

WELLINGTON,
FLORIDA

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WATER TREATMENT PLANT
FILTER ROOF

VILLAGE COUNCIL

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MAYOR

JOHN GREENE
VICE MAYOR

MATT WILLHITE
COUNCILMAN

HOWARD K. COATES, JR.
COUNCILMAN

ANNE GERWIG
COUNCILWOMAN

PROJECT
LOCATION

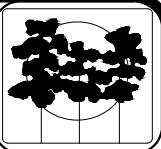


REPRODUCTION:
ATTENTION IS DIRECTED TO THE FACT THAT THESE PLANS
MAY HAVE BEEN REDUCED IN SIZE BY REPRODUCTION. THIS
MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT THE ATTACHED PLANS AND DESIGN ARE
IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN STANDARDS AND
CRITERIA IN EFFECT ON THIS DATE FOR THE WELLINGTON
ENGINEERING DEPARTMENT.

DATE: _____



DATE MAY, 2014	DRAWN BY JH
DESIGNED BY JH	CHECKED BY

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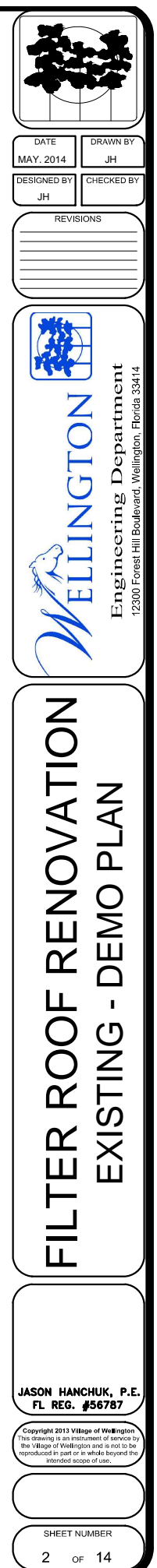


