

GUARANTEED MAXIMUM PRICE AMENDMENT

EXHIBIT “R” TO CONSTRUCTION MANAGEMENT AGREEMENT DATED JULY 2, 2025 BETWEEN VILLAGE OF WELLINGTON AND BURKHARDT CONSTRUCTION, INC. (“CONSTRUCTION MANAGER”) FOR THE AQUATIC CENTER SWIMMING POOL DEMOLITION PROJECT NOW KNOWN AS THE AQUATIC COMPLEX SWIMMING POOL DEMOLITION (“PROJECT”) MADE THIS _____ DAY OF FEBRUARY 2026.

ARTICLE 1 - GUARANTEED MAXIMUM PRICE

1.1 Guaranteed Maximum Price (“GMP”)

Pursuant to Section 3.2 of the Agreement, the Owner and Construction Manager hereby amend the Agreement to establish a Guaranteed Maximum Price. As agreed by the Owner and Construction Manager, the Guaranteed Maximum Price is an amount that the Contract Sum shall not exceed. The Contract Sum consists of the Construction Manager’s Fee plus the Cost of the Work, as that term is defined in Article 8 of this Agreement, and the Owner’s Contingency. There shall be no Fee on Owner’s Contingency unless and until such time as use of the Owner’s Contingency is authorized by Owner. Notwithstanding, Manager’s insurance and bond costs shall not be subject to Construction Manager’s Fee.

1.1.1 The Contract Sum is guaranteed by the Construction Manager not to exceed Nine Hundred Fifty-Nine Thousand Three Hundred Eighty-Nine Dollars (\$959,389.00) subject to additions and deductions by Change Order as provided in the Contract Documents. The GMP is subject to Construction Manager’s Assumptions and Clarifications to the GMP attached as **Exhibit “R5”**.

1.1.2 Allowances included in the Guaranteed Maximum Price are attached as **Exhibit “R4”**.

1.1.3 The Guaranteed Maximum Price includes a fixed amount for General Conditions and General Requirements of One Hundred Thirty-Nine Thousand Three Hundred Forty Dollars and Ninety-Six cents (\$139,340.96) as detailed in **Exhibit “R7”**. Construction Manager’s General Conditions and General Requirements are fixed and shall not be subject to increase or decrease unless authorized by written Change Order as set forth in the Agreement.

1.1.4 The GMP includes an Owner’s Contingency in the amount of Thirty-Nine Thousand Five Hundred Dollars (\$39,500.00) to be utilized as set forth in 7.2.3 of the Agreement.

1.1.5 It is the intent and understanding of Construction Manager in providing a GMP for this Work, that the Drawings, Plans and Specifications listed in the attached **Exhibit “R1”** provide for the construction of completed Work by the Construction Manager, including all devices, fasteners, materials or other work not shown in the Drawings and Specifications but which are reasonably inferable therefrom and any and all incidental accessories necessary to make the Work complete and operable in all respects (even if not specified in the description of the Work, but necessary for proper installation and operation of the Work under the Drawings and Specifications), all of which shall be included as part of the Cost of the Work. The expression "reasonably inferable" and similar terms in the Contract Documents shall be interpreted to mean reasonably inferable by a construction manager and general contractor familiar with the Project, having performed extensive Preconstruction Services, and exercising the care, skill and diligence of the Construction Manager by the Contract Documents. Notwithstanding, the foregoing shall not be construed to impose any design responsibility or liability on Construction Manager except where such design responsibility is an existing requirement of Florida law or the Contract Documents.

1.2 **Schedule of Values.** The Schedule of Values allocating the Contract Sum to the various portions of the Work is attached as **Exhibit “R2”**. The Construction Manager shall not imbalance its Schedule of Values nor artificially inflate any element thereof. Any violation of this provision by the Construction Manager shall constitute a material breach of this Construction Management Agreement. The Schedule of Values shall allocate the entire Guaranteed Maximum Price among the various portions of the Work, except that the Construction Manager’s Fee shall be shown as a single separate item.

ARTICLE 2 – CONTRACT TIME

2.1 Date of Commencement. The Work to be performed under this Construction Management Agreement shall be commenced upon the issuance of a Notice to Proceed from Owner (“Date of Commencement”).

2.2 Contract Time. Construction Manager shall meet all Milestones outlined in **Exhibit “R3”** and the entire Project shall reach Substantial Completion no later than **135** calendar days from the Date of Commencement. Construction Manager shall reach Final Completion no later than **30** days from the delivery of the Punch List as outlined in Paragraph 14.04(G) of the General Conditions, subject to any authorized extensions of time as set forth in the Contract Documents. All Work shall be performed in an expeditious manner.

2.2.1 Liquidated Damages. The parties to this Agreement agree that time is of the essence in the performance of this Agreement. Substantial Completion of the Work under this Agreement, as defined in Article 1 of the General Conditions shall be no later than the Substantial Completion date set forth in Section 2.2 of this GMP Amendment, subject to authorized extensions of time as set forth in the Article 12 of the General Conditions. In the event the Work is not substantially completed by the completion date stated above, and has not been extended by Change Order, the Owner shall be entitled to collect liquidated damages. Construction Manager and Owner agree that, because of the nature of the Work, the inability of the parties to precisely calculate actual damages for delay and the difficulty of determining these damages, the Construction Manager shall pay the Owner the sum of **ZERO dollars** for each calendar day of unexcused delay for failure to achieve Substantial Completion of the Work. Further, Construction Manager and Owner agree that, because of the nature of the Work, the inability of the parties to precisely calculate actual damages for delay and the difficulty of determining these damages, the Construction Manager shall pay the Owner the sum of **ZERO dollars** as liquidated damages for each and every calendar day of unexcused delay for failure to achieve Final Completion. It is hereby agreed that the amount of the per diem assessment for liquidated damages for the Construction Manager’s failure to achieve Substantial Completion of the Work or Final Completion of the Work within the time specified in this Agreement is not a penalty and not excessive in light of the circumstances known to the parties at the time this Agreement is executed. The Owner’s exercise of its right to terminate this Agreement shall not release the Construction Manager from its obligation to pay liquidated damages in the amount set forth herein. Such assessments shall be immediately due and payable to the Owner or, at the Owner’s option, may be deducted from future payments that may be due and owing to Construction Manager. Any sums due and payable hereunder by the Construction Manager shall be payable, not as a penalty, but as liquidated damages representing an estimate of delay damages likely to be sustained by the Owner, estimated at or before the time of executing this Agreement. Construction Manager’s liability for liquidated damages shall survive completion and termination of the Agreement and are in addition to Owner’s other remedies available under the Contract Documents and by law.

ARTICLE 3 - MISCELLANEOUS

3.1 In addition to Construction Manager’s and Subcontractor’s warranty set forth in 6.19 of the General Conditions, Construction Manager shall be responsible for providing the Extended Warranties as set forth in **Exhibit “R6”**.

3.2 The GMP Amendment incorporates the following exhibits:

1. Drawings, plans and specifications listed in the attached List of Drawings attached hereto as **Exhibit “R1”**;
2. Construction Manager’s Schedule of Values to be attached as **Exhibit “R2”**;
3. Construction Schedule to be attached as **Exhibit “R3”**;
4. Construction Manager’s Allowances to be attached as **Exhibit “R4”**;

5. Construction Manager's Assumptions and Clarifications to the GMP, if any, to be attached as **Exhibit "R5"**;
6. List of extended warranties to be attached as **Exhibit "R6"**;
7. Construction Manager's Stipulated General Conditions and General Requirements to be attached as **Exhibit "R7"**.
8. Submittal Schedule to be attached as **Exhibit "R8"**.

This GMP Amendment and all Exhibits are hereby incorporated as part of the Contract Documents as defined in the Agreement.

3.3 Construction Manager shall deliver Public Construction Bond in accordance with Fla. Stat. §255.05 and the forms set forth as **Exhibit "E"** from a surety registered in Florida and acceptable to Owner for the full value of the Guaranteed Maximum Price, plus all change orders.

3.4 Other than as modified herein, the terms and conditions set forth in the Agreement, General Conditions and other Contract Documents remain in full force and effect.

IN WITNESS WHEREOF, Owner and Construction Manager have signed this GMP Amendment. One counterpart each has been delivered to Owner, Construction Manager, and the Engineer. All portions of the Contract Documents have been signed or identified by Owner and Construction Manager or by the Engineer on their behalf.

[SIGNATURES ON FOLLOWING PAGE]

OWNER:

VILLAGE OF WELLINGTON

CONSTRUCTION MANAGER:

BURKHARDT CONSTRUCTION, INC.

By _____

Michael Napoleone, Mayor

By _____

Printed Name/Title: Marc R. Kleisley, Vice President

Attest: _____

Chevelle Hall, Wellington's Clerk

Attest: _____

Printed Name _____

(SEAL)

(CORPORATE SEAL)

Address for giving notices

12300 Forest Hill Boulevard

Wellington, Florida 33414

Address for giving notices

515 Palm Street

West Palm Beach, FL 33401

APPROVED AS TO FORM AND
LEGAL SUFFICIENCY

License No. CGC 003711

Agent for service of process:

Laurie Cohen, Attorney for Wellington

(If Construction Manager is a corporation, attach evidence
of authority to sign.)

EXHIBIT R1
DRAWINGS, PLANS AND
SPECIFICATIONS

EXHIBIT R1



Burkhardt Construction, Inc.

Printed on Fri Jan 16, 2026 at 09:41 am EST

Job #: 2508 PRECON - VOW Aquatic Facility Demolition
 12072 FOREST HILL BLVD
 WELLINGTON, Florida 33414

Area 02 - Current Drawings

| Drawing No. | Drawing Title | Revision | Drawing Date | Received Date | Set |
|--------------|----------------------------------|----------|--------------|---------------|---|
| Civil | | | | | |
| C-001 | SWIMMING POOL DEMOLITION PLANS | 0 | 09/17/2025 | 09/18/2025 | AQUATIC CENTER DEMOLITION PLANS 100% SUBMITTAL (09/18/25) |
| C-100 | GRADING PLAN | 0 | 09/17/2025 | 09/18/2025 | AQUATIC CENTER DEMOLITION PLANS 100% SUBMITTAL (09/18/25) |
| D-001 | GENERAL NOTES AND SPECIFICATIONS | 0 | 09/17/2025 | 09/18/2025 | AQUATIC CENTER DEMOLITION PLANS 100% SUBMITTAL (09/18/25) |
| D-002 | GENERAL NOTES AND SPECIFICATIONS | 0 | 09/17/2025 | 09/18/2025 | AQUATIC CENTER DEMOLITION PLANS 100% SUBMITTAL (09/18/25) |
| D-003 | OVERALL SITE PLAN | 0 | 09/17/2025 | 09/18/2025 | AQUATIC CENTER DEMOLITION PLANS 100% SUBMITTAL (09/18/25) |
| D-004 | OVERALL DEMOLITION KEY SHEET | 0 | 09/17/2025 | 09/18/2025 | AQUATIC CENTER DEMOLITION PLANS 100% SUBMITTAL (09/18/25) |
| D-100 | PHOTO KEY SHEET | 0 | 09/17/2025 | 09/18/2025 | AQUATIC CENTER DEMOLITION PLANS 100% SUBMITTAL (09/18/25) |
| D-101 | PHOTO SHEET | 0 | 09/17/2025 | 09/18/2025 | AQUATIC CENTER DEMOLITION PLANS 100% SUBMITTAL (09/18/25) |
| D-102 | PHOTO SHEET | 0 | 09/17/2025 | 09/18/2025 | AQUATIC CENTER DEMOLITION PLANS 100% SUBMITTAL (09/18/25) |
| D-103 | PHOTO SHEET | 0 | 09/17/2025 | 09/18/2025 | AQUATIC CENTER DEMOLITION PLANS 100% SUBMITTAL (09/18/25) |
| D-200 | OVERALL DEMOLITION PLAN | 0 | 09/17/2025 | 09/18/2025 | AQUATIC CENTER DEMOLITION PLANS 100% SUBMITTAL (09/18/25) |
| D-201 | POOL PLAN DEMOLITION PLAN | 0 | 09/17/2025 | 09/18/2025 | AQUATIC CENTER DEMOLITION PLANS 100% SUBMITTAL (09/18/25) |
| D-202 | POOL PIPING PLAN | 0 | 09/17/2025 | 09/18/2025 | AQUATIC CENTER DEMOLITION PLANS 100% SUBMITTAL (09/18/25) |
| D-203 | POOL PIPING SECTIONS AND DETAILS | 0 | 09/17/2025 | 09/18/2025 | AQUATIC CENTER DEMOLITION PLANS 100% SUBMITTAL (09/18/25) |
| D-204 | POOL DETAILS | 0 | 09/17/2025 | 09/18/2025 | AQUATIC CENTER DEMOLITION PLANS 100% SUBMITTAL (09/18/25) |
| D-300 | MECHANICAL PIPING | 0 | 09/17/2025 | 09/18/2025 | AQUATIC CENTER DEMOLITION PLANS 100% SUBMITTAL (09/18/25) |
| D-301 | MECHANICAL PLAN | 0 | 09/17/2025 | 09/18/2025 | AQUATIC CENTER DEMOLITION PLANS 100% SUBMITTAL (09/18/25) |
| D-302 | FILTER AND HEATER PIPING | 0 | 09/17/2025 | 09/18/2025 | AQUATIC CENTER DEMOLITION PLANS 100% SUBMITTAL (09/18/25) |
| D-303 | MECHANICAL SECTIONS | 0 | 09/17/2025 | 09/18/2025 | AQUATIC CENTER DEMOLITION PLANS 100% SUBMITTAL (09/18/25) |
| D-400 | COLLECTOR TANK DETAILS | 0 | 09/17/2025 | 09/18/2025 | AQUATIC CENTER DEMOLITION |

EXHIBIT R1



Burkhardt Construction, Inc.

Printed on Fri Jan 16, 2026 at 09:41 am EST

Job #: 2508 PRECON - VOW Aquatic Facility Demolition
12072 FOREST HILL BLVD
WELLINGTON, Florida 33414

| Drawing No. | Drawing Title | Revision | Drawing Date | Received Date | Set |
|-------------|--------------------|----------|--------------|---------------|--|
| | | | | | PLANS 100% SUBMITTAL (09/18/25) |
| D-401 | ELECTRO-MECHANICAL | 0 | 09/17/2025 | 09/18/2025 | AQUATIC CENTER DEMOLITION PLANS 100% SUBMITTAL (09/18/25) |

EXHIBIT R1

EARTHWORK

1.1 DESCRIPTION:

THIS SECTION SPECIFIES THE REQUIREMENTS FOR FURNISHING ALL EQUIPMENT, MATERIALS, LABOR AND TECHNIQUES FOR EARTHWORK INCLUDING EXCAVATION, FILL, BACKFILL AND SITE RESTORATION UTILIZING FERTILIZERS, SEED AND/OR SOIL.

1.2 DEFINITIONS:

A. UNSUITABLE MATERIALS:

1. FILLS, TOPSOIL, FROZEN MATERIALS, CONSTRUCTION MATERIALS AND MATERIALS SUBJECT TO DECOMPOSITION, CLODS OF CLAY AND STONES LARGER THAN 75 MM (3 INCHES) REGARDING MATERIALS INCLUDING SILTS, WHICH ARE UNSUITABLE, AND INORGANIC MATERIALS, INCLUDING SILTS, TOO WET TO BE STABLE.
2. EXISTING SUBGRADE, SAME MATERIALS AS ABOVE REGARDLESS THAT ARE NOT CAPABLE OF DIRECT SUPPORT OF GRADE, PAVEMENT, AND SIMILAR ITEMS, WITH THE POSSIBLE EXCEPTION OF IMPROVEMENT BY CONSTRUCTION, FROD HOLLOW, OR SIMILAR IMPROVEMENT.
3. BATHWORK: EARTHWORK OPERATIONS REQUIRED WITHIN THE NEW CONSTRUCTION AREA, IT ALSO INCLUDES BATHWORKS REQUIRED FOR ALLUUVIAL STRUCTURES AND BUILDINGS AND OTHER TRENCHWORK THROUGHOUT THE JOB SITE.

C. PERCENT OF COMPACTION: PERCENT OF COMPACTION IS DEFINED AS A PERCENTAGE OF MAXIMUM DENSITY OBTAINED BY THE TEST PROCEDURE PRESENTED IN ASTM D1557 METHOD A.

1.3 CLASSIFICATION OF EXCAVATION:

- A. UNCLASSIFIED EXCAVATION: REMOVAL AND DISPOSAL OF PAVEMENTS AND OTHER MAHADE OBSTRUCTIONS VISIBLE ON THE SURFACE, UTILITIES, AND OTHER ITEMS INCLUDING UNDERGROUND STRUCTURES INDICATED TO BE REPAIRED AND REMOVED, TOGETHER WITH ANY TYPE OF MATERIALS REGARDLESS OF CHARACTER OF MATERIAL AND OBSTRUCTIONS REMOVED.
- B. CLASSIFIED EXCAVATION: REMOVAL AND DISPOSAL OF ALL MATERIAL NOT DEFINED AS ROCK.

2.1 MATERIALS:

- A. FILLS: MATERIALS APPROVED FROM ON SITE AND OFF SITE SOURCES HAVING A MINIMUM DRY DENSITY OF 110 P.C., A MAXIMUM PLASTICITY INDEX OF 4 AND A MAXIMUM LIQUID LIMIT OF 30.
- B. FERTILIZERS: 15-15-20, DELIVERED TO SITE IN UNBROKEN CONTAINERS THAT CLEARLY DISPLAY THE MANUFACTURER'S LABEL, INDICATING THE ANALYSIS OF THE CONTENTS.
- C. SEED: GRASS MIXTURE CONFORMABLE TO EXISTING TURF BELONGING TO SITE IN UNBROKEN CONTAINERS THAT CLEARLY DISPLAY THE MANUFACTURER'S LABEL, INDICATING THE ANALYSIS OF THE CONTENTS.
- D. SOIL: COMMERICAL PRODUCTS WITH EXISTING TURF, SOIL SHIRT COVERED OR SOIL APPROVED SOIL WHEN AVAILABLE, DELIVERED TO SITE IMMEDIATELY AFTER CUTTING AND IN A MOIST CONDITION, THICKNESS OF CUT SHALL BE 19 MM TO 25 MM (3/4 INCH TO 1 1/4 INCHES) EXCLUDING TOP GROWTH, THERE SHALL BE NO BROWN PATCH AND TORN OR UNDER EYES.

