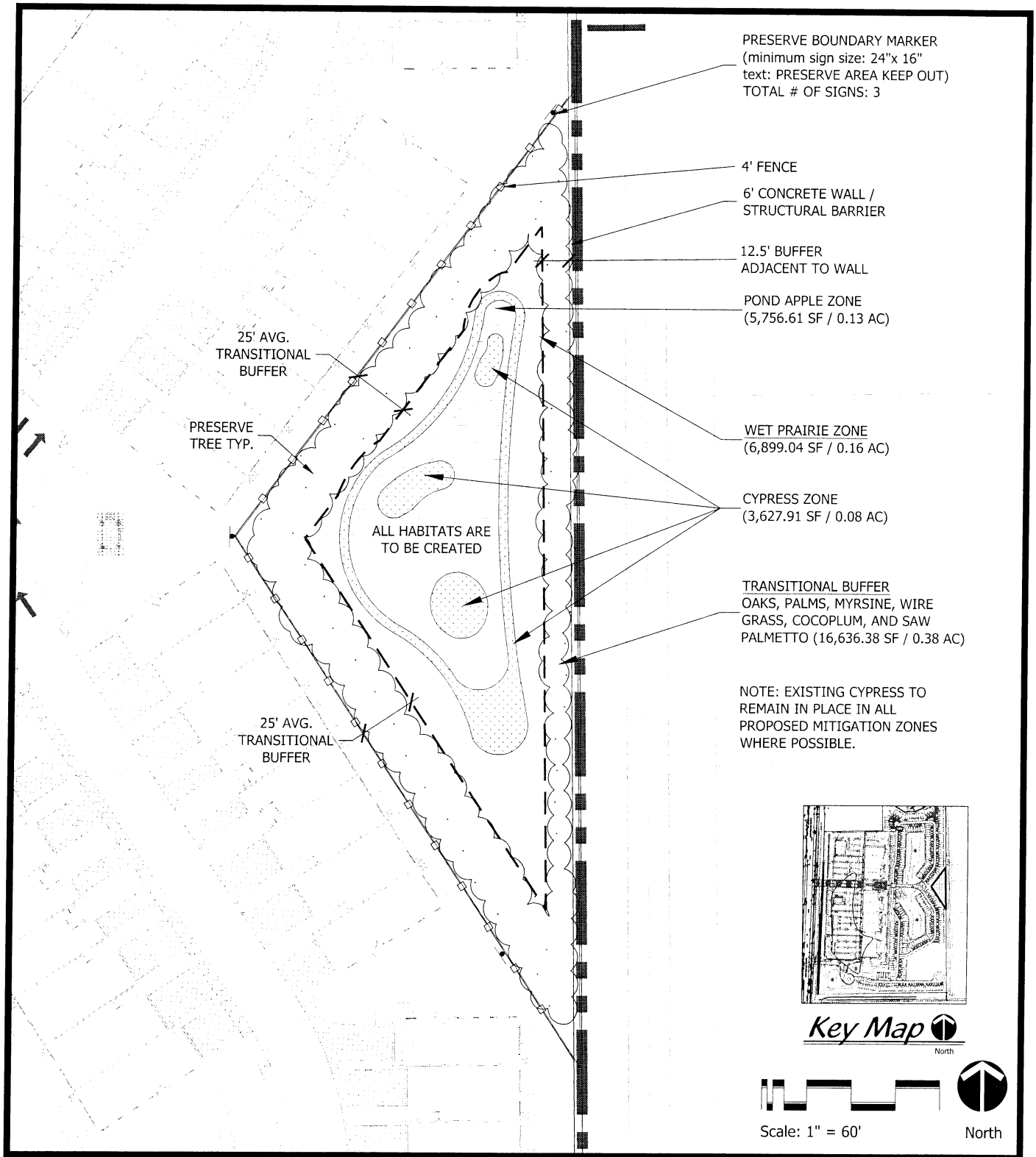
FIGURE 5.2 ISLA VERDE PRESERVE AREA A WETLAND PLAN



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Key Map 
North



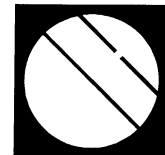
Scale: 1" = 60'



North

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Isla Verde Preserve Area A Wetland Plan