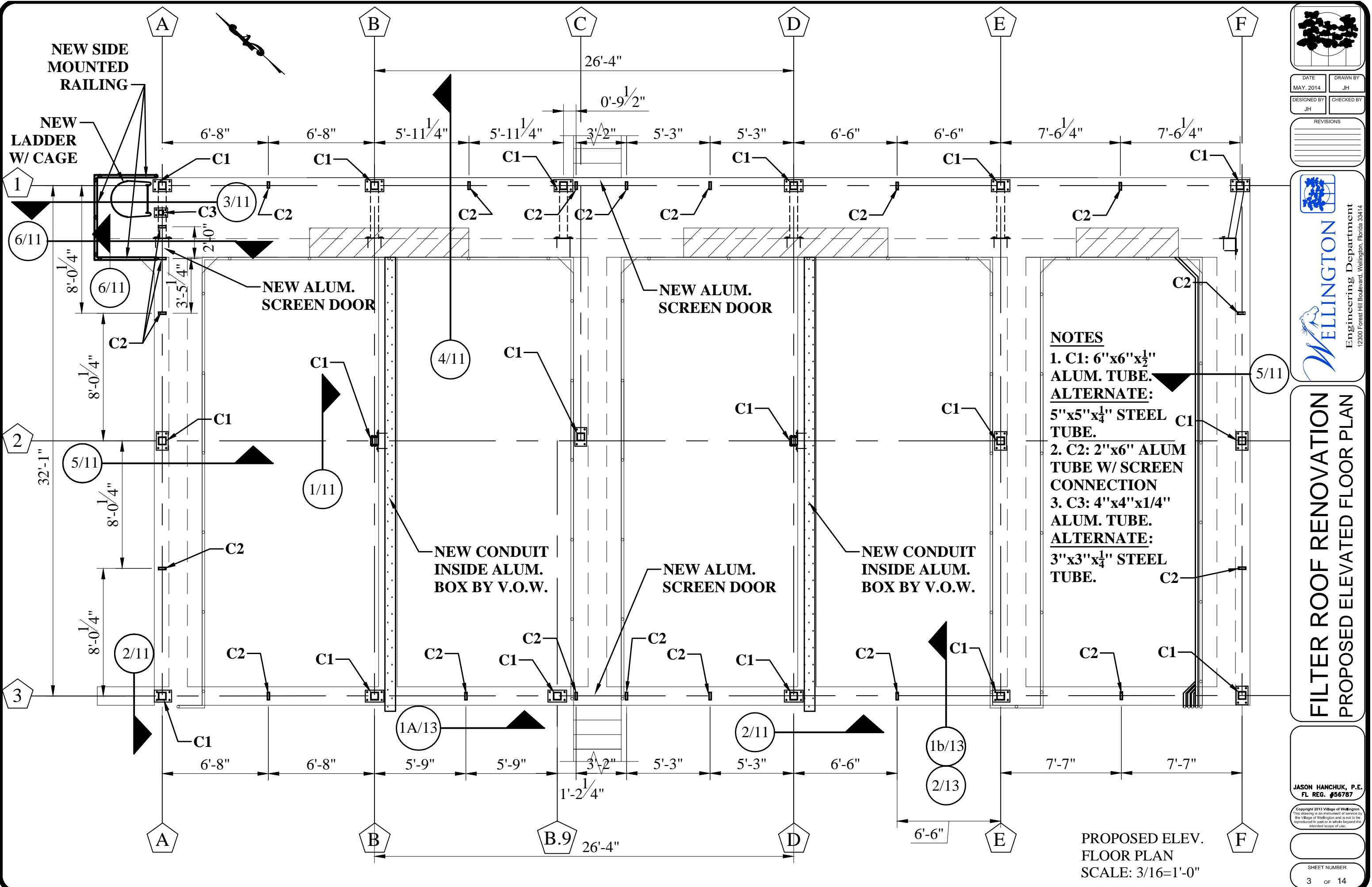
FILTER ROOF RENOVATION
COVER SHEET

JASON HANCHUK, P.E.
FL REG. #56787

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SHEET NUMBER
1 OF 14







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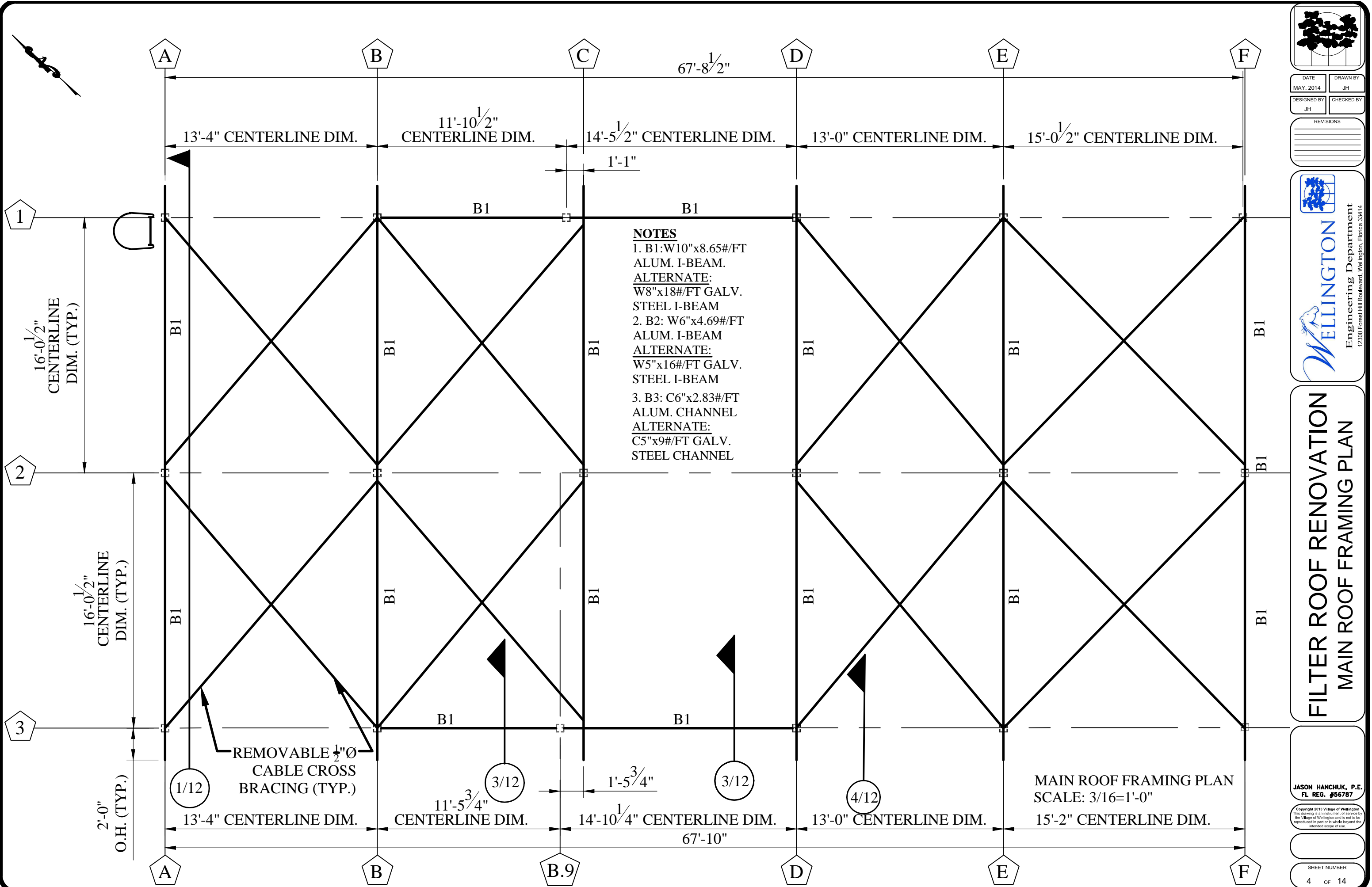
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Engineering Department
12300 Forest Hill Boulevard, Wellington, Florida 33414