3.1 SITE PREPARATION:

- A. CLEARING: CLEARING WITHIN THE LIMITS OF EARTHWORK OPERATIONS AS DESCRIBED OR DESIGNATED BY THE VOW, WORK INCLUDES REMOVAL OF TREES, SHRUBS, FENCES, FOUNDATIONS, INDUSTRIAL STRUCTURES, PAVING, DEBRIS, TRASH AND ANY OTHER OBSTRUCTIONS, REMOVE MATERIALS FROM THE VOW PROPERTY.
- B. GRUBBING: REMOVE STUMPS AND ROOTS 3 INCHES AND LARGER DIAMETER, UNROOTED SCAND STUMPS, ROOTS UP TO 3 INCHES DIAMETER, AND NON-DESTRUCTIBLE SOLID OBJECTS WHICH WILL BE A MINIMUM OF 5 FEET BELOW SUBGRADE OR FINISHED EMBANKMENT MAY BE LEFT.
- C. TREES AND SHRUBS: TREES AND SHRUBS, NOT SHOWN FOR REMOVAL, MAY BE REMOVED FROM THE AREAS WITHIN 15 FEET OF THE PROJECT AREA AND 2250 MM (74.7 FT) OF UTILITY LINES IF SUCH REMOVAL IS APPROVED IN ADVANCE BY THE VOW. REMOVE MATERIALS FROM THE VOW PROPERTY. TREES AND SHRUBS, SHOWN TO BE TRANSPORTED, SHALL BE BUCK WITH A BALL OF EARTH AND BURIED IN ACCORDANCE WITH THE LATEST ISSUE OF THE "AMERICAN STANDARD FOR NURSERY STOCK" OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. TRANSLANT TREES AND SHRUBS TO A PERMANENT OR TEMPORARY FOOTLOT WITHIN TWO HOURS AFTER DIGGING. HANDLE TREES AND SHRUBS IN TEMPORARY LOCATIONS BY METHODS AS NECESSARY AND FEEDING SPACIALLY WITH LIQUID FERTILIZER WITH A MINIMUM ANALYSIS OF 3 PERCENT NITROGEN, 10 PERCENT PHOSPHORUS AND 5 PERCENT POTASH. MAINTAIN PLANTS MOIST TO PERMANENT LOCATIONS AS SPECIFIED FOR PLANTS IN TEMPORARY LOCATIONS UNTIL THE CONCLUSION OF THE CONTRACT, BOX, AND OTHERWISE PROTECT FROM DAMAGE. EXISTING TREES AND SHRUBS WHICH ARE NOT SHOWN TO BE REMOVED IN THE CONSTRUCTION AREA, REPAIR IMMEDIATELY DAMAGE TO EXISTING TREES AND SHRUBS BY TRIMMING, CLEANING AND PLANTING DAMAGED AREAS, INCLUDING THE ROOTS, IN ACCORDANCE WITH STANDARD INDUSTRY HORTICULTURAL PRACTICE FOR THE GEOGRAPHIC AREA AND PLANT SPECIES. BUILDING MATERIALS SHALL NOT BE STORED CLOSER TO TREES AND SHRUBS THAT ARE TO REMAIN, THAN THE FARTHEST EXTENSION OF THEIR LINES.
- D. STRIPPING TOPSOIL: UNLESS OTHERWISE INDICATED ON THE DRAWINGS, THE LIMITS OF EARTHWORK OPERATIONS SHALL EXTEND ANYWHERE THE EXISTING GRADE IS FULLED OR CUT OR WHERE CONSTRUCTION OPERATIONS HAVE CONFINED OR OTHERWISE DISTURBED THE EXISTING GRADE OR TURF. STRIP TOPSOIL AS DESCRIBED HEREIN OR AS INDICATED IN THE GEOTECHNICAL REPORT, FROM WITHIN THE LIMITS OF EARTHWORK OPERATIONS AS SPECIFIED ABOVE. UNLESS SPECIFICALLY INDICATED OR SPECIFIED ELSEWHERE IN THE SPECIFICATIONS OR SHOW ON THE GEOTECHNICAL REPORT, TOPSOIL SHALL BE HEAVILY FERTILIZED MATERIAL, TOPSOIL OF LOAMY CHARACTER AND CHARACTERISTICS OF THE LOCALITY. TOPSOIL SHALL BE GRADED OF GROWING HEALTHY HORTICULTURAL CLODS OF GRASSES, STOCKPILE TOPSOIL AND PROTECT AS DIRECTED BY THE VOW. ALTERNATE FOREIGN MATERIAL, SUCH AS WHEEDS, ROOTS, STONES, SUBSOIL, FROZEN CLODS, AND SIMILAR FOREIGN MATERIALS, LARGER THAN 100 HZ (1.2 CUBIC FOOT) IN VOLUME, FROM SOIL AS IT IS STOCKPILED, RETURN TOPSOIL ON THE LOCATION. REMOVE FOREIGN MATERIALS LARGER THAN 50 MM (2 INCHES) IN ANY DIMENSION FROM TOPSOIL, USED IN FINAL GRADING, TOPSOIL WORK, SUCH AS STOCKPILING, STOCKPILING, AND SOIL TOPSOIL WORK, SHALL NOT UNDER ANY CIRCUMSTANCES, BE CARDED OUT WHEN THE SOIL IS MET SO THAT THE THICK OF THE SOIL WILL BE DESTROYED.
2. CONCRETE SLABS AND PAVING: SCORE DEEPLY OR SAW CUT TO INSURE A NEAT, STRAIGHT CUT. SECTION OF EXISTING CONCRETE SLABS AND PAVING TO BE REMOVED WHERE EXCAVATION OR TRENCHING OCCURS. EXTEND PAVEMENT SECTION TO BE REMOVED A MINIMUM OF 300 MM (12 INCHES) EACH SIDE OF THE WIDEST PART OF EACH EXCAVATION AND INSURE FINAL SCORE LINES ARE APPROXIMATELY PARALLEL, UNLESS OTHERWISE INDICATED REMOVE MATERIAL FROM THE VOW PROPERTY.
- E. DISPOSAL: ALL MATERIALS REMOVED FROM THE PROPERTY SHALL BE DEPOSED OF AT A LEGALLY APPROVED SITE, FOR THE SPECIFIC MATERIALS, AND ALL REMOVALS SHALL BE IN ACCORDANCE WITH AN APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, TO REMOVAL OF MATERIALS IN ACCORDANCE WITH:

3.2 EXCAVATION:

- A. SLOPING: SHEETING AND BRACING: SHORE, BRACE, OR SHORING TO ITS ANGLE OF BROWE BANKS OF EXCAVATIONS TO PROTECT WORKMEN, BANKS, ADJACENT PAVING, STRUCTURES, AND UTILITIES, IN COMPLIANCE WITH OSHA REQUIREMENTS.
1. EXTEND SHORING AND BRACING TO THE BOTTOM OF THE EXCAVATION. SHORE EXCAVATIONS THAT ARE CARDED BELOW THE ELEVATIONS OF ADJACENT EXISTING FOUNDATIONS.
2. IF THE BRACING OF ANY FOUNDATION IS DISTURBED BY EXCAVATING, PRIOR SHORING OR REMOVAL OF EXISTING, SLACING OF BACKFILL, AND SIMILAR OPERATIONS, PROVIDE A CONCRETE FILL SUPPORT UNDER EXISTING FOUNDATIONS, AS DIRECTED BY VOW. AT NO ADDITIONAL COST TO THE VOW, DO NOT REMOVE SHORING UNTIL PERMANENT WORK IN EXCAVATION HAS BEEN REPOSITED AND APPROVED BY VOW.
- B. EXCAVATION: DRAINAGE: DRAINAGE PUMPING EQUIPMENT, ANCHORS, PIVOTED OTHER MATERIALS, MEANS AND EQUIPMENT AS REQUIRED, TO KEEP EXCAVATIONS FREE OF WATER AND SUBGRADE DRY, FIRM, AND UNDISTURBED. REMOVE APPROVED BY PERMANENT WORK HAS BEEN RECEIVED FROM VOW. APPROVAL BY THE VOW IS ALSO REQUIRED BEFORE PLACEMENT OF THE PERMANENT WORK ON ALL SUBGRADES, WHEN SUBGRADE FOR FOUNDATIONS HAS BEEN DESTROYED BY WATER, REMOVE THE DESTROYED MATERIAL TO FIRM UNDISTURBED MATERIAL. AFTER THE WORK IS REDIGED DRAINAGE CONTROL, SURFACE EXCAVATED SUBGRADE IN VENECHS BY MECHANICALLY TAMPED SAND OR GRAVEL, WHEN REMOVED DISTURBED MATERIAL IS LOCATED WHERE IT IS NOT POSSIBLE TO EXCAVATE AND PROPERLY COMPACTED SUBGRADE MATERIAL WITH MECHANICALLY COMPACTED SAND OR GRAVEL, THE VOW SHOULD BE CONTACTED TO CONSIDER THE USE OF ALTERNATE FILL. GROUNDWATER FLOWING THROUGH INTO EXCAVATIONS SHALL BE CONTROLLED TO PREVENT SLOUGHING OF EXCAVATION SLORES AND WALLS. BILLS, UPLIFT AND HEAVE IN THE EXCAVATION AND TO PREVENT WATER INFILTRATION, AND AFTER SPECIFIC CONTRACTOR PROVISIONS FOR RESTORATION OF THE FOUNDATION AREA HAVE BEEN MADE, CONTROL MEASURES SHALL BE TAKEN BY THE TIME THE EXCAVATION REACHES THE WATER LEVEL, IN ORDER TO MAINTAIN THE INTEGRITY OF THE IN-SITU MATERIAL. WHILE THE EXCAVATION IS OPEN, THE WATER LEVEL SHALL BE MAINTAINED CONTINUOUSLY, AT LEAST 3 FEET BELOW THE WORKING LEVEL. DRAINAGE DRAINAGE SYSTEM CONTINUOUSLY UNTIL CONSTRUCTION WORK BELOW EXISTING WATER LEVEL IS COMPLETE. PERMIT PERFORMANCE RECORDS, WEELY, MEASURE, AND RECORD PERFORMANCE OF DEWATERING SYSTEM AT SAME TIME EACH DAY BY USE OF OBSERVATION WELLS OR PERFORATED PILES TO BE IN CONNECTION WITH THE EXCAVATION.

1. SITE EARTHWORK: EXCAVATION SHALL BE ACCORDANCE AS REQUIRED BY DRAWINGS AND SPECIFICATIONS, REMOVE SUBGRADE MATERIALS THAT ARE DETERMINED BY THE VOW AS UNSUITABLE, AND REPLACE WITH ACCEPTABLE MATERIAL. IF THERE IS A QUESTION AS TO WHETHER MATERIAL IS UNSUITABLE OR NOT, THE CONTRACTOR SHALL OBTAIN SAMPLES OF THE MATERIAL, UNDER THE DIRECTION OF THE VOW, AND THE RESULTS OF TESTING BY AN INDEPENDENT LABORATORY. TESTING OF THE SOIL SHALL BE PERFORMED BY THE TESTING LABORATORY, WITHIN UNUSUALLY MATERIAL IS EXCAVATED AND REMOVED, THE CONTRACT PAGES AND THIS WILL BE ADJUSTED IN ACCORDANCE WITH ARTICLES, CORRECTING SITE CONDITIONS, CHANGES AND CHANGE-SUPPLEMENT OF THE GENERAL CONDITIONS AS APPLICABLE, ADJUSTMENTS TO BE BASED ON METERS DETERMINED IN A CUT SECTION ONLY.
- C. FINISHED ELEVATION OF SUBGRADE SHALL BE AS FOLLOWS:

1. PAVEMENT AREAS: BOTTOM OF THE PAVEMENT OR BASE COURSE AS APPLICABLE.
2. PLANTING AND LAWN AREAS: 100 MM (4 INCHES) BELOW THE FINISHED GRADE, UNLESS OTHERWISE SPECIFIED OR INDICATED BY THE DRAWINGS.

3.3 FILLING AND BACKFILLING:

- A. GENERAL: DO NOT FILL OR BACKFILL UNTIL ALL DEBRIS, UNSATISFACTORY SOIL, MATERIALS, OBSTRUCTIONS, AND DESTRUCTIBLE MATERIALS HAVE BEEN REMOVED FROM THE EXCAVATION. PROOF-ROLL EXPOSED SUBGRADES WITH A ROLLER (GRADE EXCEPT BACKS) USE EXCAVATED MATERIALS OR BORROW FOR FILL AND BACKFILL, AS APPLICABLE, DO NOT USE UNSUITABLE EXCAVATED MATERIALS. DO NOT BACKFILL UNTIL FOUNDATION WALLS HAVE BEEN COMPLETED ABOVE GRADE AND ADEQUATELY BRACED, WATERPROOFING OR DAMPROOFING APPLIED, AND PILES COMING IN CONTACT WITH BACKFILL HAVE BEEN INSTALLED, AND INSPECTED AND APPROVED BY VOW.
- C. PLACING: PLACE MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING 12 INCHES IN LOOSE DEPTH AND THEN COMPACTED. DO NOT PLACE MATERIAL ON SURFACES THAT ARE MOIST, OR SATURATED.

- D. CONNECTION: USE APPROVED EQUIPMENT (HAND OR MECHANICALLY) WELL SUITED TO THE TYPE OF MATERIAL BEING COMPACTED. DO NOT OPERATE MECHANICALLY VIBRATORY CONNECTION EQUIPMENT WITHIN 10 FEET OF NEW OR EXISTING BUILDING WALLS WITHOUT THE PRIOR APPROVAL OF THE VOW. MOISTEN OR AERATE MATERIAL AS NECESSARY TO PROVIDE THE MOISTURE CONTENT THAT WILL FACILITATE OBTAINING THE SPECIFIED COMPACTION WITH THE EQUIPMENT USED. COMPACT EACH LAYER UNTIL THERE IS NO EVIDENCE OF FURTHER COMPACTION TO NOT LESS THAN 95 PERCENT OF THE MAXIMUM DENSITY DETERMINED IN ACCORDANCE WITH THE FOLLOWING TEST METHOD D1557 METHOD A, BACKFILL ADJACENT TO ANY AND ALL TYPES OF STRUCTURES SHALL BE PLACED AND COMPACTED TO AT LEAST 95 PERCENT LABORATORY MAXIMUM DENSITY FOR COHESIVE MATERIALS OR 95 PERCENT LABORATORY MAXIMUM DENSITY FOR COHESIONLESS MATERIALS TO PREVENT SETTLING ACTION ON EXISTING LOADS UPON OR AGAINST THE STRUCTURE.

- E. BORROW MATERIAL: BORROW MATERIAL SHALL BE SELECTED TO MEET THE REQUIREMENTS AND CONDITIONS OF THE PARTICULAR FILL OR EMBANKMENT FOR WHICH IT IS TO BE USED. BORROW MATERIAL SHALL BE OBTAINED FROM THE BORROW AREAS FROM APPROVED FOOT SOURCES:
1. OBTAINING AND DRAINAGE OF EXCAVATION AND BORROW PITS: THE CONTRACTOR SHALL NOTIFY THE VOW IMMEDIATELY IN ADVANCE OF THE SCHEDULING OF EXCAVATION OR BORROW PITS TO PREVENT ELEVATIONS AND REASUREMENTS OF THE UNDISTURBED GROUND SURFACE TO BE TAKEN, EXCEPT AS OTHERWISE PERMITTED, BORROW PITS AND OTHER EXCAVATION AREAS SHALL BE EXCAVATED INCLUDING ADEQUATE BRACING, OVERBURDEN AND OTHER SOIL. MATERIAL SHALL BE TRANSPORTED TO DESIGNATED SOIL AREAS OR OTHERWISE DEPOSED OF AS DIRECTED. BORROW PITS SHALL BE NEATLY TRENCH AND DRAINAGE AFTER THE EXCAVATION IS COMPLETED. THE CONTRACTOR SHALL INSURE THAT EXCAVATION OF ANY AREA, OPERATION OF BORROW PITS, OR DUMPING OF SOIL MATERIAL, RESULTS IN NEIGHBOR SETTLEMENT, EFFECTS ON NATURAL ENVIRONMENTAL CONDITIONS.

3.4 GRADING:

- A. GENERAL: UNIFORMLY GRADE THE AREAS WITHIN THE LIMITS OF THIS SECTION, INCLUDING ADJACENT FOUNDATION AREAS. SMOOTH THE FINISHED SURFACE WITHIN SPECIFIED TOLERANCE, REMOVE UNIFORM LEVELS OR SLOPES BETWEEN POINTS. SMOOTHER ELEVATIONS ARE INDICATED, OR BETWEEN SUCH POINTS AND EXISTING FINISHED GRADES, PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT CHANGES IN SLOPE.
- B. CUT FILL OR BORROW: BORROW TO LEVELS BELOW FOR FOUNDATIONS, IN UNFINISHED AREAS: FILL TO SLOPES AND LEVEL OFF WITH COURSE SAND OR FIN GRAVEL.
- C. CLOSE BACKFILL: OUTSIDE THE BUILDING WALLS FROM THE BUILDING WALLS FOR A MINIMUM DISTANCE OF 10 FEET AT A MINIMUM FINE PERCENT (5%) SLOPE.
- D. THE FINISHED GRADE SHALL BE 6 INCHES BELOW BOTTOM LINE OF WINDOWS OR OTHER BUILDING WALL OPENINGS UNLESS GREATER DEPTH IS SHOWN.

- E. PLACE EXISTING STONE OR GRAVEL FILL UNDER CONCRETE SLABS ON GRADE TAMPED AND LEVELED, THE THICKNESS OF THE FILL SHALL BE 6 INCHES, UNLESS OTHERWISE INDICATED.
- F. FINISH SURFACE: FINISH SURFACE, ESTABLISH EXISTING OR DESIGN GRADES BY BRACING OR SIMILAR OPERATIONS. DO NOT CARRY OUT LAWN AREAS EARTHWORK OUT WHEN THE SOIL IS WET SO THAT THE THICK OF THE SOIL WILL BE COMPACTED BY A COMPACTOR ACCEPTABLE TO THE VOW AT LEAST ONE DAY IN ADVANCE OF THE SUBGRADE CONSTRUCTION. DR. SCHEDULE OPERATIONS, MAINTAIN FINISHED SURFACE TO A SMOOTH AND COMPACTED CONDITION UNTIL THE SCHEDULED OPERATION HAS BEEN ACKNOWLEDGED, SMOOTH, COMPACT, AND GRADE THE SUBGRADE PRIOR TO FURTHER CONSTRUCTION (OWNER APPROVED) COMPACTED SURFACE IS DISTURBED BY CONTRACTOR'S SUBSEQUENT OPERATIONS OR ADVERSE WEATHER.
- G. GRADING FOR PAVED AREAS: PROVIDE FINAL GRADES FOR BOTH SURFACE AND BASE COURSE TO +0.425 INCHES OR INDICATED GRADES.