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FIGURE 5.3 ISLA VERDE PRESERVE AREA B CROSS SECTION PLAN



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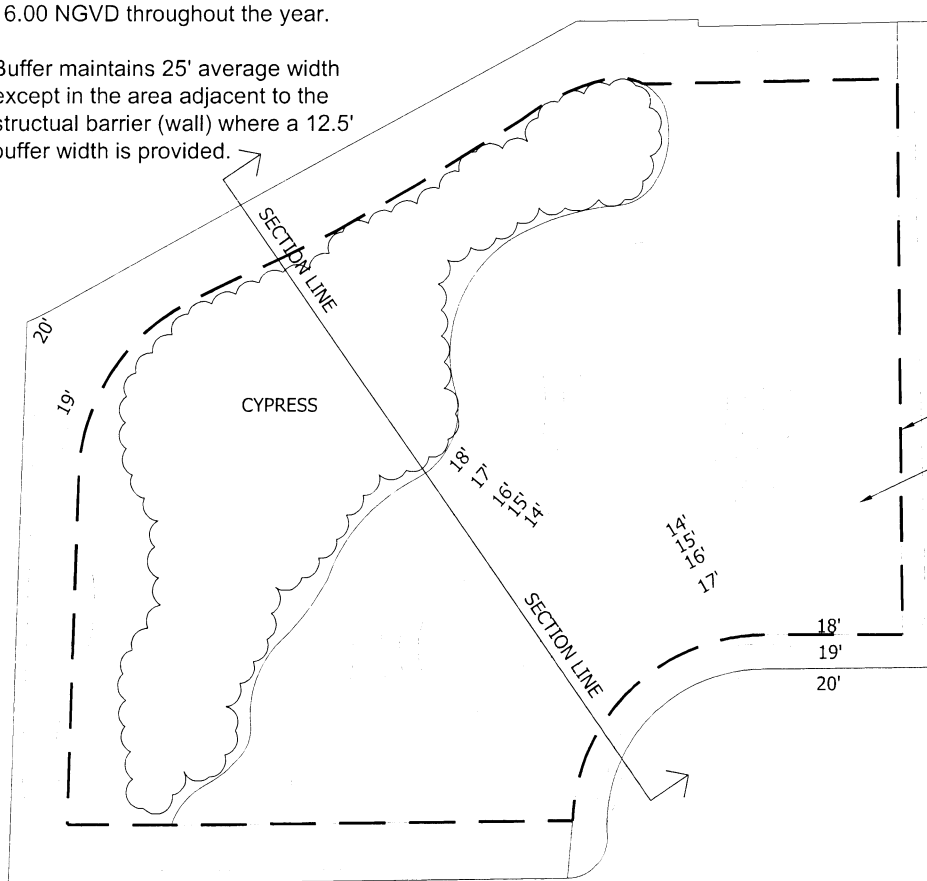
General Notes

Lake Worth Drainage District manages surrounding canal elevations, which on-site lakes and preserve areas are connected to at 16.00 NGVD throughout the year.

Buffer maintains 25' average width except in the area adjacent to the structural barrier (wall) where a 12.5' buffer width is provided.

Area Calculations

Wetland Area	91,795.89 SF	2.11 AC
Buffer Area	29,807.40 SF	0.68 AC
Total Area	121,603.29 SF	2.79 AC



SLOPES TO BE
NO GREATER
THAN 4:1

BOTTOM
ELEV. = 14'

CONTROL
ELEV. = 16.00 NGVD

TRANSITIONAL
BUFFER

WETLAND

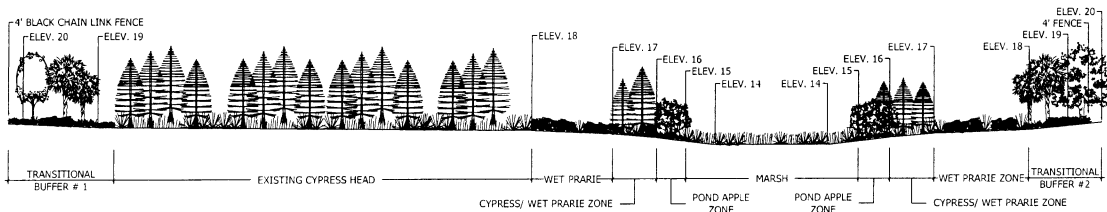
PLAN VIEW

Scale: 1" = 80'



Key Map

North

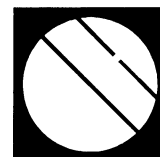


CROSS SECTION

Scale: 1" = 50'