FILTER ROOF RENOVATION
PROPOSED ELEVATED FLOOR PLAN

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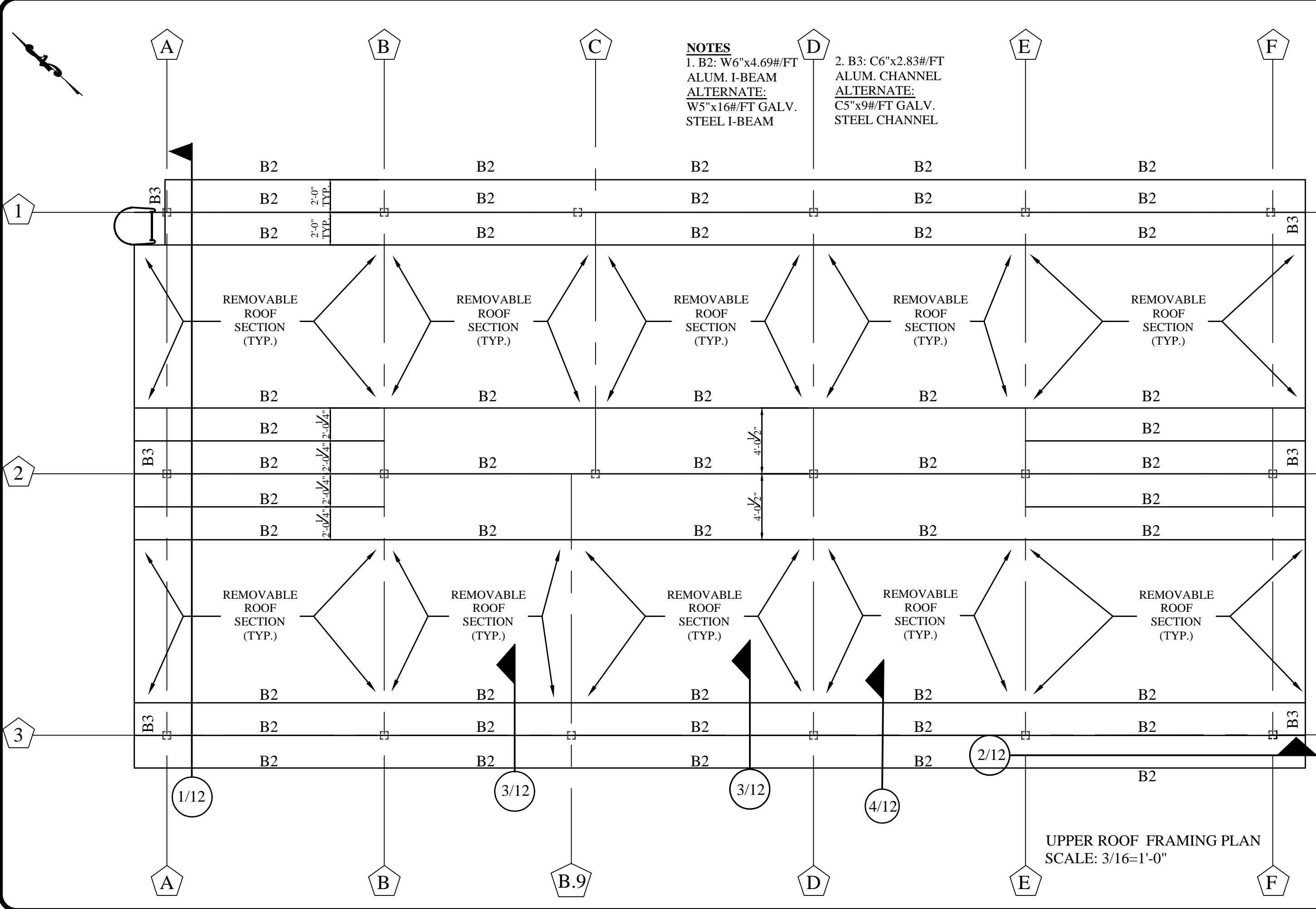
FILTER ROOF RENOVATION
MAIN ROOF FRAMING PLAN

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NOTES
1. B2: W6"x4.69#/FT ALUM. I-BEAM
ALTERNATE:
W5"x16#/FT GALV. STEEL I-BEAM
2. B3: C6"x2.83#/FT ALUM. CHANNEL
ALTERNATE:
C5"x9#/FT GALV. STEEL CHANNEL