3.5 LAWN AREAS:

- A. GENERAL: HARROW AND TILL TO A DEPTH OF 4 INCHES, NEW OR EXISTING LAWN AREAS TO REMAIN, WHICH ARE DISTURBED DURING CONSTRUCTION, ESTABLISH EXISTING OR DESIGN GRADES BY BRACING OR SIMILAR OPERATIONS. DO NOT CARRY OUT LAWN AREAS EARTHWORK OUT WHEN THE SOIL IS WET SO THAT THE THICK OF THE SOIL WILL BE COMPACTED BY A COMPACTOR ACCEPTABLE TO THE VOW AT LEAST ONE DAY IN ADVANCE OF THE SUBGRADE CONSTRUCTION. DR. SCHEDULE OPERATIONS, MAINTAIN FINISHED SURFACE TO A SMOOTH AND COMPACTED CONDITION UNTIL THE SCHEDULED OPERATION HAS BEEN ACKNOWLEDGED, SMOOTH, COMPACT, AND GRADE THE SUBGRADE PRIOR TO FURTHER CONSTRUCTION (OWNER APPROVED) COMPACTED SURFACE IS DISTURBED BY CONTRACTOR'S SUBSEQUENT OPERATIONS OR ADVERSE WEATHER.
- B. FINISHED SURFACE: FINISH FINISH GRADING AFTER FINISH GRADING HAS HAD SUFFICIENT TIME FOR SETTLEMENT. SMOOTH SURFACE SURFACE IN LAWN AREAS TO A DEPTH OF 4 INCHES, APPLY TOPSOIL SO THAT AFTER NORMAL COMPACTION, SOINGS ARE HAVING OPERATIONS TO BEING SURFACE TO DESIGNATED FINISH GRADES. THERE WILL BE A MINIMUM OF 4 INCHES OF TOPSOIL OVER ALL LAWN AREAS. MAKE SMOOTH, EVEN SURFACE AND TRAIL GRADES, WHICH WILL NOT ALLOW WATER TO STAND AT ANY POINT. SHAR, TOP AND BOTTOM OF BANKS TO FORM REVERSE CURVES IN SECTION, MAKE JUNCTIONS WITH UNDISTURBED AREAS TO CONFORM TO EXISTING TOPOGRAPHY. SOIL LINES WITHIN GRADING LIMITS INDICATE FINISHED CONDITIONS. EXISTING CONDITIONS, INDICATED BY BROKEN LINES ARE BELIEVED APPROXIMATELY CORRECT BUT ARE NOT GUARANTEED.
- C. FERTILIZING: INCORPORATE FERTILIZER INTO THE SOIL TO A DEPTH OF 4 INCHES AT A RATE OF 25 POUNDS PER 1000 SQUARE FEET.
- D. SEEDING: SEED AT A RATE OF 4 POUNDS PER 1000 SQUARE FEET AND ACCOMPISHED ONLY DURING PERIODS WHEN UNIFORM DISTRIBUTION MAY BE ASSURED. LIGHTLY RAKE SEED INTO BED IMMEDIATELY AFTER SEEDING. ROLL SEEDING AREA IMMEDIATELY WITH A ROLLER NOT EXCEEDED 10 POUNDS PER FOOT OF ROLLER WIDTH.
- E. SOODING: TOPSOIL SHALL BE FIRMS BY ROLLING AND DURING PERIODS OF HIGH TEMPERATURE THE TOPSOIL SHALL BE WATERED LIGHTLY IMMEDIATELY PRIOR TO LAYING SOIL. SOIL STRIPS SHALL BE TIGHTLY BUTTED AT THE ENDS AND STAGGERED IN A RUNNING BOND PATTERN. PLACEMENT ON SLOPES SHALL BE FROM THE BOTTOM TO TOP OF SLOPE WITH 500 STRIPS RUNNING ACROSS SLOPE. SECURE SOODING SLOPES BY RIGGING OR OTHER APPROVED METHICAL ROLL. SOODING AREA WITH A SLOPE NOT TO EXCEED 150 POUNDS PER FOOT OF THE ROLLER WIDTH TO INSURE CONTACT OF SOIL WITH THE SOIL.
- F. WATERING: THE VOW IS RESPONSIBLE FOR HAVING ADEQUATE WATER AVAILABLE AT THE SITE. AS SOODING IS COMPLETED IN ANY ONE SECTION, THE ENTIRE SOODING AREA SHALL BE THOROUGHLY IRRIGATED BY THE CONTRACTOR TO A SUFFICIENT DEPTH, THAT THE UNDRIDGE OF THE NEW SOIL AND SOIL, IMMEDIATELY BELOW SOIL, IS THOROUGHLY WET. VOW WILL BE RESPONSIBLE FOR SOO AFTER INSTALLATION AND ACCEPTANCE.

3.6 DISPOSAL OF UNSUITABLE AND EXCESS EXCAVATED MATERIAL:

- A. DISPOSAL: REMOVE SURPLUS SATISFACTORY SOIL AND WASTE MATERIAL, INCLUDING UNSATISFACTORY SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF IT OFF VOW PROPERTY.
- B. DISPOSAL: TRANSPORT SURPLUS SATISFACTORY SOIL TO DESIGNATED STORAGE AREAS ON VOW PROPERTY. STOCKPILE OR SPREAD SOIL AS DIRECTED BY VOW.
- C. REMOVE WASTE MATERIAL, INCLUDING UNSATISFACTORY SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF IT OFF VOW PROPERTY.
- D. PLACE EXCESS EXCAVATED MATERIALS SUITABLE FOR FILL AND BACKFILL ON SITE WHERE OTHER EXCAVATED MATERIALS HAVE BEEN COMPLETED.
- E. DISCONTINUE ALL EXCAVATED CONTAMINATED SOIL DESIGNATED BY THE VOW FROM ALL OTHER EXCAVATED SOILS AND STOCKPILE ON SITE ON TWO 11.5 MM (1/2 INCH) POLYETHYLENE LINERS WITH A POLYETHYLENE COVER, A DESIGNATED AREA SHALL BE SELECTED FOR THIS PURPOSE. DISPOSE OF DESIGNATED CONTAMINATED MATERIAL IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.

3.7 CLEAN-UP:

1. CLEAN-UP: WORK OF EARTHWORK OPERATIONS, CLEAN AREAS WITHIN CONTRACT LIMITS. REMOVE TOOLS AND EQUIPMENT, REMOVE SITE CLEAN, CLEAR FREE OF DEBRIS, AND SUITABLE FOR SUBSEQUENT CONSTRUCTION OPERATIONS. REMOVE DEBRIS, RUBBER, AND EXCESS MATERIAL FROM VOW PROPERTY.

EXHIBIT R1 - EARTHWORK
 PROJECT NO. 2025-0947
 DATE: JUNE 18, 2025
 SHEET: 002 OF 002

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 JEFFREY ROBERT BERGMANN
 P.E. #51939
 ON 2025-09-17
 DATE OF SHEET ISSUE
 JUNE 18, 2025

VILLAGE OF WELLINGTON AQUATIC CENTER
 12165 FOREST HILL BLVD
 VILLAGE OF WELLINGTON, FLORIDA 33414
 GENERAL NOTES AND SPECIFICATIONS

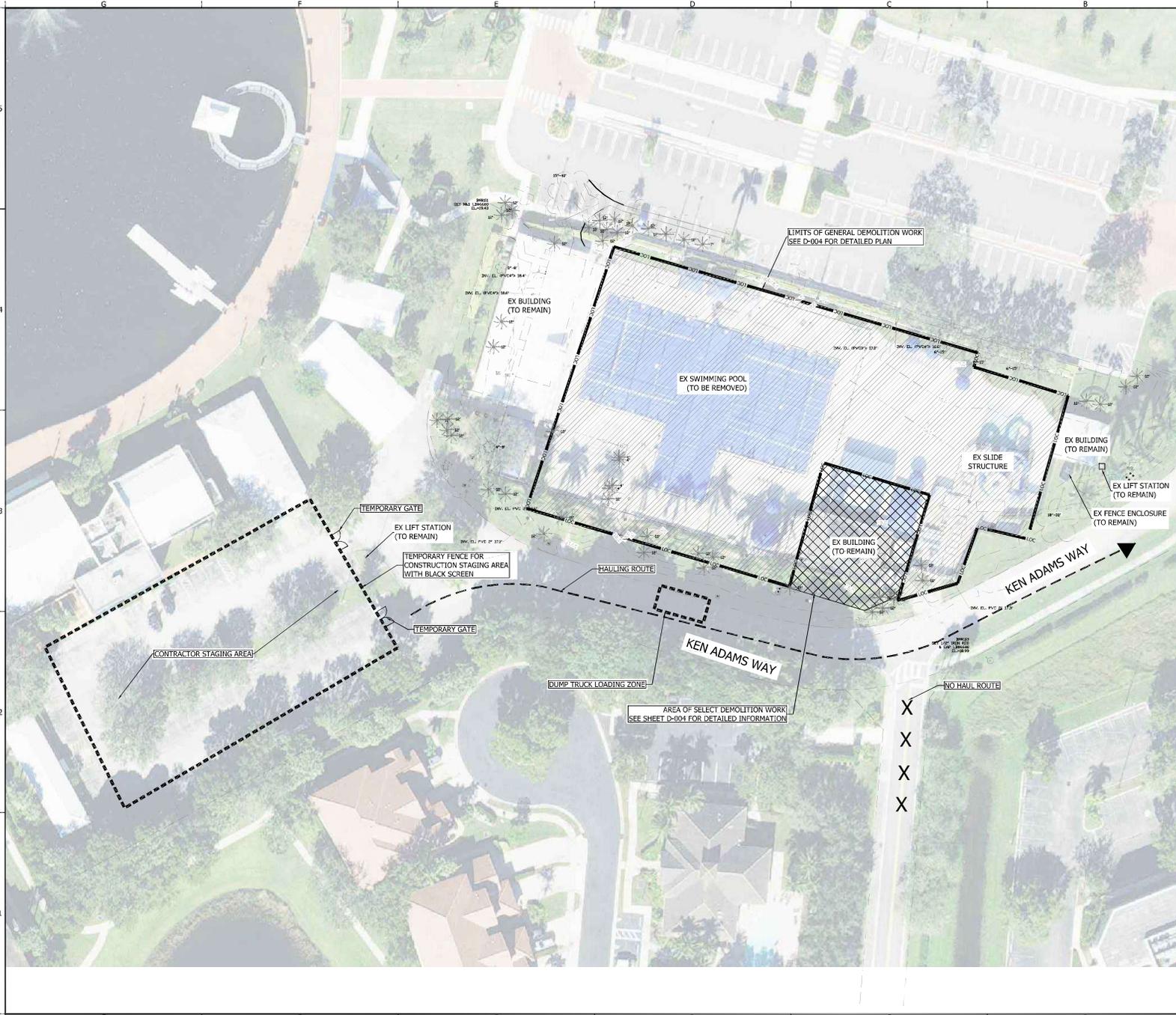


By Hfank at 8:29:30 AM, 9/18/2025



SHEET
 D-002
 10726.02

EXHIBIT R1



LEGEND

- LIMITS OF GENERAL DEMOLITION WORK
- AREA OF SELECT DEMOLITION WORK
- HAUL ROUTE

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WGI INC.

WGIINC.COM

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SUPERVISION OF
JEFFREY ROBERT BERGMAN
P.E. #50159
ON 2025-06-17

DATE SUBMITTED
JUNE 18, 2025

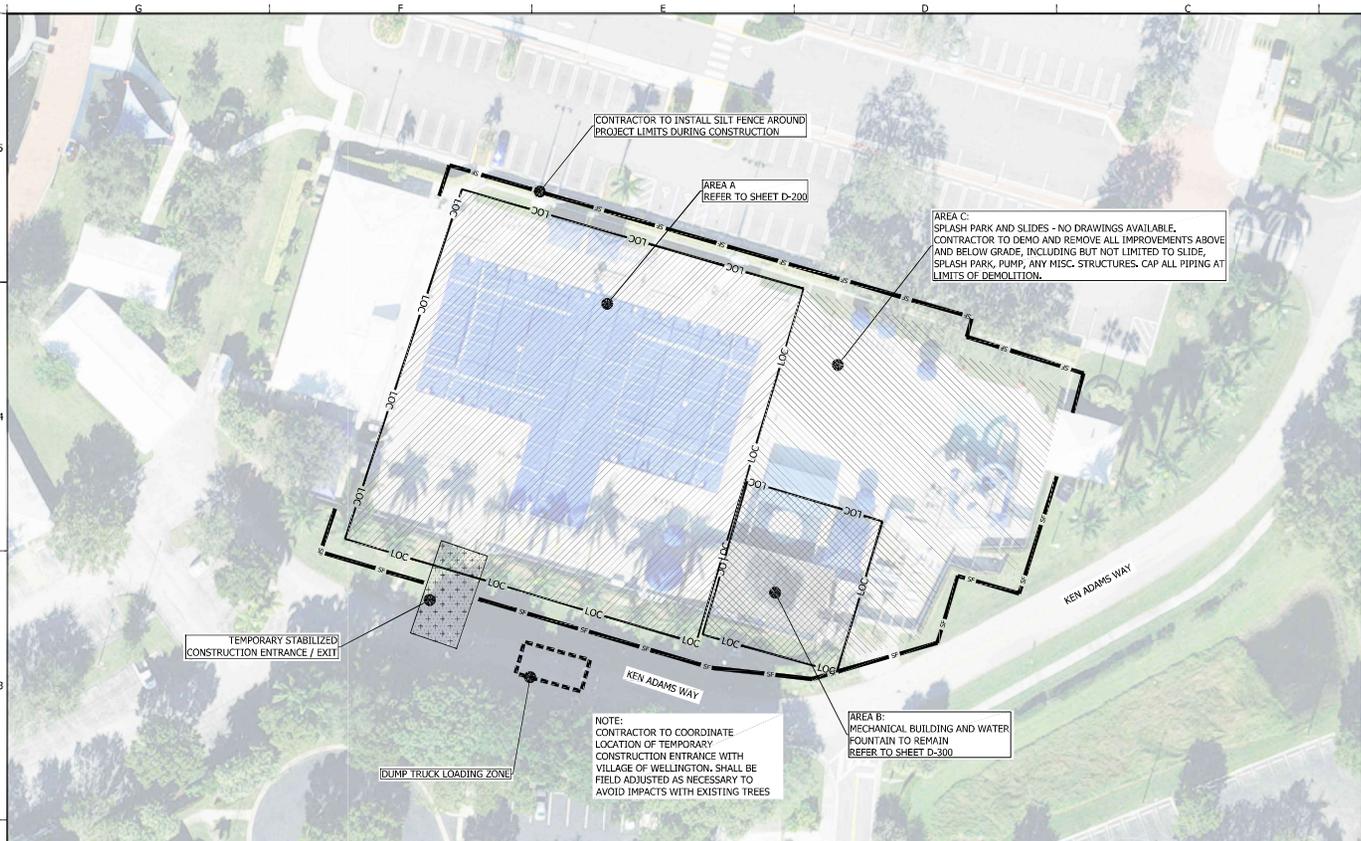
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 OVERALL SITE PLAN

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D-003
 10726.02

EXHIBIT R1



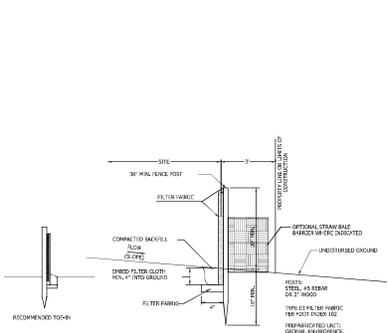
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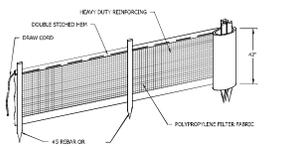
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DATE SUBMITTED: JUNE 18, 2025

VILLAGE OF WELLINGTON AQUATIC CENTER
12165 FOREST HILL BLVD
VILLAGE OF WELLINGTON, FLORIDA 33414
OVERALL DEMOLITION KEY SHEET

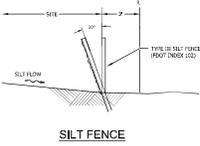
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D-004
10726.02



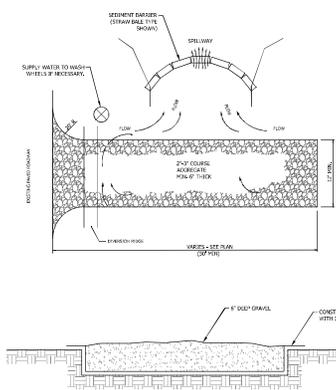
SILT FENCE INSTALLATION
SCALE: NONE



- NOTES:**
1. THE FABRIC FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES SPACED EVERY 3" AT TOP AND BOTTOM.
 2. WHEN THE SECTIONS OF FIBER CLOTH MEET EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND NAIL TOGETHER.
 3. MAINTENANCE SHALL BE PERFORMED AS NECESSARY AND MATERIAL BEHIND WHEN "BULGED" SHOWS UP IN THE SILT FENCE OR DEPTH OF ACCUMULATED SEDIMENT REACHES 3 INCHES.
 4. ALL FENCE SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION AND SHALL NOT BE SERVED UNTIL CONSTRUCTION IS COMPLETE.
 5. THE CONTRACTOR SHALL INSPECT AND REPAIR THE SILT FENCE AFTER EACH RAIN EVENT AND REPAIR SEDIMENT WHEN NECESSARY.
 6. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTAMINATE SEDIMENT OFFSITE AND CAN BE PERMANENTLY STABILIZED.
 7. THE SILT FENCE SHALL BE PLACED ON SLOPE ONLY TO MAINTAIN ITS PENDING EFFICIENCY.
 8. IF SLOPE IS STEEPER THAN 3:1, THEN A FLOATING SILT SCREEN SHALL BE USED.



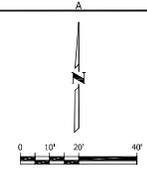
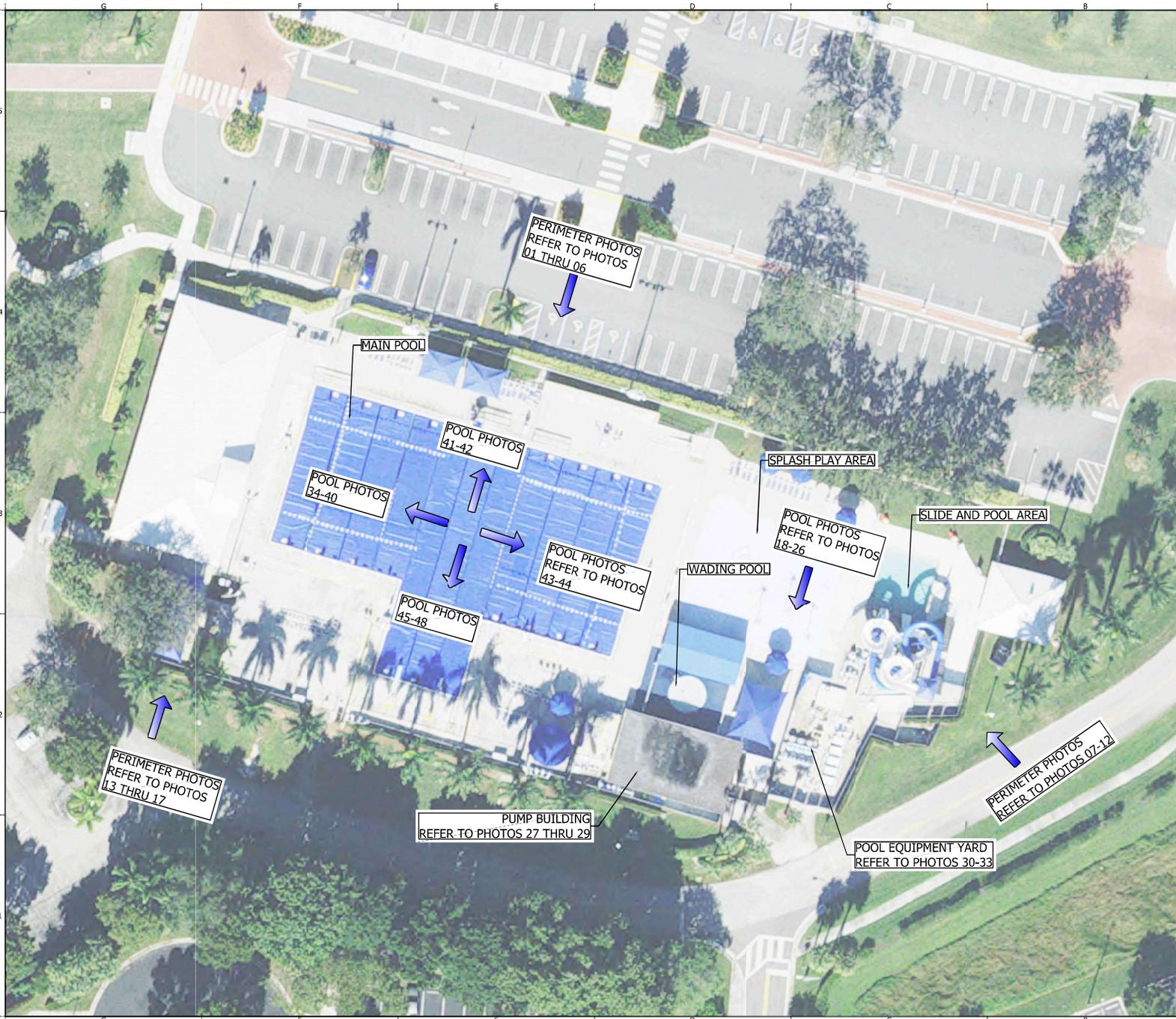
SILT FENCE
SCALE: NONE



TEMPORARY CONSTRUCTION ENTRANCE
SCALE: NONE



EXHIBIT R1



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P.E. #50159
ON 2025-06-17
300% SUBMITTAL
JUNE 18, 2025

VILLAGE OF WELLINGTON AQUATIC CENTER
12165 FOREST HILL BLVD
VILLAGE OF WELLINGTON, FLORIDA 33414
PHOTO KEY SHEET



NOTES:
1. REFER TO SHEETS D-101 AND D-102 FOR PHOTOS

SHEET
D-100
10726.02

EXHIBIT R1



PHOTO 01
SCALE: N.T.S.