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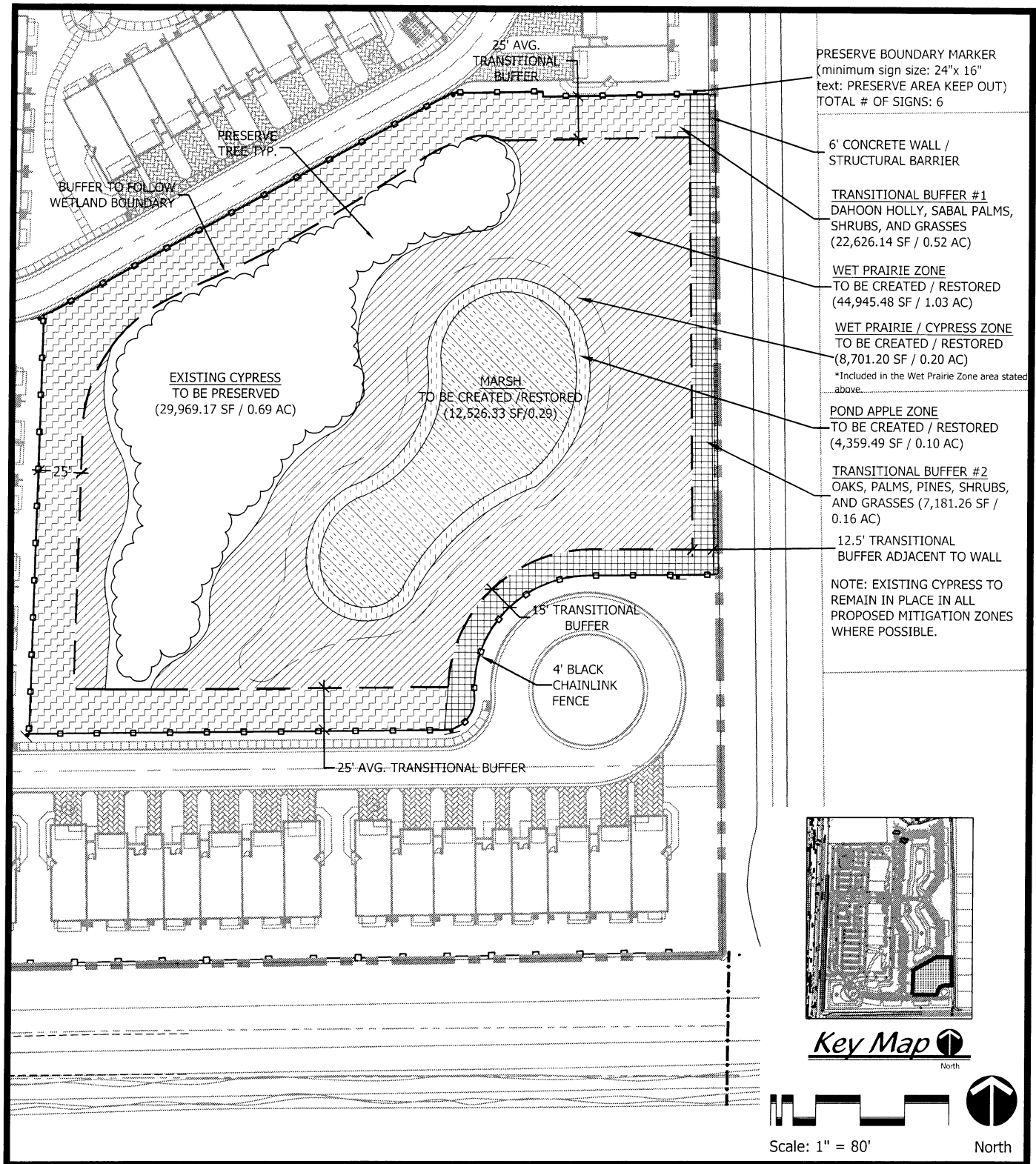
Isla Verde Preserve Area B Cross Section Plan



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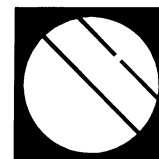
FIGURE 5.4 ISLA VERDE PRESERVE AREA B WETLAND PLAN





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 DRAWN _____ FMM
 APPROVED _____ DEH
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*Isla Verde
 Preserve Area B
 Wetland Plan*