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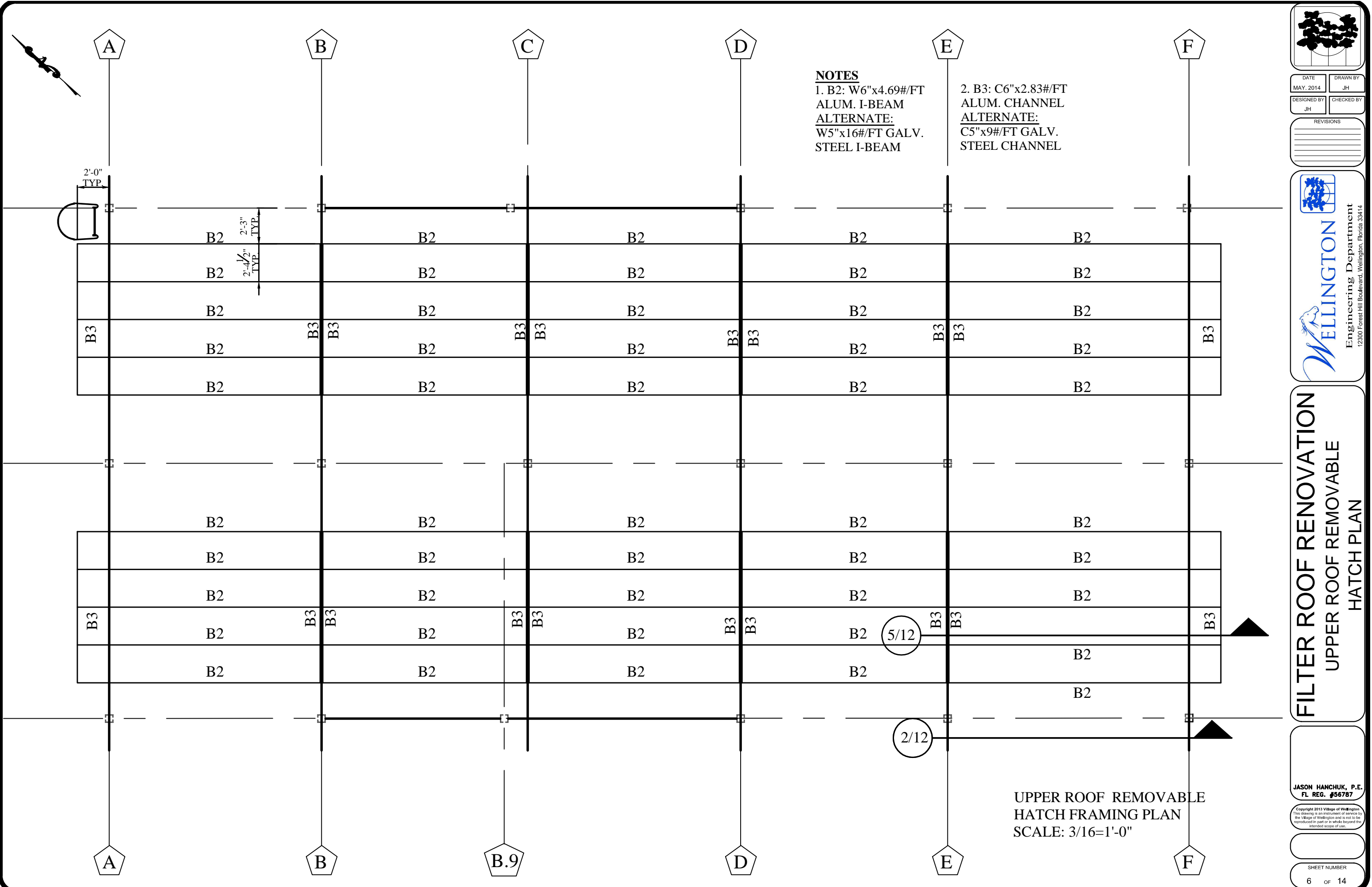
**FILTER ROOF RENOVATION
UPPER ROOF FRAMING PLAN**

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UPPER ROOF FRAMING PLAN
SCALE: 3/16=1'-0"