PHOTO 02
SCALE: N.T.S.

PHOTO 03
SCALE: N.T.S.

PHOTO 04
SCALE: N.T.S.

PHOTO 05
SCALE: N.T.S.

PHOTO 06
SCALE: N.T.S.

—NORTH SIDE OF AQUATIC COMPLEX—



PHOTO 07
SCALE: N.T.S.

PHOTO 08
SCALE: N.T.S.

PHOTO 09
SCALE: N.T.S.

PHOTO 10
SCALE: N.T.S.

PHOTO 11
SCALE: N.T.S.

PHOTO 12
SCALE: N.T.S.

—EAST/SOUTH SIDE OF AQUATIC COMPLEX—

—WEST/SOUTH SIDE OF AQUATIC COMPLEX—



PHOTO 13
SCALE: N.T.S.

PHOTO 14
SCALE: N.T.S.

PHOTO 15
SCALE: N.T.S.

PHOTO 16
SCALE: N.T.S.

PHOTO 17
SCALE: N.T.S.

PHOTO 18
SCALE: N.T.S.

—WEST SIDE OF AQUATIC COMPLEX—

—EAST SIDE OF EXISTING BLDG—

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P.E. #50159
ON 2025-09-17
DATE SUBMITTED
JUNE 18, 2025

VILLAGE OF WELLINGTON AQUATIC CENTER
12165 FOREST HILL BLVD
VILLAGE OF WELLINGTON, FLORIDA 33414

SHEET
D-101

10726.02

EXHIBIT R1

| | | | | | | |
|--|--|--|---|--|--|--|
| |  <p>NOTE: REMOVE ABOVE GRADE FOUNTAINS AND CAP</p> <p>PHOTO 19 SCALE: N.T.S.</p> |  <p>NOTE: CAP CONNECTING WATER SERVICE PIPES</p> <p>PHOTO 20 SCALE: N.T.S.</p> |  <p>NOTE: CAP CONNECTING WATER SERVICE PIPES</p> <p>PHOTO 21 SCALE: N.T.S.</p> |  <p>EXISTING SLIDE TO BE REMOVED</p> <p>EXISTING FLOOR TO BE REMOVED</p> <p>PHOTO 22 SCALE: N.T.S.</p> |  <p>EXISTING CONCRETE RAMP TO BE REMOVED</p> <p>EXISTING CONCRETE TO REMAIN</p> <p>PHOTO 23 SCALE: N.T.S.</p> |  <p>EXISTING CONCRETE RAMP TO BE REMOVED</p> <p>PHOTO 24 SCALE: N.T.S.</p> |
| |  <p>EXISTING TABLE AND SHADE STRUCTURES TO BE REMOVED</p> <p>EXISTING ELECTRICAL LIGHTING TO BE REMOVED</p> <p>PHOTO 25 SCALE: N.T.S.</p> |  <p>EXISTING CONCRETE RAMPING, WALKS AND STEPS TO BE REMOVED</p> <p>PHOTO 26 SCALE: N.T.S.</p> |  <p>NOTE: REMOVE EXISTING PUMPS, PIPING AND CAP AT WALL/FLOOR.</p> <p>PHOTO 27 SCALE: N.T.S.</p> |  <p>NOTE: REMOVE EXISTING PUMPS, PIPING AND CAP AT WALL/FLOOR.</p> <p>PHOTO 28 SCALE: N.T.S.</p> |  <p>NOTE: REMOVE EXISTING PUMPS, PIPING AND CAP AT WALL/FLOOR.</p> <p>PHOTO 29 SCALE: N.T.S.</p> |  <p>NOTE: EXISTING PUMP ASSEMBLY FOR SPLASH PAD TO REMAIN, EXISTING SPLASH POOL EQUIPMENT TO BE REMOVED</p> <p>PHOTO 30 SCALE: N.T.S.</p> |
| |  <p>NOTE: MAIN POOL FILTERS, HEATER ASSEMBLY AND PUMPING TO BE REMOVED.</p> <p>PHOTO 31 SCALE: N.T.S.</p> |  <p>NOTE: MAIN POOL FILTERS, HEATER ASSEMBLY AND PUMPING TO BE REMOVED.</p> <p>PHOTO 32 SCALE: N.T.S.</p> |  <p>NOTE: MAIN POOL FILTERS, HEATER ASSEMBLY AND PUMPING TO BE REMOVED.</p> <p>PHOTO 33 SCALE: N.T.S.</p> |  <p>NOTE: MAIN POOL TO BE REMOVED, BACKFILLED AND COMPACTED WITH CLEAN STABILIZED SUBGRADE (REFER TO GRADING SHEET C-100 FOR MORE INFORMATION)</p> <p>EXISTING POOL TO BE REMOVED</p> <p>PHOTO 34 SCALE: N.T.S.</p> |  <p>NOTE: MAIN POOL TO BE REMOVED, BACKFILLED AND COMPACTED WITH CLEAN STABILIZED SUBGRADE (REFER TO GRADING SHEET C-100 FOR MORE INFORMATION)</p> <p>EXISTING POOL TO BE REMOVED</p> <p>PHOTO 35 SCALE: N.T.S.</p> |  <p>NOTE: MAIN POOL TO BE REMOVED, BACKFILLED AND COMPACTED WITH CLEAN STABILIZED SUBGRADE (REFER TO GRADING SHEET C-100 FOR MORE INFORMATION)</p> <p>EXISTING POOL TO BE REMOVED</p> <p>PHOTO 36 SCALE: N.T.S.</p> |

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PHOTO SHEET

SHEET D-102
10726.02

EXHIBIT R1



PHOTO 37
SCALE: N.T.S.



PHOTO 38
SCALE: N.T.S.



PHOTO 39
SCALE: N.T.S.



PHOTO 40
SCALE: N.T.S.



PHOTO 41
SCALE: N.T.S.



PHOTO 42
SCALE: N.T.S.

MAIN POOL TO BE REMOVED, BACKFILLED AND COMPACTED WITH CLEAN STABILIZED SUBGRADE
(REFER TO GRADING SHEET C-100 FOR MORE INFORMATION)



PHOTO 43
SCALE: N.T.S.



PHOTO 44
SCALE: N.T.S.



PHOTO 45
SCALE: N.T.S.



PHOTO 46
SCALE: N.T.S.



PHOTO 47
SCALE: N.T.S.



PHOTO 48
SCALE: N.T.S.

MAIN POOL TO BE REMOVED, BACKFILLED AND COMPACTED WITH CLEAN STABILIZED SUBGRADE
(REFER TO GRADING SHEET C-100 FOR MORE INFORMATION)

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P.E. #50159
ON 2025-06-17
DATE SUBMITTED
JUNE 18, 2025

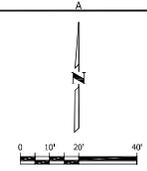
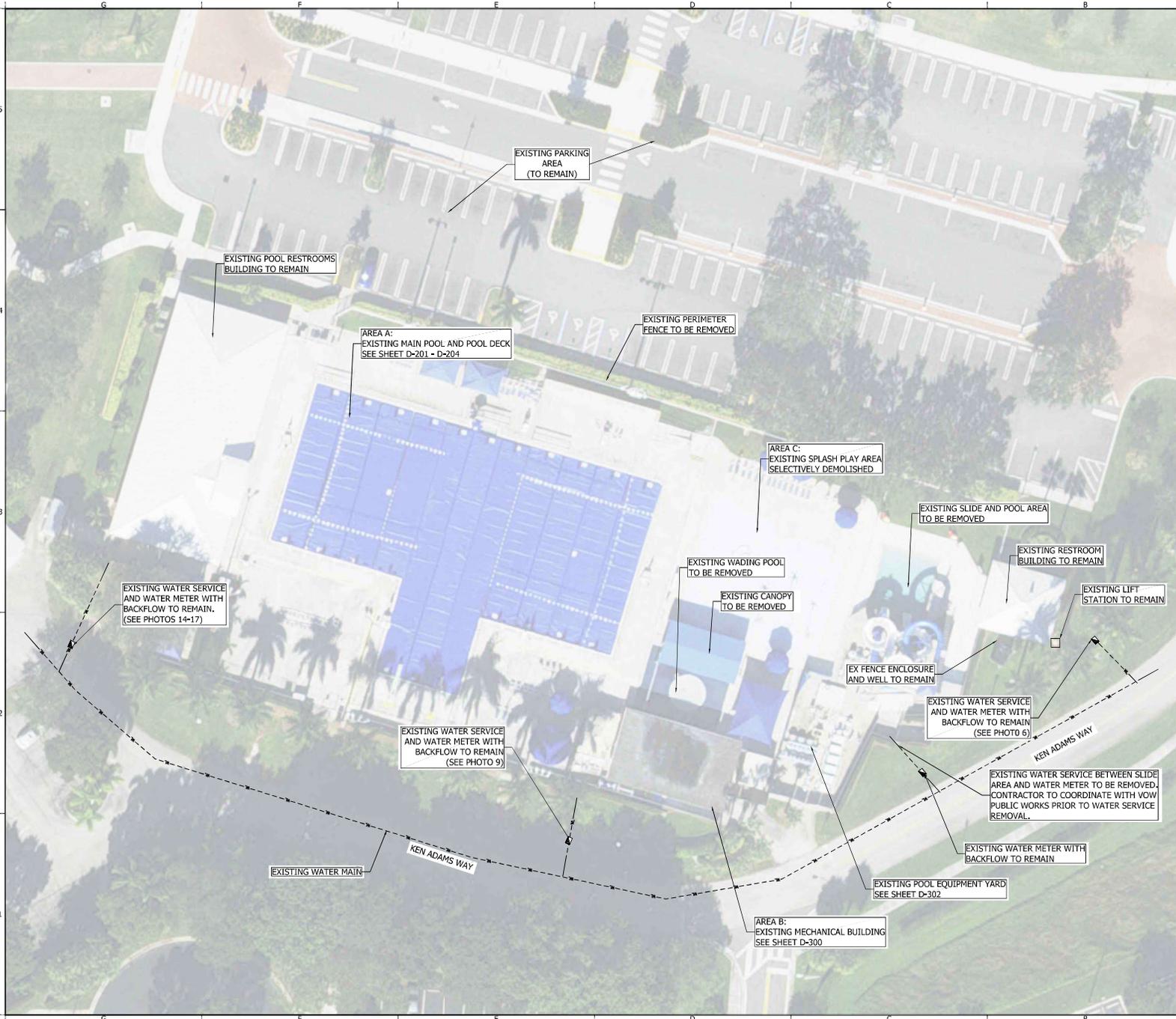
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PHOTO SHEET

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2025 SUBMITTAL
JUNE 18, 2025

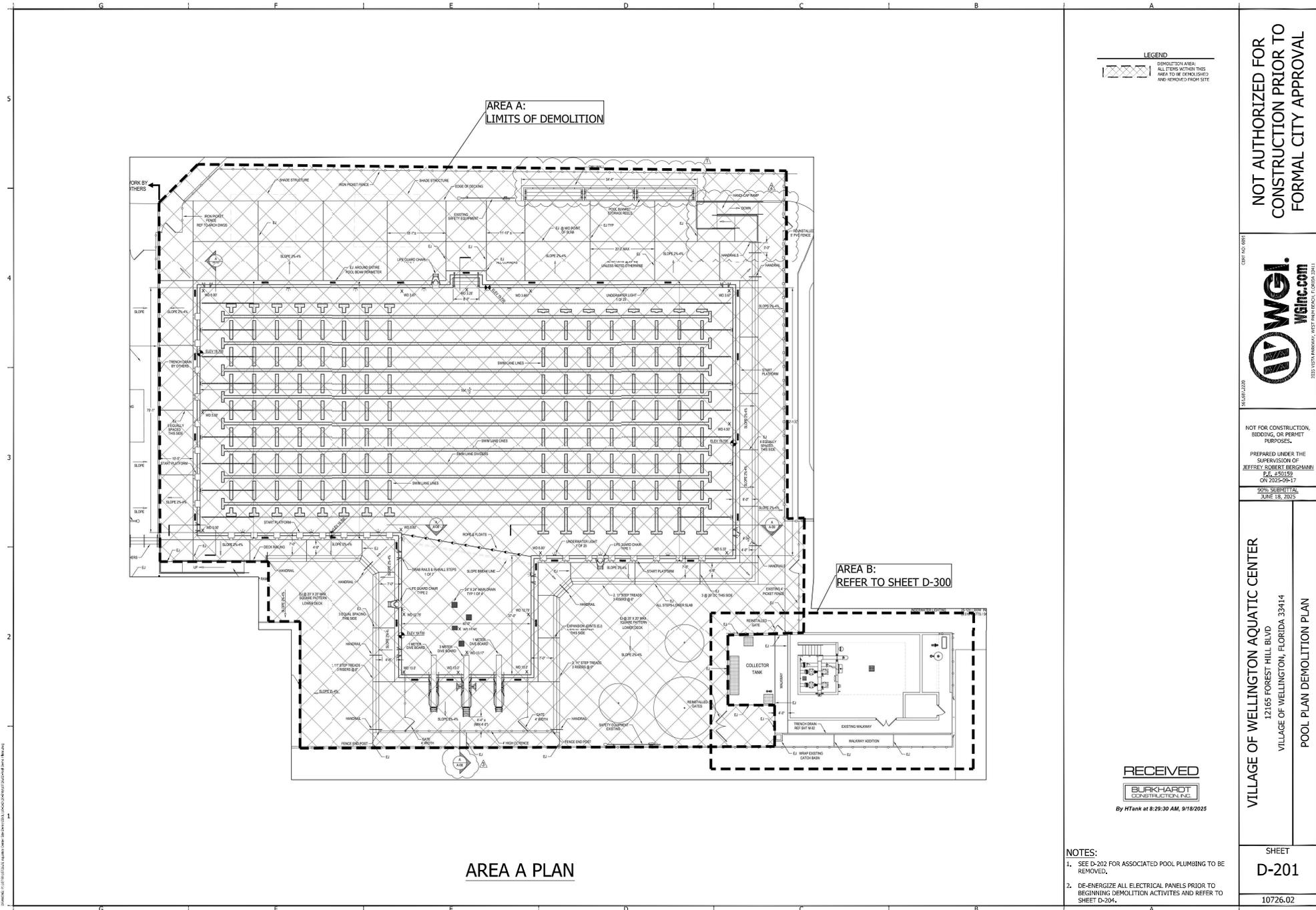
VILLAGE OF WELLINGTON AQUATIC CENTER
12165 FOREST HILL BLVD
VILLAGE OF WELLINGTON, FLORIDA 33414
OVERALL DEMOLITION PLAN



DEMOLITION NOTES:
1. ANY EXISTING WATER SERVICE SUPPLYING POOL OR
POOL EQUIPMENT SCHEDULED TO BE REMOVED SHALL BE
CAPPED ON THE SERVICE SIDE OF WATER METER WITH
BACKFLOW PREVENTER.

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D-200
10726.02

EXHIBIT R1



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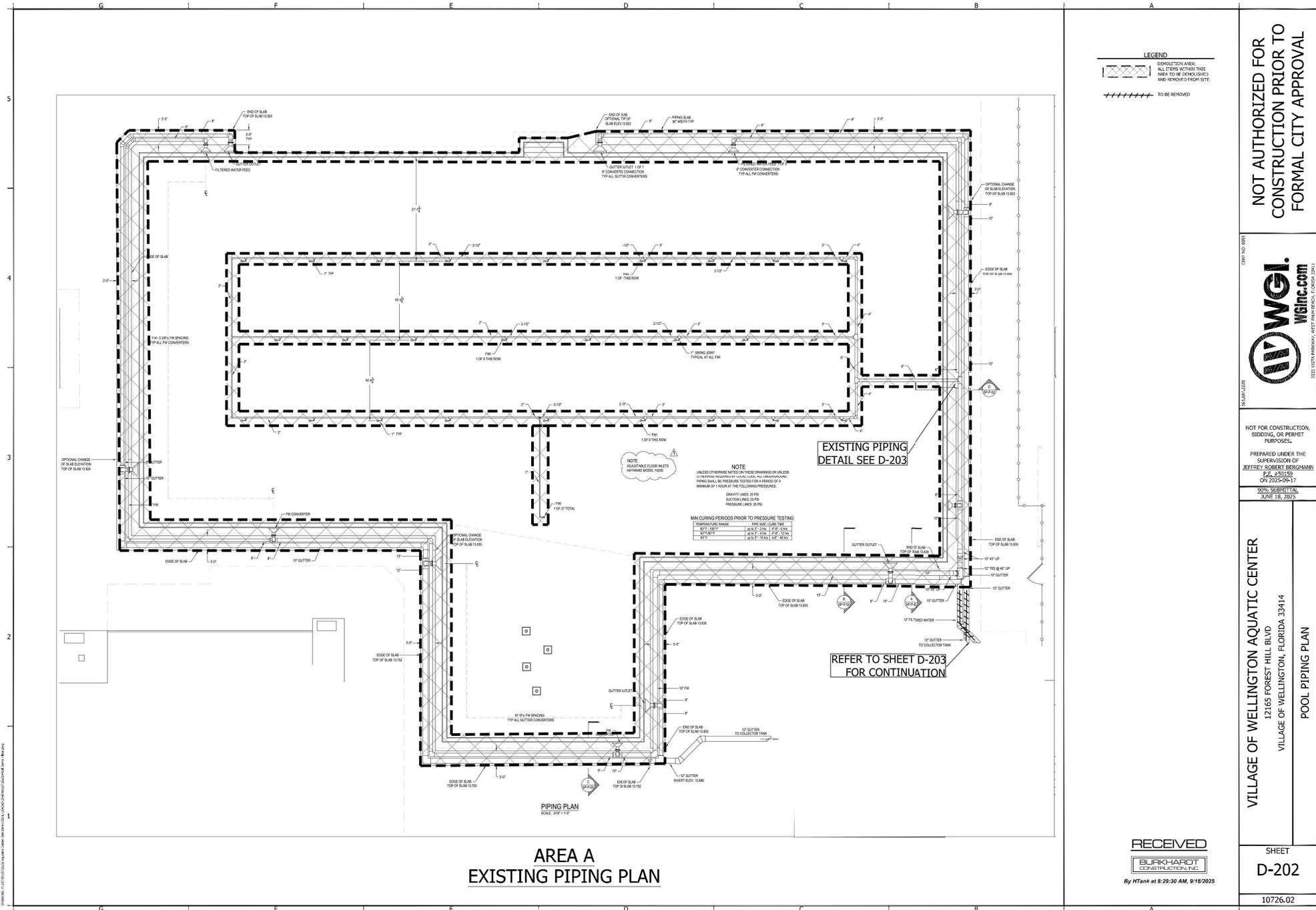