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FIGURE 5.5 ISLA VERDE PRESERVE AREA A MONITORING PLAN



FIGURE 5.6 ISLA VERDE PRESERVE AREA B MONITORING PLAN



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FIGURE 5.7 SAMPLE DATA SHEET



**ATTACHMENT 1
ENVIRONMENTAL ASSESSMENT,
UNDEVELOPED 53.85 ACRES WEST OF
WHIPPOORWILL WAY AND EAST OF STATE
ROAD 7**



ATTACHMENT 2 LITTORAL PLANTING PLAN



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ATTACHMENT 3
FLORIDA EXOTIC PEST PLANT COUNCIL'S
2005 LIST OF INVASIVE SPECIES



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Project #04-1216
12/13/2006



AT&T
Palm Beach

RECEIVED

By Planning and Zoning at 12:20 pm, Oct 17, 2013

Robert Matrafajlo
2021 S. Military Trail
WPB FL 33415
561-357-6559

9/25/13
Isla Verde of Wellington
Attn: Matt London
3501 S. Federal Highway
Boynton Beach, FL 33435

RE: Isla Verde of Wellington

Dear Mr. London

This letter is in response to your request for information on the availability of service at the above Isla Verde. This letter acknowledges that the above referenced Isla Verde is located in an area served by AT&T. Any service arrangements for the Isla Verde will be subject to later discussions and agreements between the developer and AT&T. Please be advised that this letter is not a commitment by AT&T to provide service to Isla Verde. Please contact me at the phone number included in this letter with any questions.

Thank you for contacting AT&T.

Sincerely,

Robert Matrafajlo
OSPE-AT&T

RECEIVED

By Planning and Zoning at 12:20 pm, Oct 17, 2013



Engineering Department

10435 Ironwood Road
Palm Beach Gardens, Florida 33410

September 21, 2013

RE: Letter of Service Availability

Dear Mr London,

Please consider this Comcast Cable Communications Letter of Service Availability for the proposed development, Isla Verde to be built in the Village of Wellington.

If you need additional information, please call me 561-662-6103 or e-mail archie_griggs@cable.comcast.com.

Sincerely,

A handwritten signature in blue ink, appearing to read "Archie Griggs", with a stylized flourish at the end.

Archie Griggs
Senior Field Coordinator



Florida Power & Light Company, 810 Charlotte Ave., West Palm Beach, FL 33401
Phone: 561-616-1628, Fax: 561-616-1625

RECEIVED

By Planning and Zoning at 12:21 pm, Oct 17, 2013

Sept. 23, 2013

FM Contract Service, LLC
Matthew London
601 Bayshore Blvd, STE 650
Tampa, FL 33606

RE: ISLA VERDE RESIDENTIAL DEVELOPMENT

Dear Matthew,

This is to confirm that, at the present time, FPL has sufficient capacity to provide electric service to the above referenced project. This service will be furnished in accordance with applicable rates, rules and regulations.

Please provide the final site plan, site survey and electrical load data as soon as possible so the necessary engineering can begin.

Early contact with FPL is essential so that resources may be scheduled to facilitate availability of service when required.

If you have any questions please call me at 561-616-1628.

Sincerely,

A handwritten signature in blue ink that reads 'William Thomas'.

William Thomas
Senior Technical Specialist



RECEIVED

By Planning and Zoning at 12:21 pm, Oct 17, 2013

September 25, 2013

HG Acquisitions

Attn. Matthew London

601 Bayshore Blvd, Ste. 650

Tampa, FL-33606

Re: Property located at State Road 7, north of Forest Hill Blvd, Wellington, FL-33411

Dear Mr. London,

Florida Public Utilities would like to take this opportunity to offer our assistance with the reference project and future projects in our service area where we recommend natural gas as your energy choice.

Natural gas would be available to the project site provided adequate revenues are received from the customer. Tap charges, gas service and connection fees are determined by the Rules and Regulations of the Florida Public Service Commission. A "no-cost Natural Gas Main extension" would require the applicant located within the service area to have estimated five and one half year revenues equal to the estimated cost of construction.

Installation of gas supply facilities is dependent on Florida Public Utilities receiving a signed Service Agreement from the tenant with the appropriate signatures. A copy of corporation papers with Tax ID will also be required together with a gas account deposit or surety bond which will be determined at a later date.