NOTES

1. B2: W6"x4.69#/FT
ALUM. I-BEAM
ALTERNATE:
W5"x16#/FT GALV.
STEEL I-BEAM

2. B3: C6"x2.83#/FT
ALUM. CHANNEL
ALTERNATE:
C5"x9#/FT GALV.
STEEL CHANNEL



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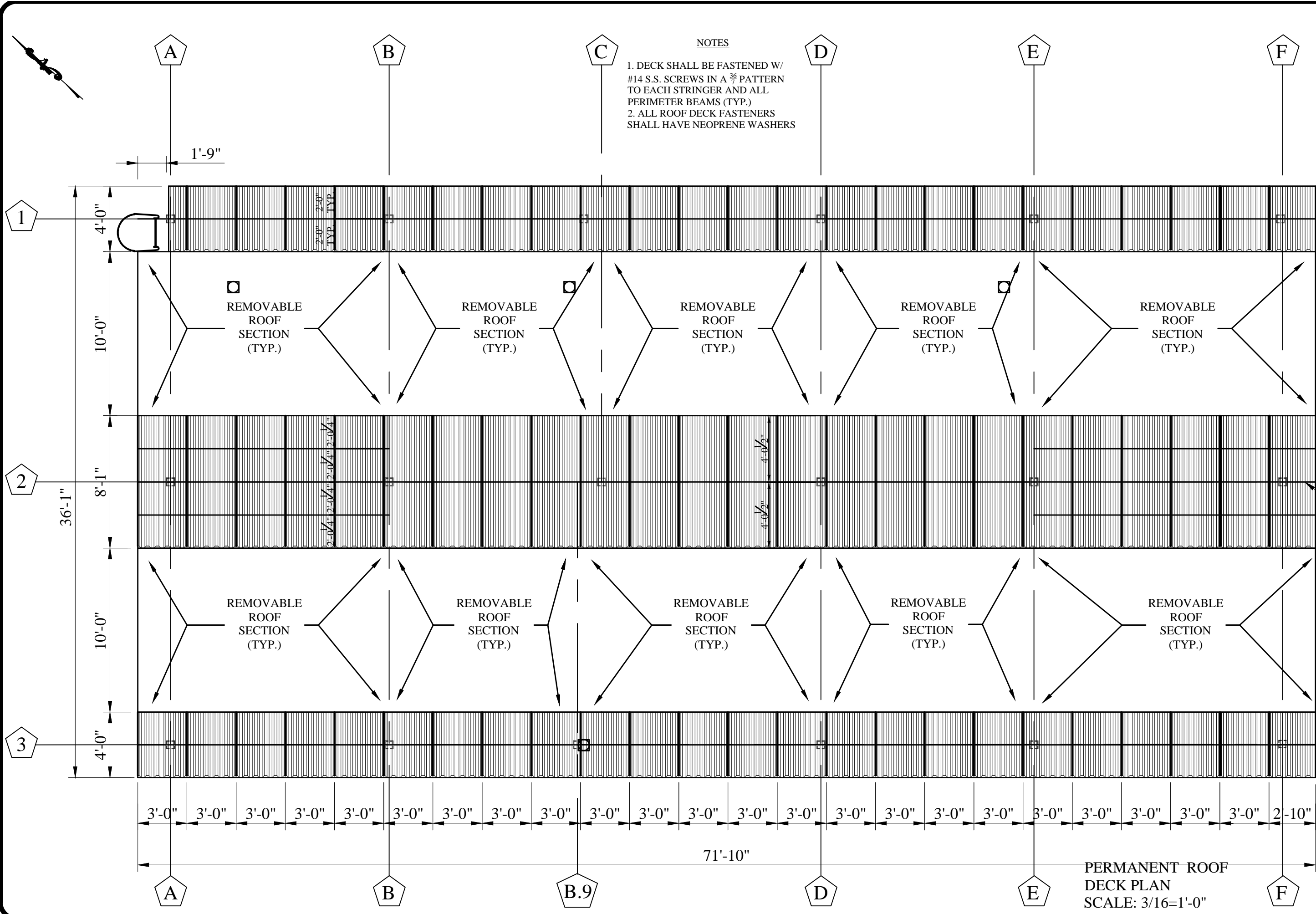
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FILTER ROOF RENOVATION
UPPER ROOF REMOVABLE
HATCH PLAN

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6 OF 14



NOTES

1. DECK SHALL BE FASTENED W/
#14 S.S. SCREWS IN A $\frac{36}{36}$ PATTERN
TO EACH STRINGER AND ALL
PERIMETER BEAMS (TYP.)