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P.E. #50159
ON 2025-09-17
DATE SUBMITTED
JUNE 18, 2025

VILLAGE OF WELLINGTON AQUATIC CENTER
12165 FOREST HILL BLVD
VILLAGE OF WELLINGTON, FLORIDA 33414
POOL PLAN DEMOLITION PLAN

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D-201
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EXHIBIT R1



**AREA A
EXISTING PIPING PLAN**

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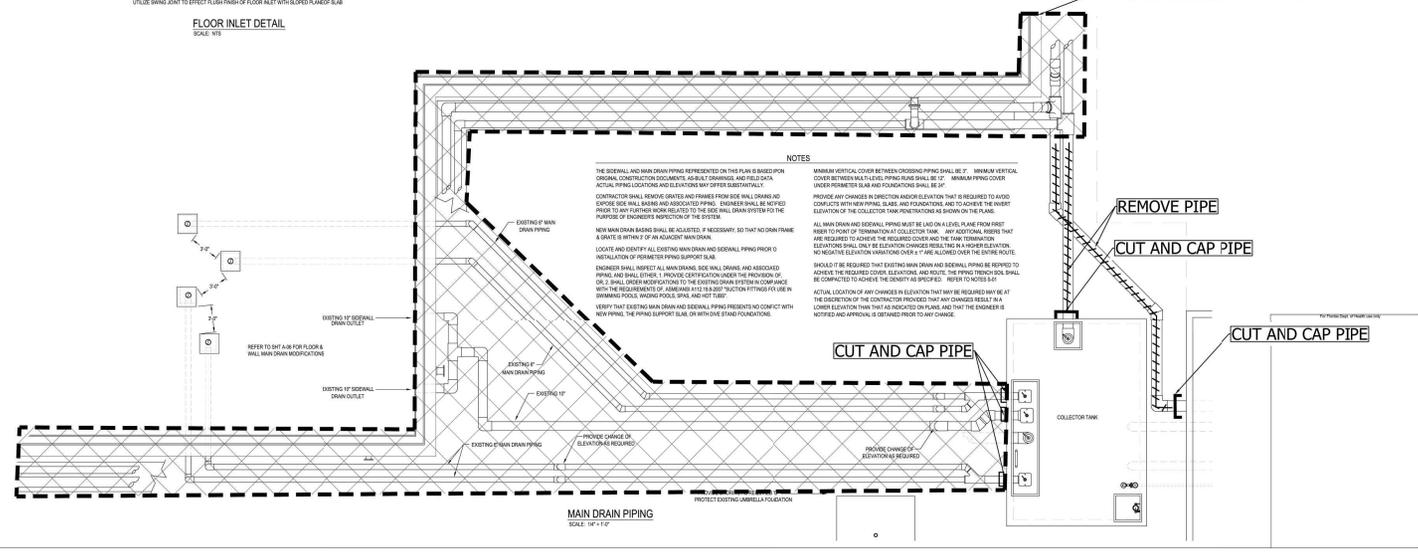
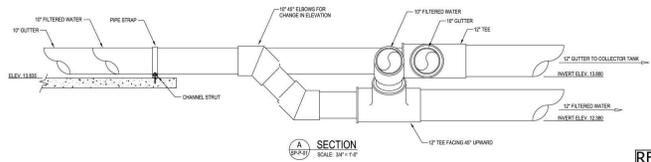
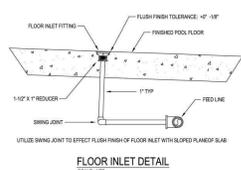
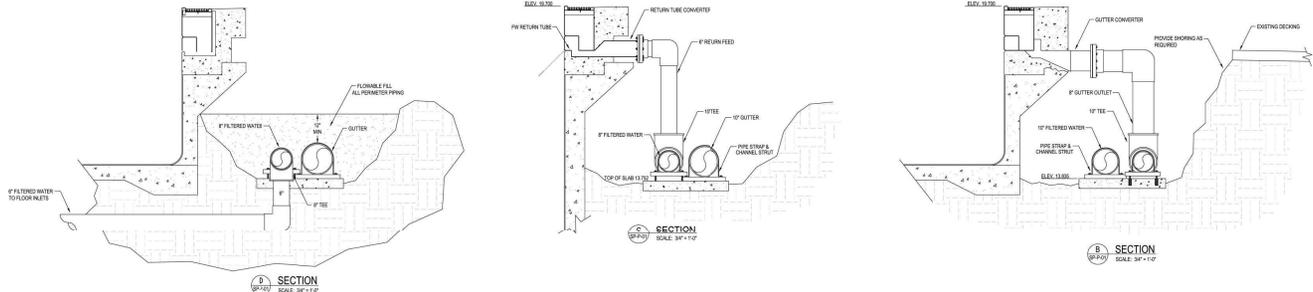
VILLAGE OF WELLINGTON AQUATIC CENTER
12165 FOREST HILL BLVD
VILLAGE OF WELLINGTON, FLORIDA 33414
POOL PIPING PLAN



SHEET
D-202

10726.02

EXHIBIT R1



EXISTING PIPING PLAN

LEGEND

| | |
|--|---|
| | NONCOLLECTION AREA: ALL ITEMS WITHIN THIS AREA TO BE DEMOLISHED AND REMOVED FROM SITE |
| | TO BE REMOVED |
| | CAP LEVEL |

REFER TO SHEET D-202 FOR CONTINUATION

NOTES

- THE SIDEWALL AND MAIN DRAIN PIPING REPRESENTED ON THIS PLAN IS BASED UPON ORIGINAL CONTRACT DOCUMENTS. VERIFY ALL CHANGES AND FIELD CONDITIONS.
- ACTUAL PIPE LOCATIONS AND ELEVATIONS MAY DIFFER SIGNIFICANTLY.
- CONTRACTOR SHALL REMOVE EXISTING PIPING AND CHANGES FROM SIDE WALL, DAMS AND EXPOSE SIDE WALL, BARS AND ASSOCIATED PIPING. ENGINEER SHALL BE NOTIFIED PRIOR TO ANY CHANGES FROM EXISTING TO THE SIDE WALL DRAIN SYSTEM FOR THE PURPOSE OF SUBMITTING NOTIFICATION TO THE CITY.
- NEW MAIN DRAIN BARS SHALL BE COLLECTED, IF NECESSARY, SO THAT NO DRAIN FRAME & GRATE IS WITHIN 2' OF AN ADJACENT MAIN DRAIN.
- LOCATE AND IDENTIFY ALL EXISTING MAIN DRAIN AND SIDEWALL PIPING PRIOR TO INSTALLATION OF NEW PIPING.
- ENGINEER SHALL INSPECT ALL MAIN DRAIN, SIDE WALL DRAIN, AND ASSOCIATED PIPING AND SHALL LETTER IT, PROVIDE CERTIFICATION UNDER THE PROVISIONS OF O.C. 1. SHALL ORDER MODIFICATIONS TO THE EXISTING DRAIN SYSTEM IN COMPLIANCE WITH THE REQUIREMENTS OF O.C. 1. SHALL NOTIFY THE CITY PRIOR TO ANY CHANGES TO THE EXISTING DRAIN SYSTEM.
- VERIFY THAT EXISTING MAIN DRAIN AND SIDEWALL PIPING PRESENTS NO CONFLICT WITH NEW PIPING. THE PIPING SUPPORT SHALL OR WITH ONE DRAIN FOUNDATION.
- MINIMUM VERTICAL COVER BETWEEN CROSSING PIPING SHALL BE 2'. MINIMUM VERTICAL COVER BETWEEN WALL TO LEVEL PIPING SHALL BE 12". MINIMUM PIPING COVER UNDER EXISTING SLAB AND FOUNDATIONS SHALL BE 12".
- PROVIDE ANY CHANGE IN SECTION AND ELEVATION THAT IS REQUIRED TO AVOID CONFLICTS WITH NEW PIPING, SLABS, AND FOUNDATIONS AND TO ACHIEVE THE INVERT ELEVATIONS OF THE COLLECTOR TANK. DIMENSIONS ARE SHOWN ON THE PLANS. NO NEGATIVE ELEVATION VARIATIONS OVER 1" ARE ALLOWED OVER THE ENTIRE ROUTE.
- ALL MAIN DRAIN AND SIDEWALL PIPING MUST BE Laid ON A LEVEL PLANE FROM FIRST FEET TO TANK OF TERMINATION AT COLLECTOR TANK. ANY ADDITIONAL RISERS THAT ARE REQUIRED TO ACHIEVE THE REQUIRED COVER AND ROUTE, THE PIPING TRENCH SOIL SHALL BE COMPACTED TO ACHIEVE THE DENSITY AS SPECIFIED. WATER TIGHTNESS TEST SHALL BE REQUIRED.
- ACTUAL LOCATION OF ANY CHANGES IN ELEVATION THAT MAY BE REQUIRED MAY BE AT THE DISCRETION OF THE CONTRACTOR PROVIDED THAT ANY CHANGES RESULT IN A LOWER ELEVATION THAN THAT AS INDICATED ON PLANS, AND THAT THE ENGINEER IS NOTIFIED AND APPROVAL IS OBTAINED PRIOR TO ANY CHANGE.

NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL



NOT FOR CONSTRUCTION, SCHEDULING, OR PERMIT PURPOSES.
 PREPARED UNDER THE SUPERVISION OF JEFFREY ROBERT BERGMANN, P.E., #50159 ON 2025-09-17
 DATE SUBMITTED: JUNE 18, 2025

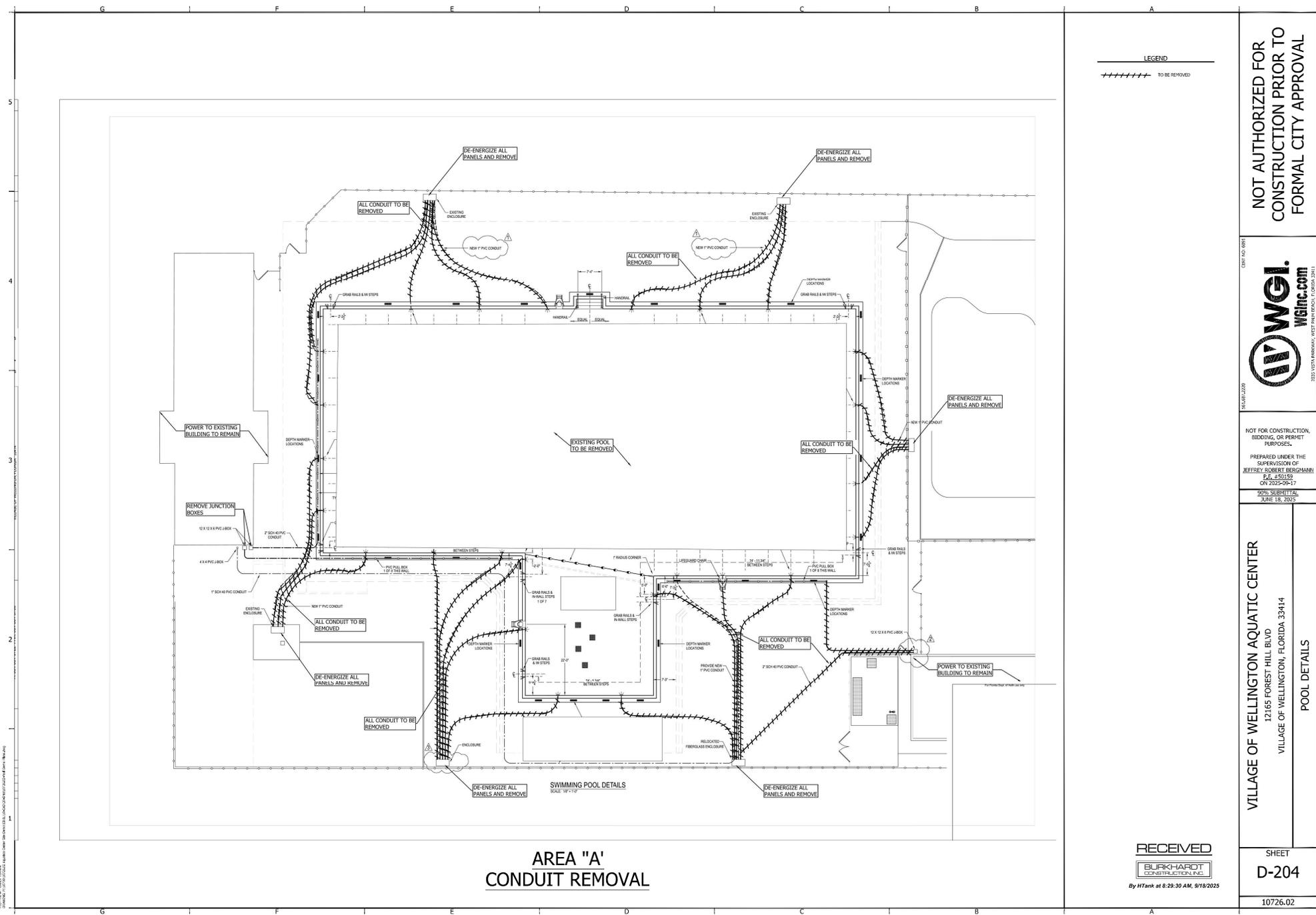
VILLAGE OF WELLINGTON AQUATIC CENTER
 12165 FOREST HILL BLVD
 VILLAGE OF WELLINGTON, FLORIDA 33414
 POOL PIPING SECTIONS AND DETAILS



SHEET D-203

10726.02

EXHIBIT R1



AREA "A"
CONDUIT REMOVAL

LEGEND
 ===== TO BE REMOVED

NOT AUTHORIZED FOR
CONSTRUCTION PRIOR TO
FORMAL CITY APPROVAL

DATE: 06/18/2025

 WGI INC.
 3225 VISTA PARKWAY, SUITE 100, FORT LAUDERDALE, FL 33309

NOT FOR CONSTRUCTION,
BIDDING, OR PERMIT
PURPOSES.
 PREPARED UNDER THE
SUPERVISION OF
JEFFREY ROBERT BERGMAN
P.E. #50159
 ON 2025-06-17
 2025 SUBMITTAL
 JUNE 18, 2025

VILLAGE OF WELLINGTON AQUATIC CENTER
 12165 FOREST HILL BLVD
 VILLAGE OF WELLINGTON, FLORIDA 33414
 POOL DETAILS

RECEIVED

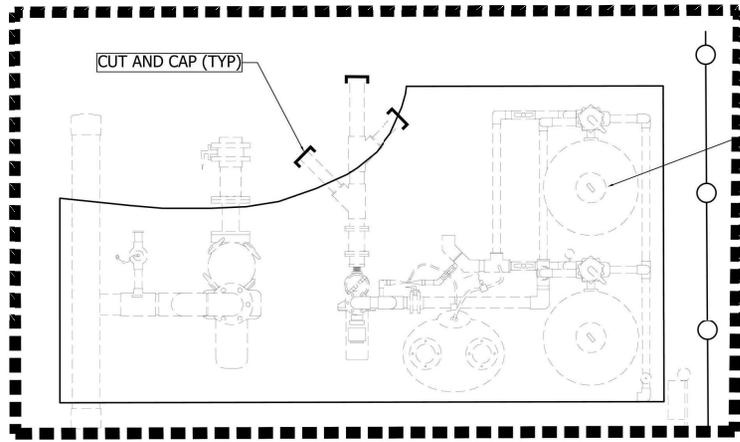
BURKHARDT
CONSTRUCTION INC.

By HTank at 8:29:30 AM, 9/18/2025

SHEET
D-204

10726.02

EXHIBIT R1



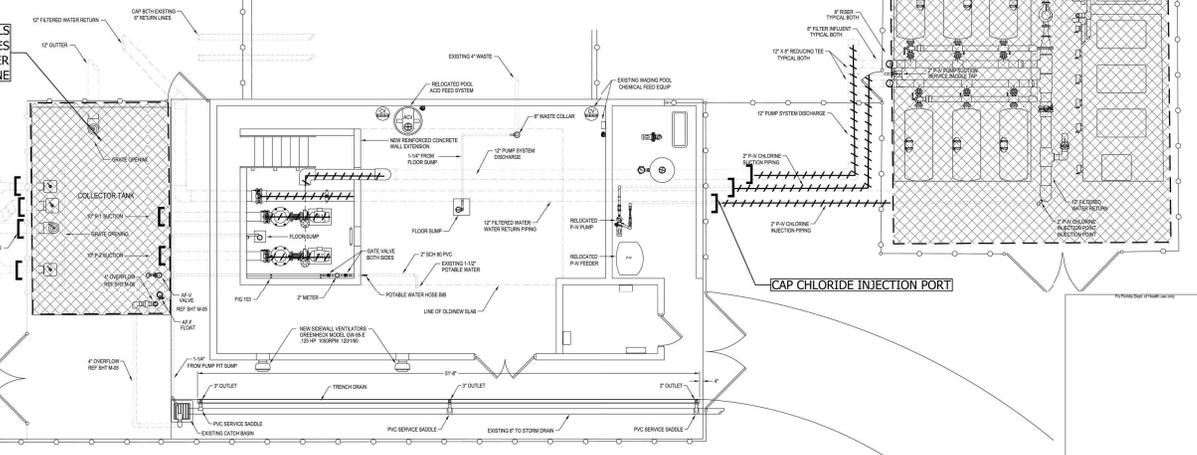
SPLASH POOL PUMP,
FILTER AND SURGE
TANK TO REMAIN

DETAIL 01

REFER TO DETAIL 01
THIS SHEET

REMOVE TOP OF COLLECTION TANK AND WALLS
TO 1'-0" BELOW GRADE CORE (12" 6" DIA. HOLES
THRU BOTTOM OF TANK LINE WITH FILTER
FABRIC AND FILL WITH #57 STONE

EXISTING MAIN DRAIN
ELEVATION AS REQUIRED
EXISTING MAIN DRAIN



PIPING PLAN
SCALE: 1/4" = 1'-0"

LEGEND

--- CONSTRUCTION AREA
ALL ITEMS WITHIN THIS
AREA TO BE CONSIDERED
AND REMOVED FROM SITE

++++ TO BE REMOVED

--- CAP LINE

NOT AUTHORIZED FOR
CONSTRUCTION PRIOR TO
FORMAL CITY APPROVAL



NOT FOR CONSTRUCTION,
BIDDING, OR PERMIT
PURPOSES.