We currently have natural gas supply in the vicinity of the proposed site. Florida Public Utilities gas service means that we will run the needed gas lines from the street (main gas line extension if needed plus dedicated service line and gas meter). No interior gas line work is performed by Florida Public Utilities.

In order to start the estimate process we will need:

Desired delivery pressure at the meter.

List of equipment with related BTU's.

Gas Riser Diagram.

If you need any additional information or have any questions please do not hesitate to contact me at (561) 602-4150 or e-mail: mruini@fpuc.com.

Sincerely,

Mauro Ruini

Commercial Sales Account Manager



RECEIVED

By Planning and Zoning at 12:21 pm, Oct 17, 2013

September 24, 2013

**Water Utilities Department
Contract Management**

P. O. Box 16097

West Palm Beach, FL 33416-6097

(561) 493-6000

Fax: (561) 493-6060

www.pbcwater.com

**Palm Beach County
Board of County
Commissioners**

Steven L. Abrams, Mayor

Priscilla A. Taylor, Vice Mayor

Hal R. Valeche

Paulette Burdick

Shelley Vana

Mary Lou Berger

Jess R. Santamaria

County Administrator

Robert Weisman

*"An Equal Opportunity
Affirmative Action Employer"*

FM Contract Service, LLC
601 Bayshore Blvd. Suite 650
Tampa, FL 33606

ATTN: Mr. Matthew London

Re: Isla Verde Residential
(East side of US 441, North of LWDD Canal L-6)
Service Availability Letter
SDA #01-01194-000

Dear Mr. London:

This is to confirm that the proposed development is located within Palm Beach County Water Utilities Department potable water, wastewater and reclaimed water service area. Potable water and wastewater system capacities are available, subject to a Reservation Agreement with PBCWUD.

Based on the information provided by your Engineer, the total number of Equivalent Residential Connections needed for the project is 295.6.

There is an existing Development Agreement with a reserved capacity of 258.5 ERC's, (SDA #01-01194-000). This Agreement will expire in 2014, and may be renewed for another five (5) years, subject to Mandatory Agreement Payment. The current Agreement may be assigned to a new property owner, (please contact Judy Provence at 561-493-6055 for assistance).

In any case, a new Development Agreement with Palm Beach County Water Utilities Department is required to reserve the balance of capacity (37.1 ERC's with Assignment, or 295.6 ERC's without the Assignment).

If you have any questions, please call me at (561) 493-6122.

Sincerely,

A handwritten signature in blue ink that reads "Adam Galicki".

Adam Galicki,
Manager, Engineering Services

cc: Judy Provence, Contract Management



Fire Rescue

Chief Jeffrey P. Collins
405 Pike Road
West Palm Beach, FL 33411
(561) 616-7000
www.pbcgov.com



**Palm Beach County
Board of County
Commissioners**

Priscilla A. Taylor, Mayor
Paulette Burdick, Vice Mayor

Hal R. Valeche
Shelley Vana
Steven L. Abrams
Mary Lou Berger
Jess R. Santamaria

County Administrator

Robert Weisman

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Affirmative Action Employer"

RECEIVED

By Planning and Zoning at 5:56 pm, Dec 16, 2013

December 13, 2013

Re: Isla Verde

Dear Ms. Kate DeWitt:

Per your request for response time information to the subject property, located at the northeast corner of Dillman Road and SR7. This property is served currently by Palm Beach County Fire-Rescue station #29, which is located at 10055 Belvedere Road. The subject property is approximately 2.75 miles from the station. The estimated response time to the subject property is 8 minutes. For fiscal year 2013, the average response time (call received to on scene) for this stations zone is 6:04.

If you have any further questions, please feel free to contact me at 561-616-6909.

Sincerely,

A handwritten signature in cursive script that reads "Cheryl Allan".

Cheryl Allan, Planner
Palm Beach County Fire-Rescue



RECEIVED

By Planning and Zoning at 5:56 pm, Dec 16, 2013

**Department of Planning,
Zoning & Building**

2300 North Jog Road
West Palm Beach, FL 33411-2741
(561) 233-5000

Planning Division 233-5300
Zoning Division 233-5200
Building Division 233-5100
Code Enforcement 233-5500
Contractors Certification 233-5525
Administration Office 233-5005
Executive Office 233-5228
www.pbcgov.com/pzb



**Palm Beach County
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Commissioners**

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Priscilla A. Taylor, Vice Mayor
Hal R. Valeche
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Shelley Vana
Mary Lou Berger
Jess R. Santamaria

County Administrator

Robert Weisman

"An Equal Opportunity
Affirmative Action Employer"

December 3, 2013

Kate DeWitt, AICP
Cotleur & Hearing
1934 Commerce Lane, Suite 1
Jupiter, FL 33458

**RE: FLUA Historical and Archaeological Resource Review for:
PCN#73-42-44-06-10-001-0000**

Dear Ms. DeWitt,

This correspondence is in reply to your email requesting a review of the above referenced property in regard to the identification of any historical and archaeological resources located on or within 500 feet of this property.