2. ALL ROOF DECK FASTENERS
SHALL HAVE NEOPRENE WASHERS



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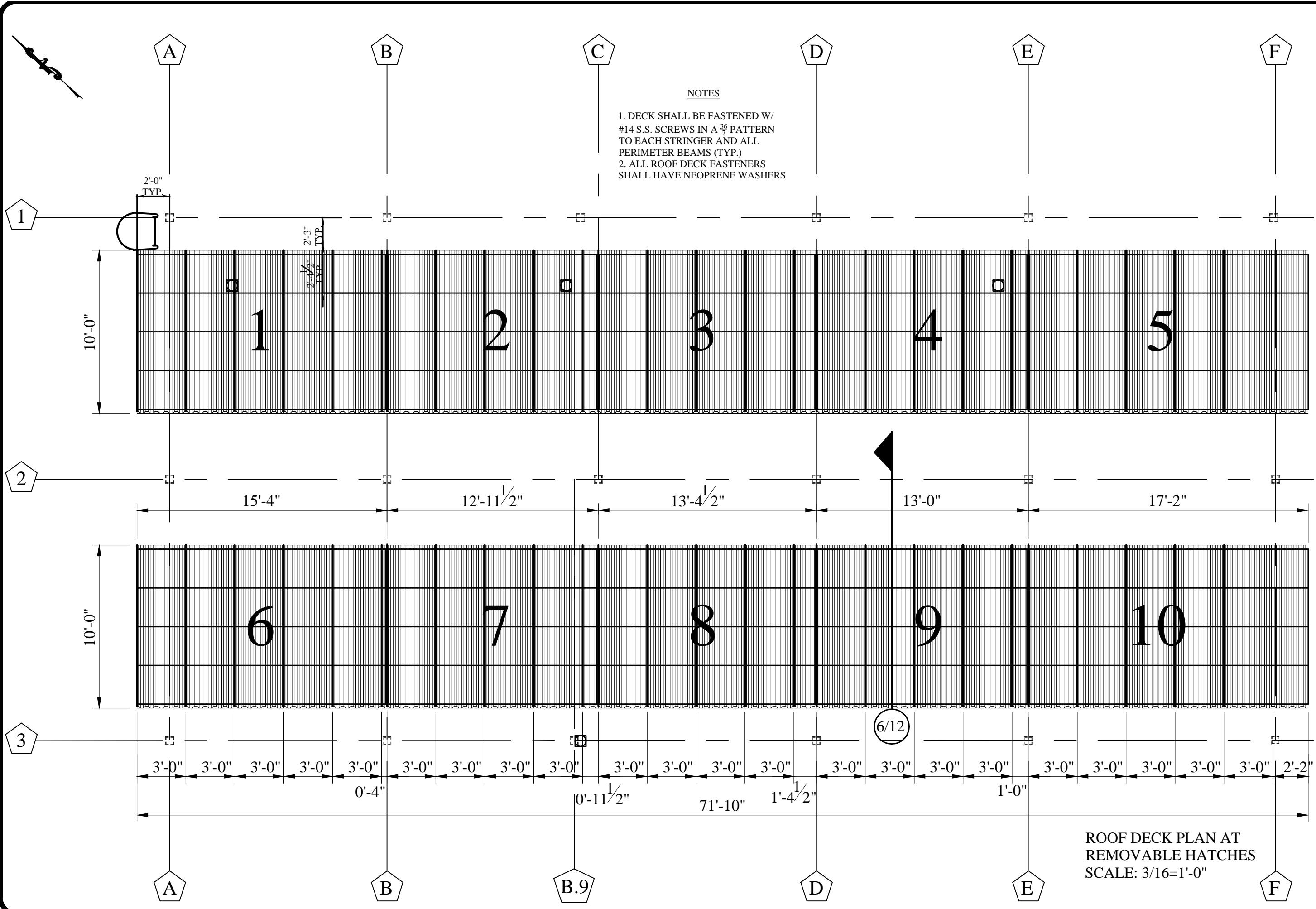
FILTER ROOF RENOVATION
PERMANENT ROOF DECK PLAN

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PERMANENT ROOF
DECK PLAN
SCALE: 3/16"=1'-0"