PREPARED UNDER THE
SUPERVISION OF
JEFFREY ROBERT BERGMAN
P.E. #50159
ON 2025-09-17

DATE SUBMITTED
JUNE 18, 2025

VILLAGE OF WELLINGTON AQUATIC CENTER
12165 FOREST HILL BLVD
VILLAGE OF WELLINGTON, FLORIDA 33414

MECHANICAL PIPING

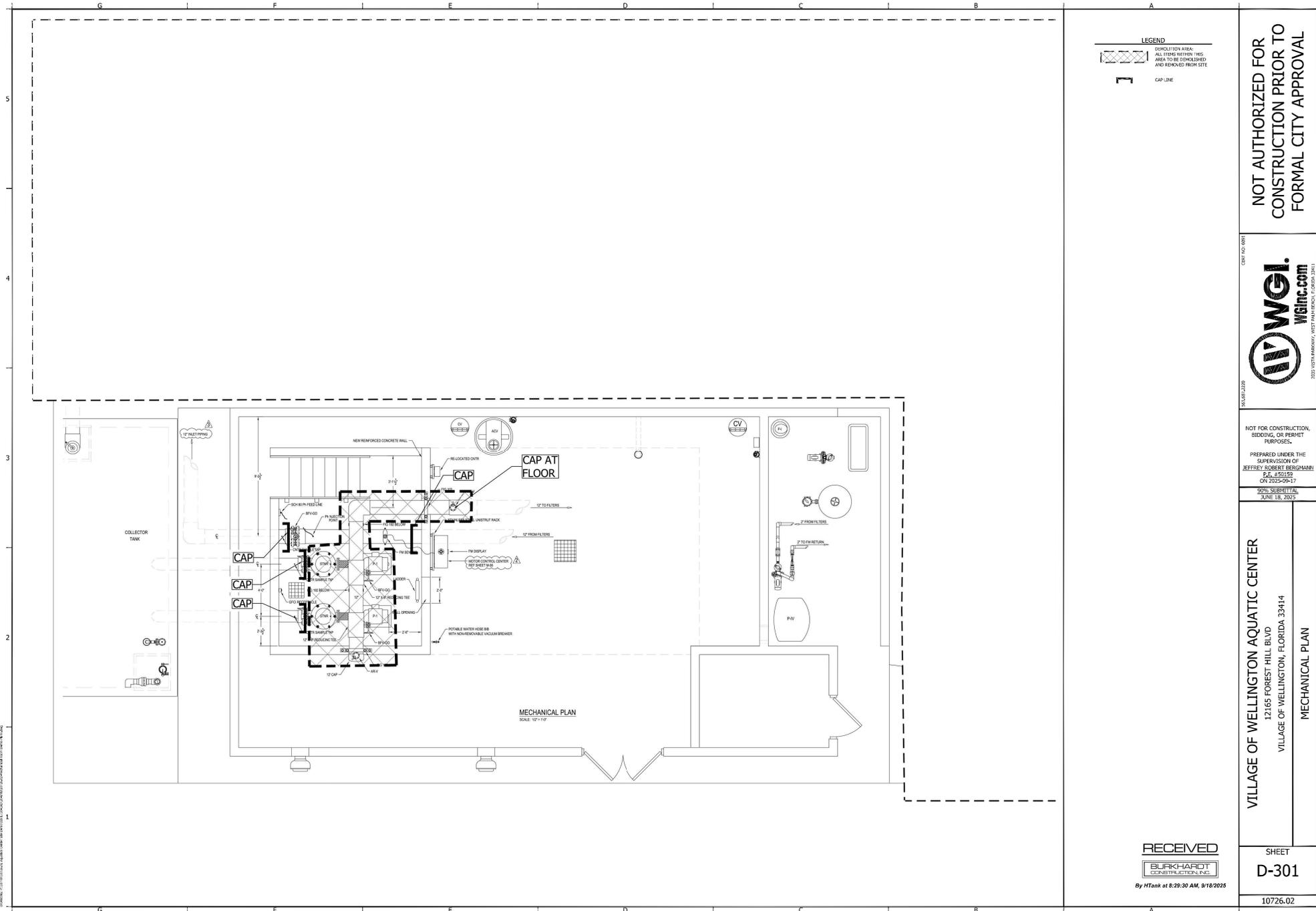
RECEIVED
BURKHARDT
CONSTRUCTION INC.

By HTank at 8:29:30 AM, 9/18/2025

SHEET
D-300

10726.02

EXHIBIT R1



LEGEND
 DEMOLITION AREA - ALL ITEMS WITHIN THIS AREA TO BE DEMOLISHED AND REMOVED FROM SITE
 CAP LINE

NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL

DATE: 06/18/2025

3225 VISTA PARKWAY, SUITE 100, WEST PALM BEACH, FL 33411

NOT FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.
PREPARED UNDER THE SUPERVISION OF JEFFREY ROBERT BERENSON, P.E. #50159 ON 2025-06-17
DATE SUBMITTED: JUNE 18, 2025

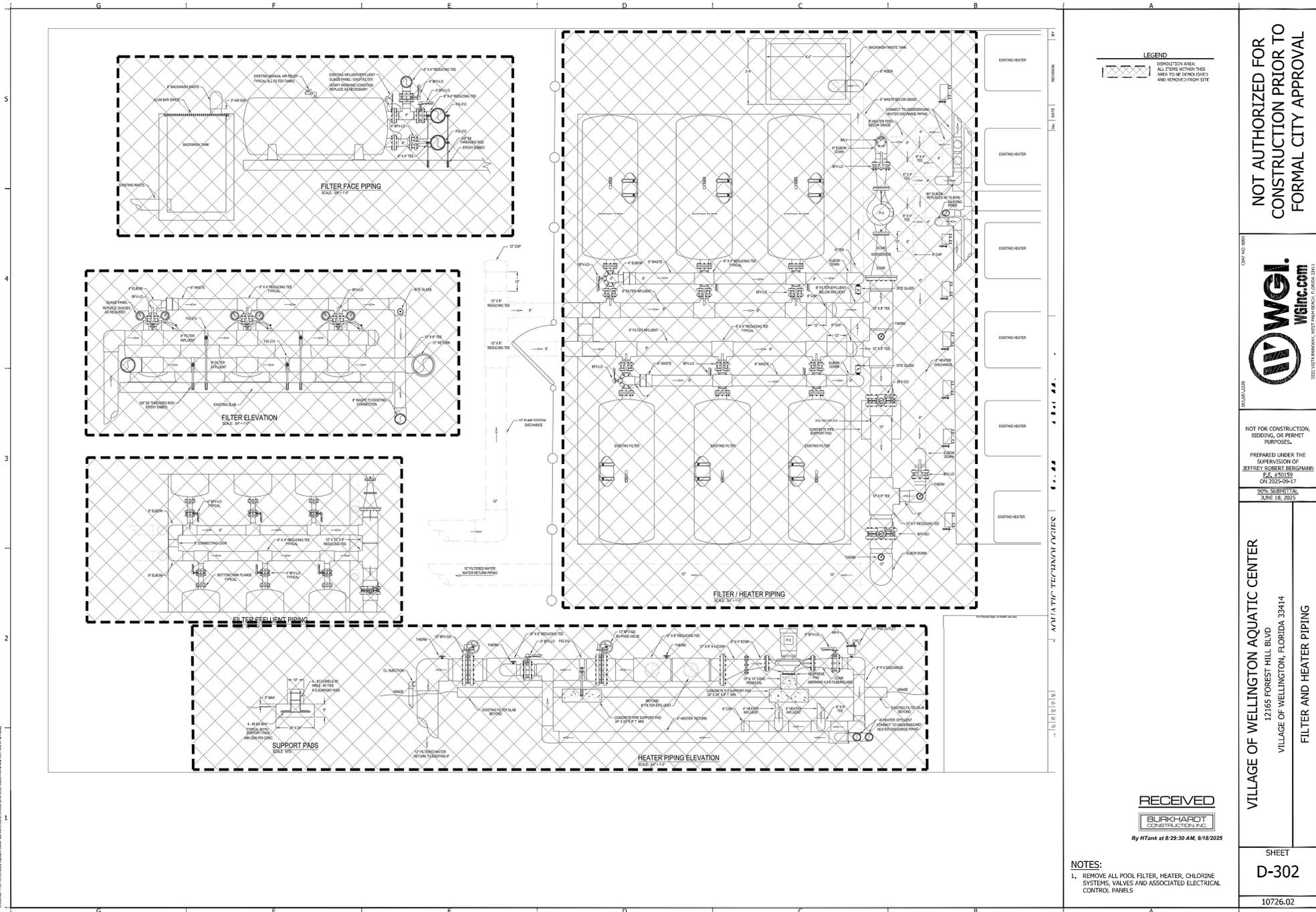
VILLAGE OF WELLINGTON AQUATIC CENTER
 12165 FOREST HILL BLVD
 VILLAGE OF WELLINGTON, FLORIDA 33414
MECHANICAL PLAN

RECEIVED

By HTank at 8:29:30 AM, 9/18/2025

SHEET
D-301
 10726.02

EXHIBIT R1



NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL



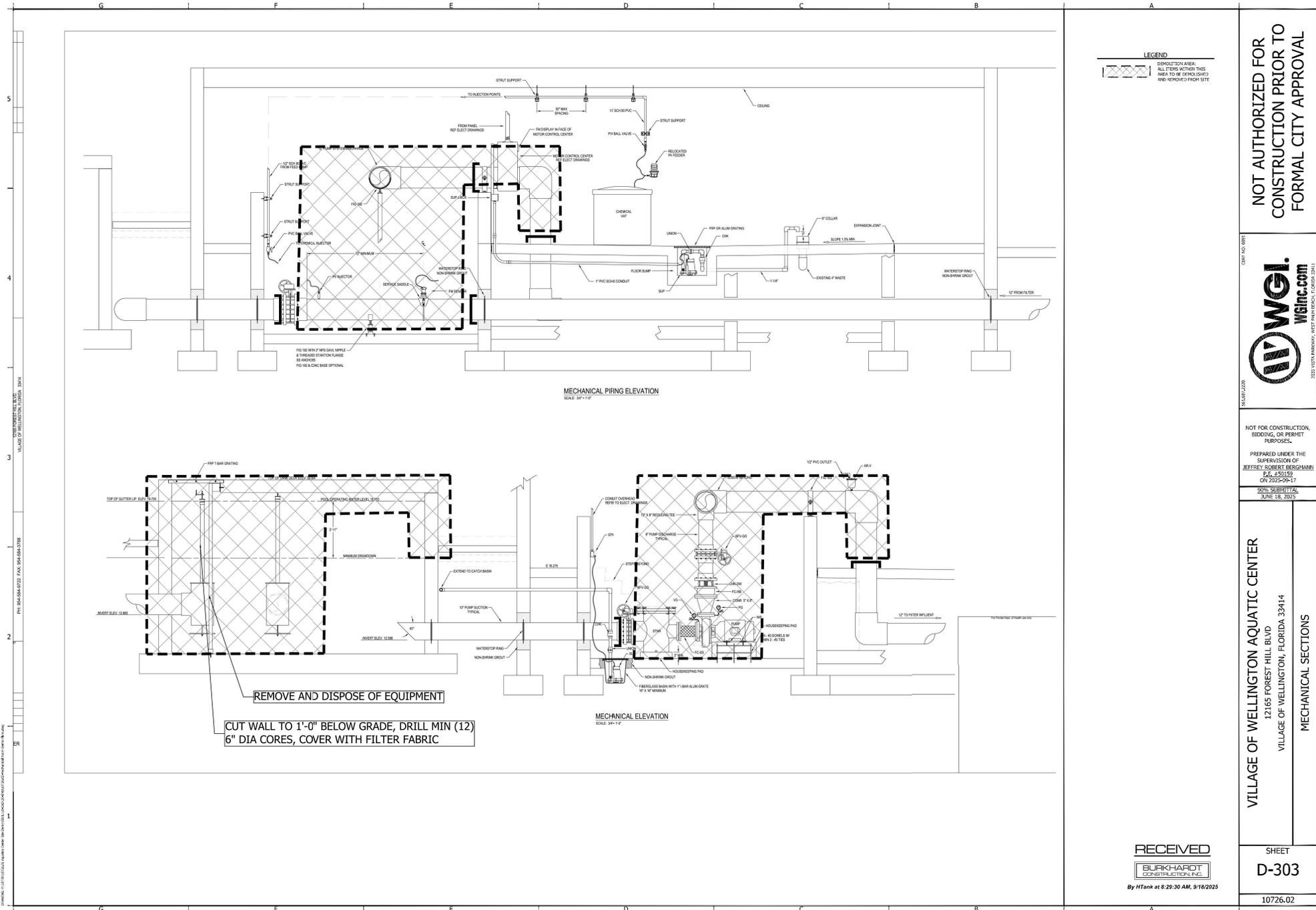
NOT FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.
 PREPARED UNDER THE SUPERVISION OF JEFFREY ROBERT BERGMANN, P.E., #513159 ON 2025-09-17

VILLAGE OF WELLINGTON AQUATIC CENTER
 12165 FOREST HILL BLVD
 VILLAGE OF WELLINGTON, FLORIDA 33414
 FILTER AND HEATER PIPING

SHEET D-302

10726.02

EXHIBIT R1



NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL

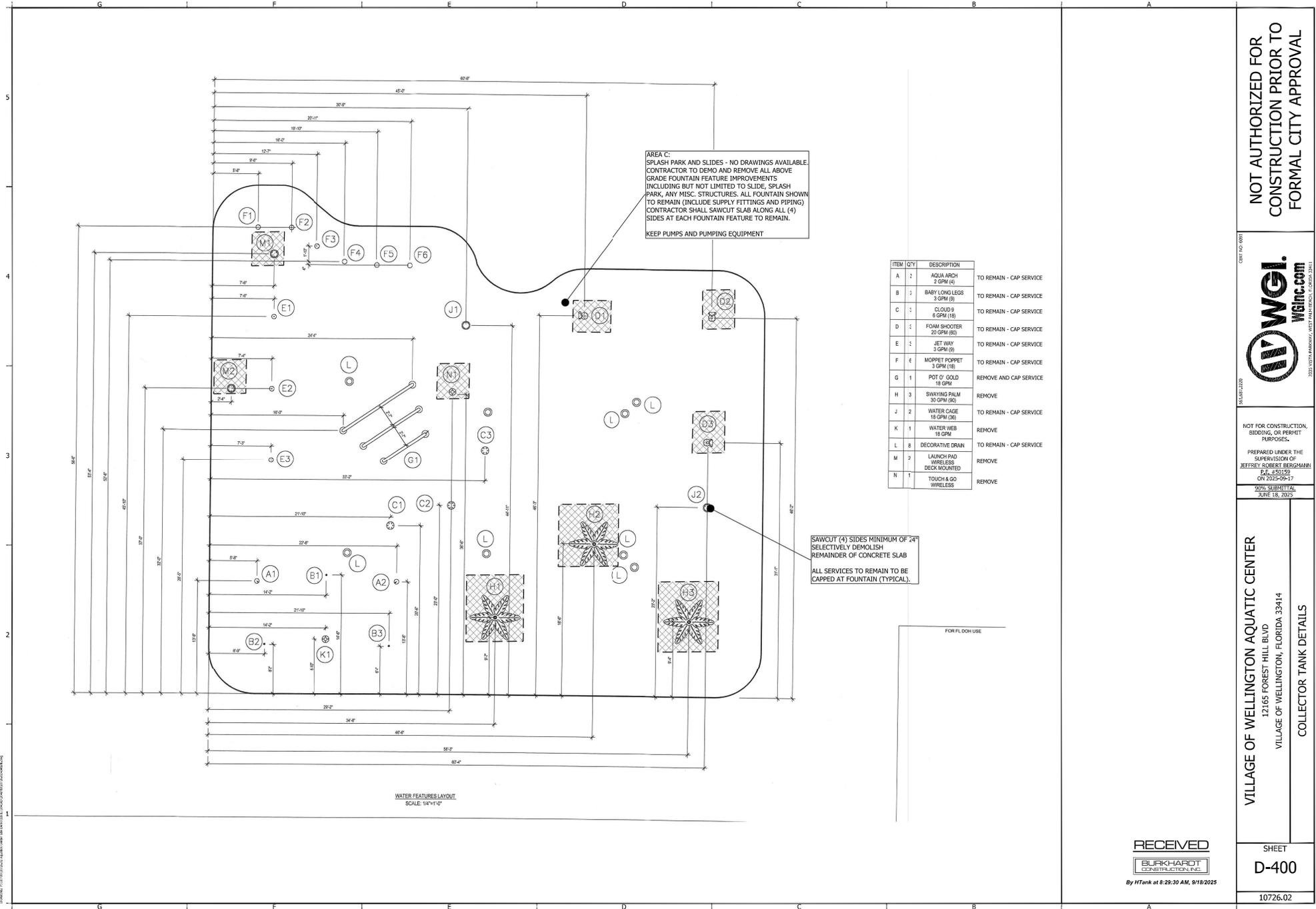


NOT FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.
PREPARED UNDER THE SUPERVISION OF JEFFREY ROBERT BERGMANN, P.E., #50159 ON 2025-09-17
DATE SUBMITTED: JUNE 18, 2025

VILLAGE OF WELLINGTON AQUATIC CENTER
12165 FOREST HILL BLVD
VILLAGE OF WELLINGTON, FLORIDA 33414
MECHANICAL SECTIONS

SHEET
D-303
10726.02

EXHIBIT R1



NOT AUTHORIZED FOR
 CONSTRUCTION PRIOR TO
 FORMAL CITY APPROVAL



NOT FOR CONSTRUCTION,
 BIDDING, OR PERMIT
 PURPOSES.
 PREPARED UNDER THE
 SUPERVISION OF
 JEFFREY ROBERT BERGMAN
 P.E. #50159
 ON 2025-09-17
 2025 SUBMITTAL
 JUNE 18, 2025

VILLAGE OF WELLINGTON AQUATIC CENTER
 12165 FOREST HILL BLVD
 VILLAGE OF WELLINGTON, FLORIDA 33414
 COLLECTOR TANK DETAILS

RECEIVED

BURKHARDT
 CONSTRUCTION, INC.