Staff review of the County's survey of historic/architecturally significant structures, and of properties designated for inclusion in the National Register of Historic Places (NRHP), has not identified any historically significant resources within 500 feet of the above referenced property.

Staff review of the County's map of known archaeological sites has not identified any known archaeological resources located on or within 500 feet of the above referenced property.

Should artifacts be discovered during the construction phase of the project the developer should be required to stop and contact the Village of Wellington. In turn Wellington should contact the County Archaeologist for further direction.

Should you have any questions or comments, please contact me at (561) 233-5331.

Sincerely,

Christian Davenport, MA, RPA
Palm Beach County Archeologist

C: Isaac Hoyos, Principal Planner, Planning Division

T:\Planning\Archaeology\County Departments\Planning\Land Use Amendments and Development Review\Cotleur and Hearing\73-42-44-06-10-001-0000.doc



13081 MILITARY TRAIL
DELRAY BEACH, FLORIDA 33484 -1105

Board of Supervisors
James M. Alderman
C. David Goodlett
Joyce D. Haley
Harry Raucher
John I. Whitworth III
Executive Director/Secretary
Robert M. Brown
Attorney
Mark A. Perry, P.A.

RECEIVED

By Planning and Zoning at 5:57 pm, Dec 16, 2013

December 13, 2013

Kate DeWitt
Cotleur & Hearing
1934 Commerce Lane
Jupiter, FL 33458

**Re: Isla Verde of Wellington Statement of Drainage Availability
LWDD Canal No. E-1
LWDD Project No. 06-7984D.03**

Dear Ms. DeWitt:

The above referenced project has been permitted by the Lake Worth Drainage District. Therefore, proper drainage is available.

Should you have any questions, please feel free to contact me.

Sincerely,



Patrick A. Martin, P.E.
District Engineer



RECEIVED

By Planning and Zoning at 5:57 pm, Dec 16, 2013

September 24, 2013

**Water Utilities Department
Contract Management**

P. O. Box 16097

West Palm Beach, FL 33416-6097

(561) 493-6000

Fax: (561) 493-6060

www.pbcwater.com

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FM Contract Service, LLC
601 Bayshore Blvd. Suite 650
Tampa, FL 33606

ATTN: Mr. Matthew London

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(East side of US 441, North of LWDD Canal L-6)
Service Availability Letter
SDA #01-01194-000

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Based on the information provided by your Engineer, the total number of Equivalent Residential Connections needed for the project is 295.6.

There is an existing Development Agreement with a reserved capacity of 258.5 ERC's, (SDA #01-01194-000). This Agreement will expire in 2014, and may be renewed for another five (5) years, subject to Mandatory Agreement Payment. The current Agreement may be assigned to a new property owner, (please contact Judy Provence at 561-493-6055 for assistance).

In any case, a new Development Agreement with Palm Beach County Water Utilities Department is required to reserve the balance of capacity (37.1 ERC's with Assignment, or 295.6 ERC's without the Assignment).

If you have any questions, please call me at (561) 493-6122.

Sincerely,

Adam Galicki,
Manager, Engineering Services

cc: Judy Provence, Contract Management



**THE SCHOOL DISTRICT OF
PALM BEACH COUNTY, FL**

**KRISTIN GARRISON
DIRECTOR**

**MICHAEL J. BURKE
CHIEF OPERATING OFFICER**

PLANNING AND REAL ESTATE SERVICES
3300 FOREST HILL BLVD., SUITE C-110
WEST PALM BEACH, FL 33406

**STEVEN G. BONINO
CHIEF OF SUPPORT OPERATIONS**

PHONE: 561-434-8020 / FAX: 561-434-8815
WWW.PALMBEACHSCHOOLS.ORG/PLANNING

October 30, 2013

Mr. Damian Newell
Associate Planner
Village of Wellington
12300 Forest Hill Blvd
Wellington Florida 33414

RE: CONCURRENCY DETERMINATION - CASE NUMBER # 13102301C, ISLA VERDE

Dear Mr. Newell:

The Palm Beach County School District has reviewed the request for a Concurrency Determination on the above referenced project for 360 apartment units.