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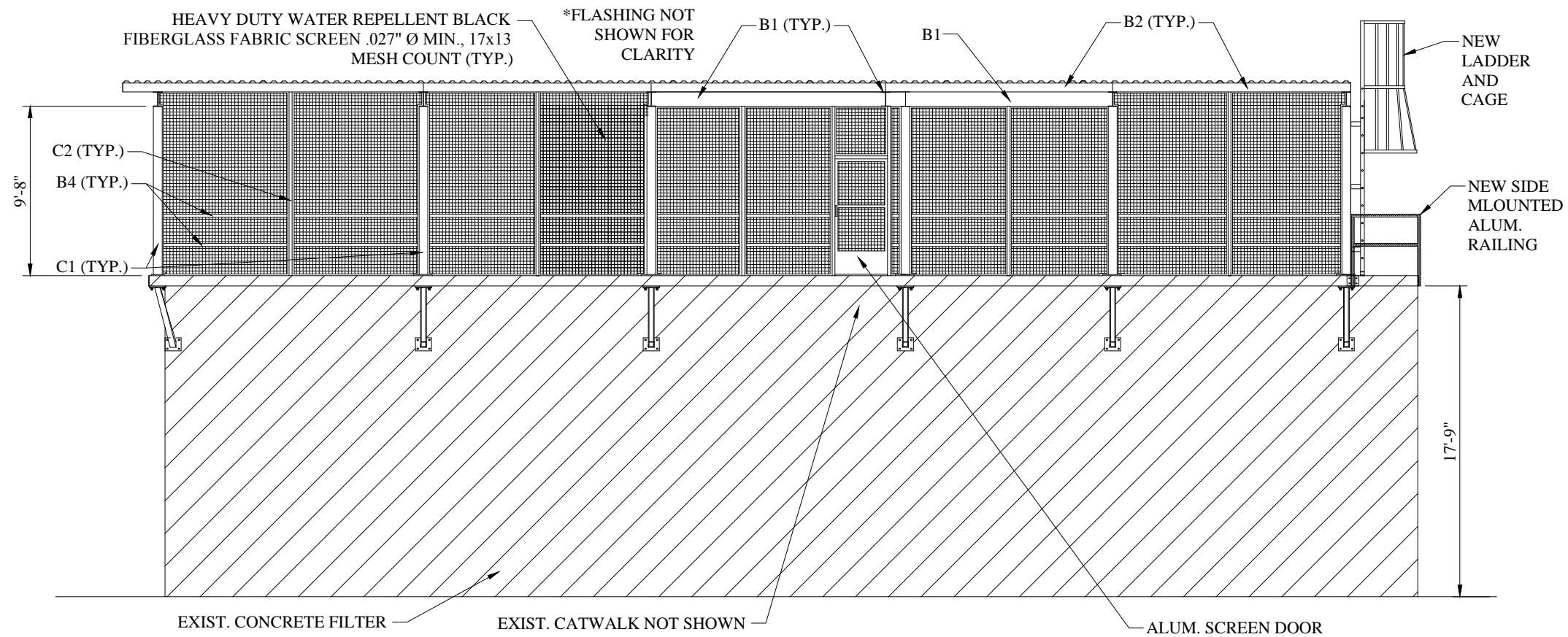
**FILTER ROOF RENOVATION
PROPOSED DECK HATCH PLAN**

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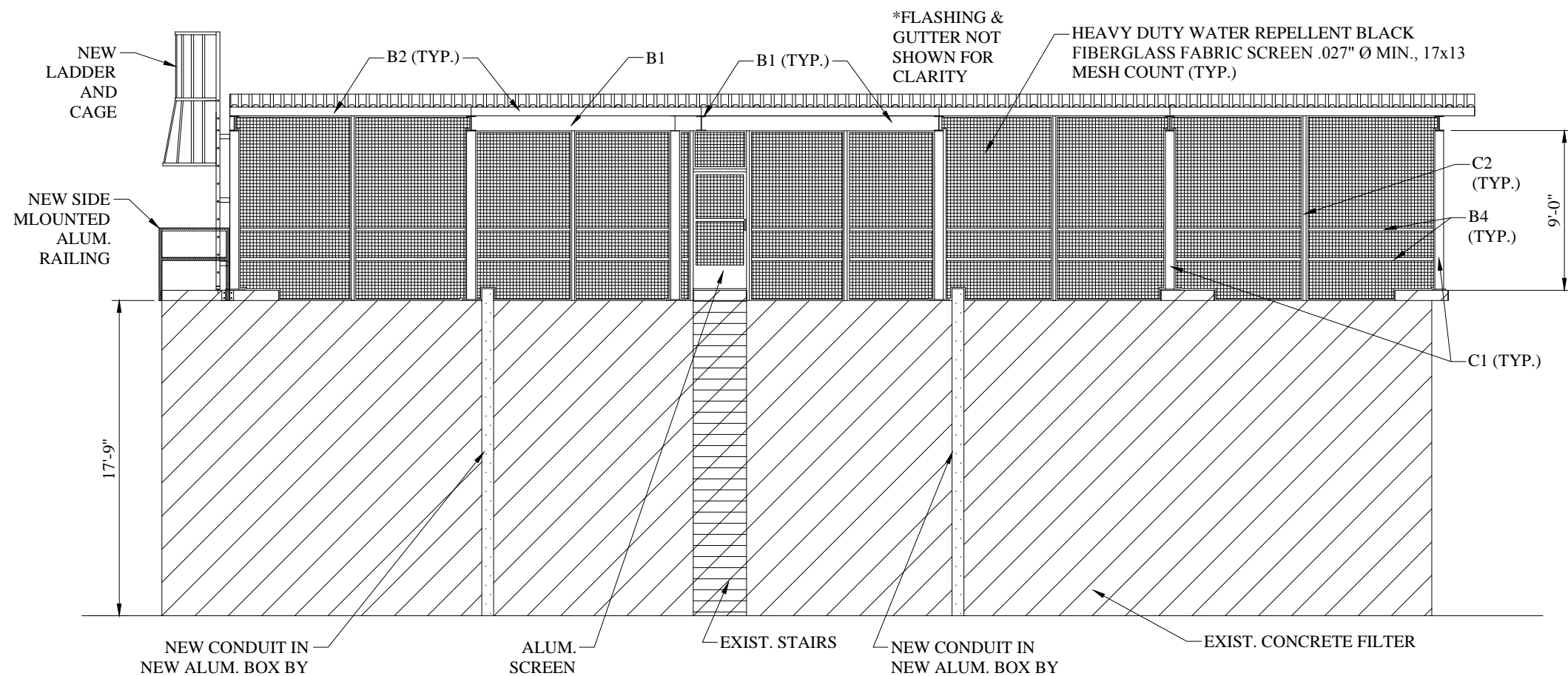
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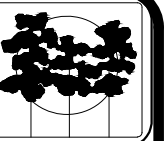
ROOF DECK PLAN AT
REMOVABLE HATCHES
SCALE: 3/16=1'-0"