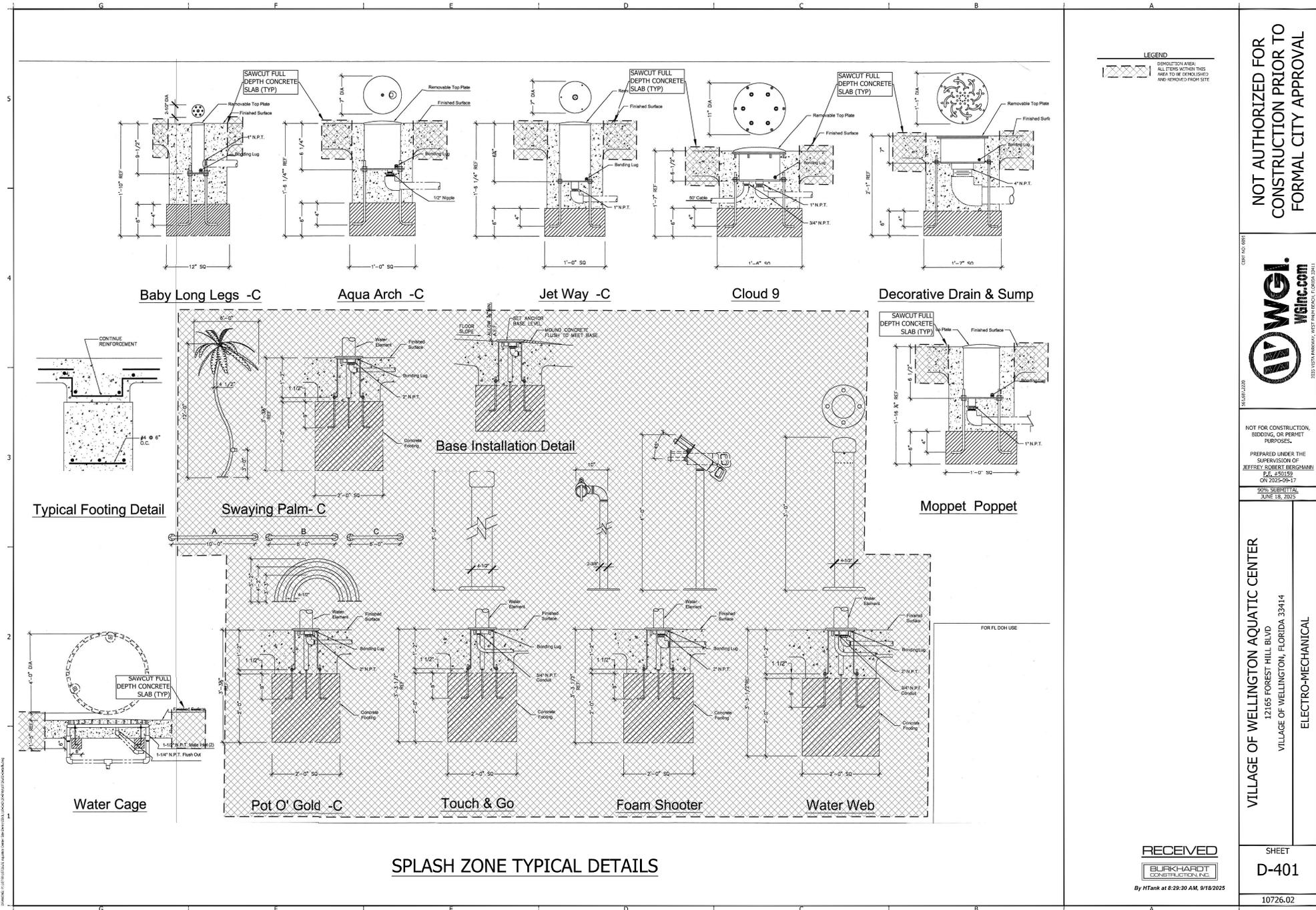
By HTank at 8:29:30 AM, 9/18/2025

SHEET

D-400

10726.02

EXHIBIT R1



NOT AUTHORIZED FOR
 CONSTRUCTION PRIOR TO
 FORMAL CITY APPROVAL



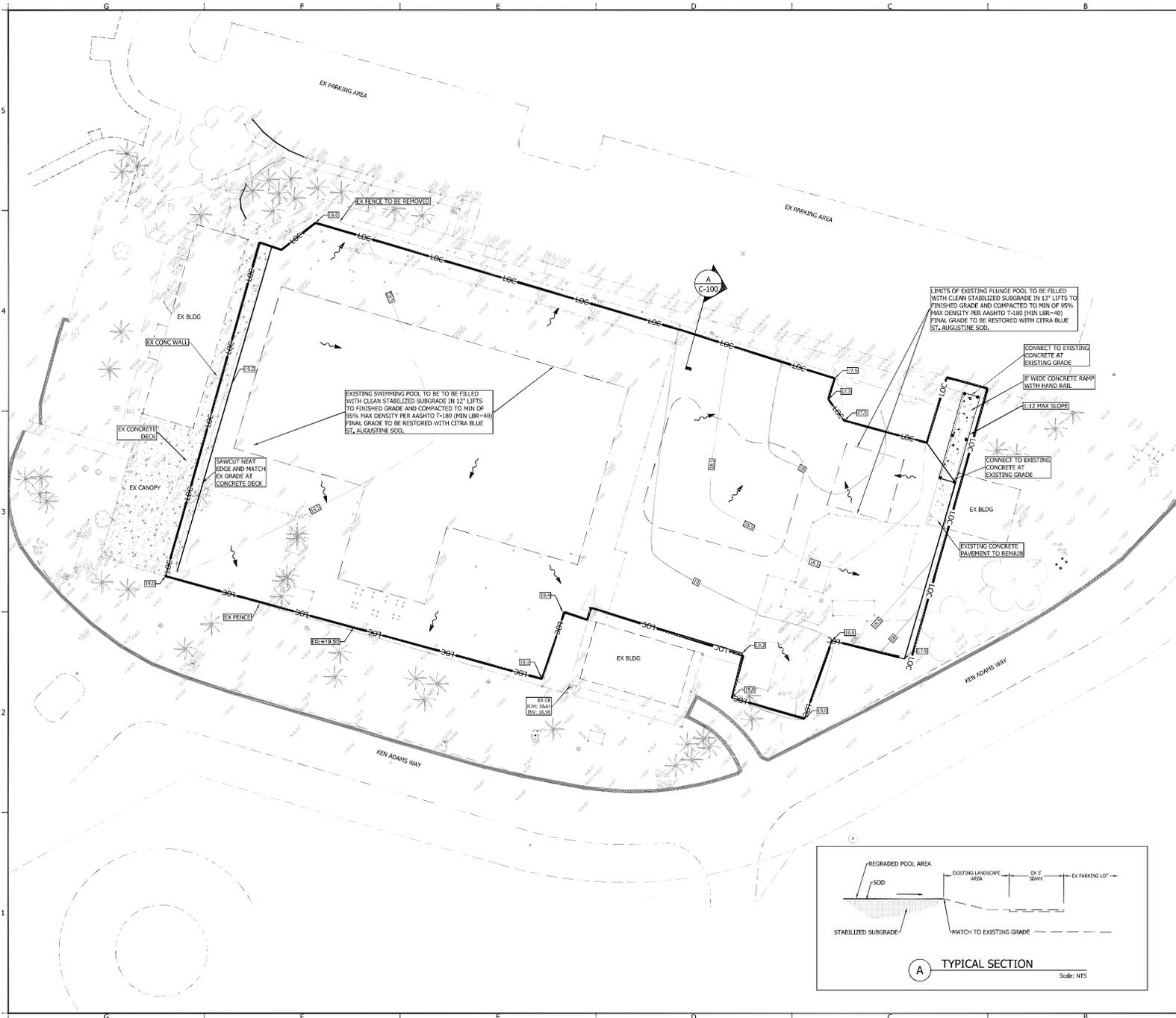
NOT FOR CONSTRUCTION,
 BIDDING, OR PERMIT
 PURPOSES.
 PREPARED UNDER THE
 SUPERVISION OF
 JEFFREY ROBERT BERGMAN
 P.E. #50159
 ON 2025-09-17
 2025 SUBMITTAL
 JUNE 18, 2025

VILLAGE OF WELLINGTON AQUATIC CENTER
 12165 FOREST HILL BLVD
 VILLAGE OF WELLINGTON, FLORIDA 33414
 ELECTRO-MECHANICAL

SHEET
 D-401

10726.02

EXHIBIT R1



NOTE:
CONTRACTOR TO SOLICIT THE SERVICES OF
LICENSED IRRIGATION PROFESSIONAL TO PROVIDE
PLANNING AND PERMITTING SERVICES FOR
IRRIGATION SYSTEMS

LEGEND

- PROPOSED SPOT GRADE
- EX SPOT GRADE
- FLOW ARROW
- HANDRAIL
- PROPOSED CONCRETE
- EX CONCRETE

NOT AUTHORIZED FOR
CONSTRUCTION PRIOR TO
FORMAL CITY APPROVAL

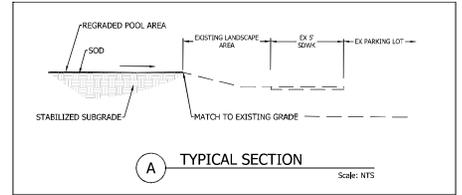
DATE: 06/20/2025

 WGI INC.
 3225 VISTA PARKWAY, SUITE 100, PALM BEACH, FLORIDA 33411

NOT FOR CONSTRUCTION,
BIDDING, OR PERMIT
PURPOSES,
PREPARED UNDER THE
SUPERVISION OF
CHRIS L. HOSKINS,
P.E. #66344
ON 2025-09-17
2025 SUBMITTAL
JUNE 18, 2025

VILLAGE OF WELLINGTON AQUATIC CENTER
 12165 FOREST HILL BLVD
 VILLAGE OF WELLINGTON, FLORIDA 33414
 GRADING PLAN

SHEET
C-100
 10726.02



RECEIVED
 BURKHARDT
 CONSTRUCTION, INC.
 By HTank at 8:29:30 AM, 9/18/2025

EXHIBIT R2
SCHEDULE OF VALUES

EXHIBIT R2

Village of Wellington
Wellington Aquatic Complex Demolition

Guaranteed Maximum Price

From: **Burkhardt Construction, Inc.**
Attn: Marc R. Kleisley
515 Palm Street
West Palm Beach, FL 33401
Tel: (561) 659-1400
Fax: (561) 659-1402

Owner: **Village of Wellington Engineering Department**
Attn: Mr. Jonathan Reinsvold, PE
12300 Forest Hill Blvd.
Wellington, FL 33414
Tel: (561) 791-4052

Designer: **WGI**
2035 Vista Parkway
West Palm Beach, FL 33411

Plans: Wellington Aquatic Complex Demolition Plan Set Dated 06.18.25; Revised Dated 07.11.25
100% Submittal
BCI Stamped Received 06/20/2025 And Revised Set Received 09/18/2025

Location: Wellington Aquatics Complex
12072 Forest Hill Blvd
Wellington, FL. 33414

Proposal
Date: January 16, 2026

| | | |
|---|----|------------|
| Direct Construction Costs | \$ | 395,242.04 |
| Construction Manager Allowances | \$ | 340,000.00 |
| General Conditions | \$ | 63,810.00 |
| General Requirements | \$ | 44,350.82 |
| Bonds | \$ | 11,992.36 |
| Insurance | \$ | 19,187.78 |
| | \$ | 45,306.00 |
| Construction Manager Fee | | |
| Owner Contingency (Owner Controlled) | \$ | 39,500.00 |
| Assumptions & Clarifications | | |
| Plan Log / Proposed Schedule | | |

TOTAL GUARANTEED MAXIMUM PRICE \$ **959,389.00**



EXHIBIT R2

Wellington Aquatic Complex Demolition

Guaranteed Maximum Price

Direct Construction Costs
1/16/2026

Prepared by Burkhardt Construction, Inc.

LEGEND FOR ABBREVIATIONS

| | |
|------------------|------------------------|
| EA - Each | SF - Square Foot |
| E/D - Each Day | SY - Square Yard |
| DAY - Daily | TCY - Truck Cubic Yard |
| LS - Lump Sum | ALL - Allowance |
| ROL - Rolls | |
| LF - Lineal Foot | |

| Item Description | Quantity | U/M | Unit Price | Amount | Labor | Equipment | Material | Subcontractor | General/Rental | Subtotal |
|--|----------|-----|-------------|--------------|---------|-----------|-----------|---------------|----------------|----------|
| MAINTENANCE OF TRAFFIC (02-00204) | | | | \$5,000.00 | | | | | | |
| MOT TO INCLUDE BUT NOT LIMITED TO MOT PLAN / WORK ZONE SIGNS / TRAFFIC | 1 | LS | \$5,000.00 | \$ 5,000.00 | | | AB | 5000.00 | | 5000.00 |
| GENERAL REQUIREMENTS (01-00100) | | | | \$18,442.00 | | | | | | |
| NPDES FILING & REPORTING (BY OTHERS) | 1 | LS | \$4,200.00 | \$ 4,200.00 | 4200.00 | | BCI - | | | 4200.00 |
| FURNISH AND INSTALL SILT FENCE | 968 | LF | \$4.00 | \$ 3,872.00 | | | AB | 3872.00 | | 3872.00 |
| MAINTAIN SILT FENCE | 1 | LS | \$500.00 | \$ 500.00 | | | AB | 500.00 | | 500.00 |
| INSTALL CHAINLINK FENCE WITH 2 LOCKABLE DOUBLEGATES AND BLACK SCREEN TO THE CONTRACTOR STAGING AREA; REMOVE IT AT THE COMPLETION OF THE PROJECT AND RESTORE EVERYTHING DISTURBED | 737 | LF | \$10.00 | \$ 7,370.00 | | | AB | 7370.00 | | 7370.00 |
| INSTALL GRAVEL TRACKING PAD AT CONSTRUCTION ENTRANCE AND REMOVE IT AT COMPLETION OF PROJECT, APPROXIMATELY 1415 SF | 1 | EA | \$2,500.00 | \$ 2,500.00 | | | AB | 2500.00 | | 2500.00 |
| NECESSARY REPAIRS OF DAMAGED EXISTING ASPHALT, CONCRETE CURBS, LANDSCAPED MEDIANS ETC. AT STAGING AREA | 1 | ALL | \$20,000.00 | | | | ALLOWANCE | | | |
| DEMOLITION (02-00210) | | | | \$118,483.09 | | | | | | |
| REMOVE EXISTING HEDGE | 1005 | LF | \$1.50 | \$ 1,507.50 | | | AB | 1507.50 | | 1507.50 |
| REMOVE EXISTING METAL PICKET FENCE AND GATES | 870 | LF | \$0.75 | \$ 652.50 | | | AB | 652.50 | | 652.50 |
| REMOVE EXISTING CHAINLINK FENCE AND GATES | 903 | LF | \$0.75 | \$ 677.25 | | | AB | 677.25 | | 677.25 |
| REMOVE ALL ABOVE GRADE ELECTRICAL LIGHTING INCLUDING CONDUITS, WIRE, BASES | 1 | LS | \$500.00 | \$ 500.00 | | | AB | 500.00 | | 500.00 |
| LOCATE UNDERGROUND UTILITIES USING GROUND PENETRATING RADAR | 1 | ALL | \$20,000.00 | | | | ALLOWANCE | | | |
| SAFELY DISCONNECT EXISTING ELECTRICAL PANELS PRIOR TO CONSTRUCTION | 1 | ALL | \$30,000.00 | | | | ALLOWANCE | | | |
| DEMOLISH EXISTING SWIMMING POOL ABOVE AND BELOW GRADE, INCLUDING | 1 | LS | \$34,662.00 | \$ 34,662.00 | | | AB | 34662.00 | | 34662.00 |
| DEMOLISH EXISTING PLUNGE POOL ABOVE AND BELOW GRADE COMPLETE INCLUDING WALL, FLOOR AND FOUNDATIONS; CAP SERVICES; FILL WITH CLEAN STABILIZED SOIL IN 12" COMPACTED LIFTS; APPROXIMATELY 925 SF | 1 | LS | \$2,016.00 | \$ 2,016.00 | | | AB | 2016.00 | | 2016.00 |
| DEMOLISH EXISTING SPLASH PAD, INCLUDING WALLS, FLOOR & FOUNDATIONS, COMPLETE PER PHOTO #19 ON PLAN SHEET D-102 AND D-400; REMOVE ALL IMPROVEMENTS ABOVE AND BELOW GRADE AND REMOVE ABOVE GRADE FOUNTAINS; CAP SERVICES, (EXCLUDING PUMPS & PUMPING EQUIPMENT); FILL WITH CLEAN STABILIZED SOIL IN 12" COMPACTED LIFTS; APPROXIMATELY 3880 SF | 1 | LS | \$8,497.00 | \$ 8,497.00 | | | AB | 8497.00 | | 8497.00 |
| DEMOLISH EXISTING SPLASH POOL ABOVE & BELOW GRADE COMPLETE WITH WALLS, FLOOR AND FOUNDATIONS; CAP SERVICES, FILL WITH CLEAN STABILIZED SOIL IN 12" COMPACTED LIFTS; APPROXIMATE 3782 SF; REFER PHOTO #20 NOTE ON SHEET D-102; (SPLASH POOL PUMP, FILTER AND SURGE TANK TO REMAIN PER DETAIL 01 ON PLAN SHEET D-300) | 1 | LS | \$8,244.00 | \$ 8,244.00 | | | AB | 8244.00 | | 8244.00 |
| SAWCUT EXISTING POOL DECK PER PLAN SHEET D-101, PHOTO #18 AND PLAN SHEET D-102, PHOTO #23 | 300 | LF | \$3.50 | \$ 1,050.00 | | | AB | 1050.00 | | 1050.00 |
| DEMOLISH EXISTING POOL DECK INCLUDING FOUNDATIONS, RAMPS, WALKWAYS, STAIRS, STEPS, RAILING, SCREENED FENCING, BELOW GRADE PIPING, ELECTRICAL CONDUITS PER PLAN SHEET D-204, ETC., FILL WITH CLEAN STABILIZED SOIL IN 12" COMPACTED LIFTS | 30,067 | SF | \$1.52 | \$ 45,701.84 | | | AB | 45701.84 | | 45701.84 |
| DEMOLISH EXISTING COLLECTION TANK PER PLAN SHEET D-300, INCLUDING WALLS TO 1'-0" BELOW GRADE, CORE 12 X 6" DIA HOLES THROUGH BOTTOM OF TANK, LINE WITH FILTER FABRIC AND FILL WITH #57 STONE, APPROXIMATELY 364 SF | 1 | LS | \$2,500.00 | \$ 2,500.00 | | | AB | 2500.00 | | 2500.00 |
| DEMOLISH EXISTING POOL EQUIPMENT YARD INCLUDING FLOOR AND FOUNDATIONS | 1 | LS | \$2,275.00 | \$ 2,275.00 | | | AB | 2275.00 | | 2275.00 |
| DEMOLISH EXISTING SLIDE COMPLETE, INCLUDING FLOOR AND FOUNDATIONS | 1 | LS | \$3,500.00 | \$ 3,500.00 | | | AB | 3500.00 | | 3500.00 |
| REMOVE EXISTING PUMPS & PIPING IN PUMP / MECHANICAL BUILDING, CUT & CAP EXISTING 8" PIPE | 1 | LS | \$1,200.00 | \$ 1,200.00 | | | AB | 1200.00 | | 1200.00 |
| CUT & CAP EXISTING 8" PIPE | 2 | EA | \$300.00 | \$ 600.00 | | | AB | 600.00 | | 600.00 |
| CUT & CAP EXISTING 10" PIPE | 3 | EA | \$500.00 | \$ 1,500.00 | | | AB | 1500.00 | | 1500.00 |
| CUT & CAP EXISTING 12" PIPE | 4 | EA | \$750.00 | \$ 3,000.00 | | | AB | 3000.00 | | 3000.00 |

EXHIBIT R2

| Item Description | Quantity | U/M | Unit Price | Amount | Labor | Equipment | Material | Subcontractor | General/Rental | Subtotal |
|---|----------|-----|-----------------|---------------------|---------|-----------|-----------|---------------|----------------|-----------|
| CUT & CAP EXISTING 2" PIPE | 2 | EA | \$200.00 | \$ 400.00 | | | | AB 400.00 | | 400.00 |
| IRRIGATION (02-00265) | | | | \$0.00 | | | | | | 0.00 |
| CONTRACTOR TO SOLICITE THE SERVICES OF LICENSED IRRIGATION PROFESSIONAL TO PROVIDE PLANNING & PERMITTING SERVICES FOR IRRIGATION SYSTEM | 1 | ALL | \$20,000.00 | | | | ALLOWANCE | | | 0.00 |
| INSTALL IRRIGATION SYSTEM FOR THE LANDSCAPED AREAS APPROXIMATELY 55406 SF | 1 | ALL | INCLD. IN ABOVE | | | | ALLOWANCE | | | 0.00 |
| SITEWORK / EARTHWORK (02-00225) | | | | \$179,491.65 | | | | | | 0.00 |
| FILL DEMOLISHED SWIMMING POOL WITH CLEAN STABILIZED SOIL IN 12" COMPACTED LIFTS | 5,395 | CY | \$33.27 | \$ 179,491.65 | | | AB | 179491.65 | | 179491.65 |
| LANDSCAPING (02-00270) | | | | \$73,825.30 | | | | | | 0.00 |
| REGRADE DISTURBED AREAS AND INSTALL CITRA BLUE ST. AUGUSTINE SOD | 1,164 | SY | 6.30 | \$ 7,333.20 | | | AB | 7333.20 | | 7333.20 |
| GRADE PROPOSED LANDSCAPING AREAS | 55,406 | SF | \$0.50 | \$ 27,703.00 | | | AB | 27703.00 | | 27703.00 |
| RESTORE FINAL GRADE OF VARIOUS POOL AREAS WITH CITRA BLUE ST. AUG | 6,157 | SY | \$6.30 | \$ 38,789.10 | | | AB | 38789.10 | | 38789.10 |
| PRIVATE PROPERTY SCREENING | | | | \$0.00 | | | | | | 0.00 |
| SCREENING OF THE MAYFAIR PROPERTY PER VILLAGE OF WELLINGTON | 1 | ALL | \$250,000.00 | | | | ALLOWANCE | | | 0.00 |
| Wellington Aquatic Complex Demolition Total Direct Costs | | | | \$395,242.04 | 4200.00 | 0.00 | 0.00 | 391042.04 | 0.00 | 395242.04 |

*SUBCONTRACTORS:

DEMOLITION - ALLIEDBEAN DEMOLITION CONTRACTORS

*THE LIST OF SUBCONTRACTORS CAN ALSO BE FOUND ON THE DIRECT CONSTRUCTION COST SHEETS IN THE SUBCONTRACTOR COLUMN

EXHIBIT R2

List of Proposed Subcontractors

AlliedBean Demolition, Inc.