Attached please find the approved Palm Beach County School District Concurrency Application and Service Provider Form for Isla Verde.

This Concurrency Determination is valid for one (1) year from the date of issuance. Once a Development Order has been issued for the project, the concurrency determination will be valid for the life of the Development Order.

If you have any questions regarding this determination, please feel free to contact me at (561) 434-8876.

Sincerely,

Joyce C. Cai
Senior Planner

CC: Kathryn Dewitt, Cotleur & Hearing, Inc.
Angela D. Usher, AICP, School District of Palm Beach County



The School District of Palm Beach County
Planning & Real Estate Services
3300 Forest Hill Blvd. C-110
West Palm Beach, FL 33406-5813
Phone: (561)434-8042
Fax: (561)434-8815
Attention: Concurrency Section

The School District of Palm Beach County School Concurrency Application & Service Provider Form

Instructions: Submit one copy of the completed application and fees for the review, for each new residential project requiring a determination of concurrency for schools. A determination will be provided within fifteen (15) working days of receipt of a complete application. A determination is not transferable and is valid for one year from date of issuance. Once the Development Order is issued, the concurrency determination shall be valid for the life of the Development Order.

Please check (✓) type of application (one only):

☒ Concurrency Determination ☐ Concurrency Exemption ☐ Concurrency Equivalency
☐ Adequate School Facilities Determination ☐ Letter of No Impact ☐ Time Extension

Fees: Concurrency Determination (\$200.00 for 20 units or more / under 20 units \$100.00), Adequate School Facilities Determination (\$200.00), Equivalency (\$125.00) Exemption or Letter of No Impact (\$25.00), Time Extension (\$75.00)

PART I. PROJECT INFORMATION

Project Name: ISLA VERDE **Municipality:** VILLAGE OF WELLINGTON

Property Control Number (PCN): 73-42-44-06-10-001-0000

Location of Subject Property: NORTHEAST CORNER OF DILLMAN ROAD AND SR 7, LOCATED ON THE EAST SIDE OF SR 7, SOUTH OF SOUTHERN BLVD, AND NORTH OF FOREST HILL BLVD.

DEVELOPMENT REQUEST:

Project Data	
Project Acreage	53.57 AC
Total Number of Units	360
Will the Project be Phased? (Y/N)	
Concurrency Service Area (CSA)	15
School Area Code (SAC)	1583

Type of Units	
	Single Family
360	Apartments (3 Stories or less)
	High Rise Apartments
	Age Restricted (Adults Only)**

* If applicable, please attach a Phasing Plan showing the number and type of units to receive certificate of occupancy yearly.
** A Restrictive Covenant is required for age restricted communities.

OWNERSHIP / AGENT INFORMATION:

Owner's Name: ISLA VERDE, LLC
Agent's Name: COTLEUR & HEARING, INC. - DONALDSON HEARING / KATHRYN DEWITT
Mailing Address: 1934 COMMERCE LANE, SUITE 1 JUPITER, FL, 33458
Telephone Number: 747-6336 EXT. 110 **Fax Number:**

I hereby certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge.

Owner or Owner's Agent Signature

9/24/13
Date

PART II. LOCAL GOVERNMENT REVIEW

Date Application Filed: 10/17/13 **Petition Number:** 2013-64CPA2/DOA3/MPA2/SP3
Reviewed By: DAMIAN DEWEIL **Title:** ASSOCIATE PLANNER

Did the Applicant pay the filing fee to you? () YES (Please attach proof of payment)
(X) NO (If no, the applicant must pay the School District.
The School District will not review without payment)

Government Representative Signature

10/17/13
DATE

PART III. TO BE COMPLETED BY SCHOOL DISTRICT

Date & Time Received: 10/23/13 **Case Number:** 13102301C

☒ I verify that the project complies with the adopted Level of Service (LOS) for Schools
☐ I verify that the project will comply with the adopted Level of Service (LOS) for Schools subject to the attached conditions
☐ I cannot verify that the project will comply with the adopted Level of Service (LOS) for Schools

School District Representative

10/30/13
Date