EXHIBIT R2 – OWNER DIRECT PURCHASE

THERE ARE NO OWNER DIRECT PURCHASE FOR THIS PROJECT

EXHIBIT R3
CONSTRUCTION / PROGRESS SCHEDULE

EXHIBIT R3

VILLAGE OF WELLINGTON Wellington Swimming Pool Complex Demolition

| ID | Task Name | Duration | Start | Finish | % Complete | Timeline | | | | | | |
|----|--------------------------------------|-----------------|-------------------|--------------------|------------|------------|----------|-----------|-----------|-------------|----------------|--|
| | | | | | | April 2026 | May 2026 | June 2026 | July 2026 | August 2026 | September 2026 | |
| 1 | CONSTRUCTION | 120 days | Mon 4/6/26 | Fri 9/18/26 | 0% | | | | | | | |
| 2 | MOBILIZATION / SITE SET UP | 5 days | Mon 4/6/26 | Fri 4/10/26 | 0% | | | | | | | |
| 3 | LOCATE UNDERGROUND UTILITIES | 7 days | Mon 4/13/26 | Tue 4/21/26 | 0% | | | | | | | |
| 4 | DEMOLITION | 60 days | Wed 4/22/26 | Tue 7/14/26 | 0% | | | | | | | |
| 5 | IRRIGATION DESIGN / REVIEW / INSTALL | 30 days | Wed 7/15/26 | Tue 8/25/26 | 0% | | | | | | | |
| 6 | SODDING / SITE RESTORATION | 14 days | Wed 8/26/26 | Mon 9/14/26 | 0% | | | | | | | |
| 7 | FINAL CONSTRUCTION CLEAN | 4 days | Tue 9/15/26 | Fri 9/18/26 | 0% | | | | | | | |



EXHIBIT R4
CONSTRUCTION MANAGER'S ALLOWANCES

EXHIBIT R5

ASSUMPTIONS AND CLARIFICATIONS

EXHIBIT R5

Village of Wellington Wellington Aquatic Complex Demolition Guaranteed Maximum Price

Assumptions & Clarifications - 01/16/2026

GENERAL

- 1 Scope of work and quantities are based on Wellington Aquatic Complex Swimming Pool Demolition Plans from WGI.
- 2 Guaranteed Maximum Price (G.M.P.) was compiled using competitive bids received from pre-approved subcontractors and vendors.
- 3 G.M.P. includes a 10% contingency. This contingency is controlled by the Village of Wellington.
- 4 G.M.P. does not include a cost for a master permit fee, sub-permit fees, capital improvement fees, or connection fees.
- 5 It is understood that the Direct Construction Cost (Exhibit "A") is lump sum price for the work shown in the plans and as modified by these exceptions and clarifications.
- 6 Project master schedule and schedule updates shall be a bar chart schedule acceptable to the Owner prepared by CMAR in house personnel.
- 7 G.M.P. cost estimate does not include premium time/overtime work hours.
- 8 G.M.P. cost estimate does not include additional insurance premiums for naming individual property owners as additional insureds. Village of Wellington shall be named additionally insured.
- 9 G.M.P. cost estimate does not include a project specific policy with a 5 year tail after final payment.
- 10 All Construction easements shall be executed and recorded and all permits shall be issued prior to notice to proceed.
- 11 Direct Construction costs are based on a project start date of February-March 2026. Labor and equipment prices are firm for all work completed through August 2026. After August 2026 material price increases will be considered by the Owner. If approved, material price increases shall be passed through with proper documentation, and paid for with contingency.
- 12 Village of Wellington Building Permits; All permits shall be obtained prior to start of construction and receipt of notice to proceed. Plans have not yet been through permitting and GMP does not reflect any special permitting requirements. Costs for any special permitting requirements shall be taken from the contingency with proper documentation. A Special Inspector is specifically excluded.
- 13 The project will require free and unlimited jobsite access for workmen and deliveries during all authorized work hours. Access will be from Ken Adams Way and it will be closed at Chancellor Dr during construction. All the Buildings adjacent the Contractor staging Area will be vacated by V.O.W.



EXHIBIT R5

- 14 Burkhardt Construction, Inc. (BCI) is not liable for failure to perform such work or any damages that occur if such failure is as a result of Acts of God (including fire, flood, earthquake, storm, hurricane or other natural disaster). If BCI asserts Force Majeure as the reason for failure to perform such work or such damages occur as a result of any Act of God, then BCI must prove that they took reasonable steps to minimize delay or damages caused by unforeseeable events, that BCI substantially fulfilled all obligations, and that the owner was timely notified of the likelihood or actual occurrence of the event described as an Act of God (Force Majeure). Any construction related damages that took place as a result, shall be repaired or removed and replaced at the same contract unit prices and shall be paid out of the contingency.
- 15 In the event that the terms and provisions of this G.M.P. conflict with the terms and provisions of the Contract, the terms and provisions of the attached G.M.P. shall govern with respect to the performance of the work.
- 16 G.M.P. does not include any vibration monitoring or a pre/post construction survey by a geotechnical engineer on the existing buildings or structures in the project area. Should either of those tasks be required, the value will be taken from contingency.
- 17 The GMP is based on current market pricing. If a commitment from the Village to move forward with the project is not approved by March, 2026, pricing could be subject to change. Prices cannot be held for an extended period of time without commitments to vendors and subcontractors. Any material price increases shall be passed through to the Owner with proper documentation, and paid for with owners contingency.

DEMOLITION / CLEARING & GRUBBING

- 1 G.M.P. does not include costs for removal / remediation of asbestos cement pipe or any other hazardous materials and chemicals.

EARTHWORK / GRADING

- 1 G.M.P. does not include removal or replacement of any unsuitable subsoils. Demucking is specifically excluded. Rock excavation is specifically excluded.
- 2 Prices do not include removing underground fuel tanks.
- 3 Protecting, shoring, bracing and/or underpinning of any structures designated to remain is not included.
- 4 No geotech bore reports were provided by the Village of Wellington. No subsurface soil investigations were performed by the CMAR during pre-construction services.
- 5 G.M.P. is based on the assumption that the entire site will be closed during construction.

LANDSCAPE / IRRIGATION

- 1 G.M.P. does not include an annual landscape maintenance agreement.
- 2 G.M.P. does not include any modifications to the existing irrigation system.

ALLOWANCES

- 1 G.M.P. includes allowances requested by the Village of Wellington.
- 2 The work that falls under the privacy screen allowance shall be performed during the scheduled demolition. If not performed in conjunction with the demolition, additional management hours will be paid with contingency.



EXHIBIT R6
LIST OF EXTENDED WARRANTIES

THERE ARE NO EXTENDED WARRANTIES FOR THIS PROJECT

EXHIBIT R7
STIPULATED GENERAL CONDITIONS
AND
GENERAL REQUIREMENTS

EXHIBIT R7

Village of Wellington Wellington Aquatic Complex Demolition

Guaranteed Maximum Price General Conditions

From: Burkhardt Construction, Inc.
Attn: Marc R. Kleisley
515 Palm Street
West Palm Beach, FL 33401
Tel: (561) 659-1400
Fax: (561) 659-1402

Owner: Village of Wellington Engineering Department
Attn: Mr. Jonathan Reinsvold, PE
12300 Forest Hill Blvd.
Wellington, FL 33414
Tel: (561) 791-4052

Designer: WGI
2035 Vista Parkway
West Palm Beach, FL 33411

Plans: Wellington Aquatic Complex Demolition Plan Set Dated 06.18.25; Revised Dated 07.11.25
100% Submittal
BCI Stamped Received 06/20/2025 And Revised Set Received 09/18/2025

Location: Wellington Aquatics Complex
12072 Forest Hill Blvd
Wellington, FL. 33414

**Proposal
Due Date:** January 16, 2026

MANAGEMENT TEAM

| Item Description | Quantity (Hrs./Week) | Wks. | Rate/Hr. | Amount | |
|--|----------------------|----------|----------|---------------------|--------------|
| Total project management duration is based on 18 weeks. | | | | | |
| Project Principal | 3 | Hrs./Wk. | 18 | \$ 175.00 | \$ 9,450.00 |
| Senior Project Manager | 8 | Hrs./Wk. | 18 | \$ 150.00 | \$ 21,600.00 |
| Vertical Project Manager | 0 | Hrs./Wk. | 18 | \$ 120.00 | \$ - |
| Project Manager | 0 | Hrs./Wk. | 18 | \$ 120.00 | \$ - |
| Assistant Project Manager | 10 | Hrs./Wk. | 18 | \$ 75.00 | \$ 13,500.00 |
| Hardscape Construction Field Manager | 0 | Hrs./Wk. | 0 | \$ 100.00 | \$ - |
| Assistant Construction Field Manager | 10 | Hrs./Wk. | 18 | \$ 65.00 | \$ 11,700.00 |
| Project Accountant | 3 | Hrs./Wk. | 18 | \$ 90.00 | \$ 4,860.00 |
| Administrative Assistant | 3 | Hrs./Wk. | 18 | \$ 50.00 | \$ 2,700.00 |
| Field Office Clerk | 0 | Hrs./Wk. | 0 | \$ 30.00 | \$ - |
| General Conditions Total | | | | \$ 63,810.00 | |



EXHIBIT R7

Village of Wellington

Wellington Aquatic Complex Demolition

Guaranteed Maximum Price

GENERAL CONDITIONS / GENERAL REQUIREMENTS

From: Burkhardt Construction, Inc.
 Attn: Marc R. Kleisley
 515 Palm Street
 West Palm Beach, FL 33401
 Tel: (561) 659-1400
 Fax: (561) 659-1402

Owner: Village of Wellington Engineering Department
 Attn: Mr. Jonathan Reinsvold, PE
 12300 Forest Hill Blvd.
 Wellington, FL 33414
 Tel: (561) 791-4052

Designer: WGI
 2035 Vista Parkway
 West Palm Beach, FL 33411

Plans: Wellington Aquatic Complex Demolition Plan Set Dated 06.18.25; Revised Dated 07.11.25
 100% Submittal

Location: Wellington Aquatics Complex
 12072 Forest Hill Blvd
 Wellington, FL. 33414

**Proposal
 Due Date:** January 16, 2026

| Item Description | Amount |
|---|-------------|
| MOBILIZATION (move-in, move-out) | |
| TRANSPORT | \$0.00 |
| EQUIPMENT | \$0.00 |
| PROJECT FIELD OFFICE | |
| OFFICE &/or CONSTRUCTION TRAILER | \$11,600.00 |
| YARD | \$0.00 |
| EMPLOYEE PARKING FEES | \$0.00 |
| WORK PLATFORM FOR YARD | \$0.00 |
| TEMPORARY FENCING FOR YARD | \$0.00 |
| CONSTRUCTION YARD LIGHTING | \$0.00 |
| OFFICE FURNISHINGS | \$0.00 |
| COMPUTERS | \$1,200.00 |
| SCHEDULING SOFTWARE | \$400.00 |
| PROCORE MANAGEMENT SOFTWARE | \$2,000.00 |



EXHIBIT R7

| | | | | | |
|--------------------------|--------------------|-----|-----|---|------------|
| COPY MACHINE | \$200.00 / | mo. | x | 4 | \$800.00 |
| FAX MACHINE | NOT REQUIRED | / | mo. | x | |
| INTERNET SERVICE | \$150.00 / | mo. | x | 4 | \$600.00 |
| CELLULAR TELEPHONE | \$150.00 / | mo. | x | 4 | \$600.00 |
| TELEPHONE | \$150.00 / | mo. | x | 0 | \$0.00 |
| FEDERAL EXPRESS MAILINGS | \$100.00 / | mo. | x | 0 | \$0.00 |
| POSTAGE | \$50.00 / | mo. | x | 0 | \$0.00 |
| PHOTOGRAPHS | | | | | |
| AERIAL PHOTOS | \$150.00 / | mo. | x | 4 | \$600.00 |
| JOB PHOTOS | \$100.00 / | mo. | x | 4 | \$400.00 |
| PRE-CONSTRUCTION VIDEO | \$750.00 / | ls | x | 1 | \$750.00 |
| PRINTING COSTS | \$750.00 / | ls | x | 1 | \$750.00 |
| OFFICE SUPPLIES | \$100.00 / | mo. | x | 4 | \$400.00 |
| FIRST AID SUPPLIES | \$50.00 / | mo. | x | 4 | \$200.00 |
| WATER SERVICE | FURNISHED BY OWNER | | | | |
| SANITARY SERVICE | FURNISHED BY OWNER | | | | |
| ELECTRIC SERVICE | FURNISHED BY OWNER | | | | |
| GARBAGE SERVICE | FURNISHED BY OWNER | | | | |
| CONSTRUCTION WATER | \$500.00 / | mo. | x | 4 | \$2,000.00 |
| JOHN DEERE GATOR | \$500.00 / | mo. | x | 0 | \$0.00 |
| ICE | \$225.00 / | mo. | x | 4 | \$900.00 |

| | | | | | |
|--------------|--------------|--|---|-------|--------------------|
| BONDS | | | | | \$11,992.36 |
| GENERAL BOND | \$959,389.00 | | x | 1.25% | \$11,992.36 |

| | | | | | |
|--|--|--|--|--|---------------|
| PARTNERING INITIATIVES | | | | | \$0.00 |
| NOTICES, LETTERS, INFORMATION MEETINGS | | | | | \$0.00 |

| | | | | | |
|---|--------------------------------|-----|---|-------|--------------------|
| INSURANCE | | | | | \$19,187.78 |
| GENERAL INSURANCE | \$959,389.00 | | x | 2.00% | \$19,187.78 |
| Commercial General Liability | | | | | |
| Comprehensive Automobile Liability | | | | | |
| Owner Indemnification | | | | | |
| Professional (Errors/Omissions) Liability | | | | | |
| Excess/Umbrella Liability | | | | | |
| ADD'L INSURED | \$0.00 / | ea. | x | 0 | \$0.00 |
| ADDED INSURANCES REQUIRED | \$0.00 | | x | 0 | \$0.00 |
| Project Specific policy | Not Included | | | | |
| Builders Risk Insurance | By Owner/Not Included | | | | |
| Installation Floater | Not Included | | | | |
| Flood Insurance | Not Required | | | | |
| SUBCONTRACTORS' INSURANCE | Included in their direct costs | | | | |

| | | | | | |
|---------------------------|------------|-----|---|---|-------------------|
| SANITARY SERVICES | | | | | \$1,900.00 |
| JOB TOILET (1ea./PROJECT) | \$475.00 / | mo. | x | 4 | \$1,900.00 |

| | | | | | |
|---|--------------|------|---|-----|--------------------|
| TESTING COSTS | | | | | \$20,350.00 |
| DENSITIES | \$25.00 / | TEST | x | 150 | \$3,750.00 |
| PROCTORS | \$400.00 / | TEST | | 2 | \$800.00 |
| LIMEROCK BEARING RATIO | \$400.00 / | TEST | | 2 | \$800.00 |
| SIEVE ANALYSIS | \$50.00 / | TEST | | 0 | \$0.00 |
| ORGANIC CONTENT | \$48.00 / | TEST | | 0 | \$0.00 |
| CONCRETE CYLINDERS | \$25.00 / | CYL. | | 0 | \$0.00 |
| PARTICLE SHAPE TEST (ASTM S 2488) | \$125.00 / | TEST | | 0 | \$0.00 |
| ENGINEERING & REPORTING | \$2,500.00 / | LS | | 6 | \$15,000.00 |
| PRE/POST CONST. SURVEY/VIBRATION MONITORING | | | | | EXCLUDED |



EXHIBIT R7

| | | | | | | |
|--|---------------|----|---|---|--|--------------------|
| <i>FEES</i> | | | | | | None Anticipated |
| PERMIT FEES | | | | | | |
| SFWMD DEWATERING PERMIT | | | | | | EXCLUDED |
| PALM BEACH COUNTY HEALTH DEPARTMENT | | | | | | EXCLUDED |
| <i>SURVEYING</i> | | | | | | \$10,000.00 |
| LAYOUT & ASBUILTS | \$10,000.00 / | LS | x | 1 | | \$10,000.00 |
| ALLOWANCE FOR RESTAKING & DRAFTING | \$5,000.00 / | LS | x | 0 | | \$0.00 |
| <i>SMALL HAND TOOLS/EQUIPMENT RENTAL</i> | | | | | | \$500.82 |
| GENERAL CONDITIONS/GENERAL REQUIREMENTS TOTAL | | | | | | \$75,530.96 |

EXHIBIT R8
SUBMITTAL SCHEDULE

EXHIBIT R8



Burkhardt Construction, Inc.

Printed on Wed Jan 28, 2026 at 07:35 am EST

Job #: 2508 PRECON - VOW Aquatic Facility Demolition
 12072 FOREST HILL BLVD
 WELLINGTON, Florida 33414

All Submittals

| Spec Section | # | Rev. | Title | Type | Status | Responsible Contractor | Final Due Date | Submit By | Location | Received From | Received Date | Ball In Court | Approvers | Response | Sent Date | Returned Date | Due Date | Distributed Date | |
|--------------|---|------|-----------------------|------|--------|------------------------------|----------------|-----------|----------|---------------|---------------|--|-----------|----------|-----------|---------------|----------|------------------|--|
| | 1 | 0 | IRRIGATION COMPONENTS | | Open | Burkhardt Construction, Inc. | | | | | | Marc Kleisley (Burkhardt Construction, Inc.) | | | | | | | |