NORTH ELEVATION - SCALE: 1/8=1'-0"



SOUTH ELEVATION - SCALE: 1/8=1'-0"



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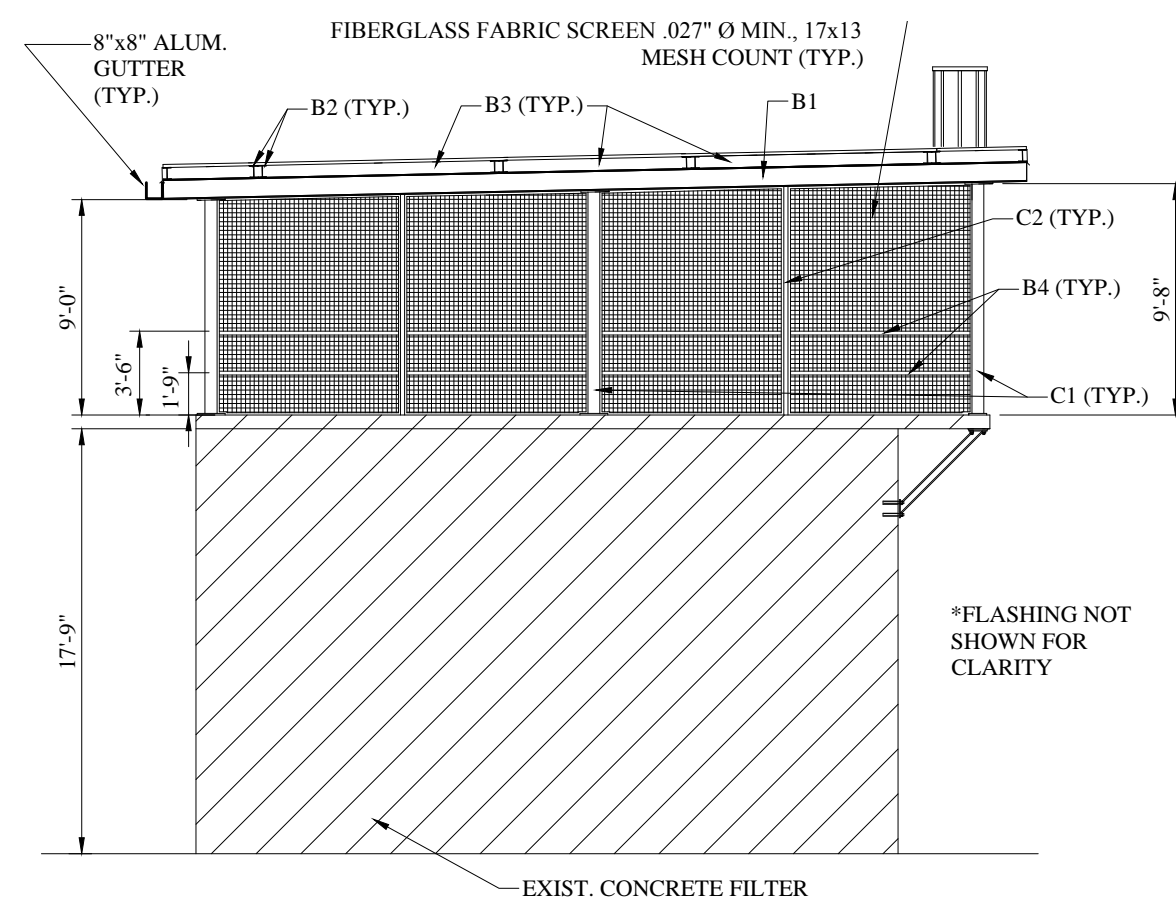


FILTER ROOF RENOVATION ELEVATIONS

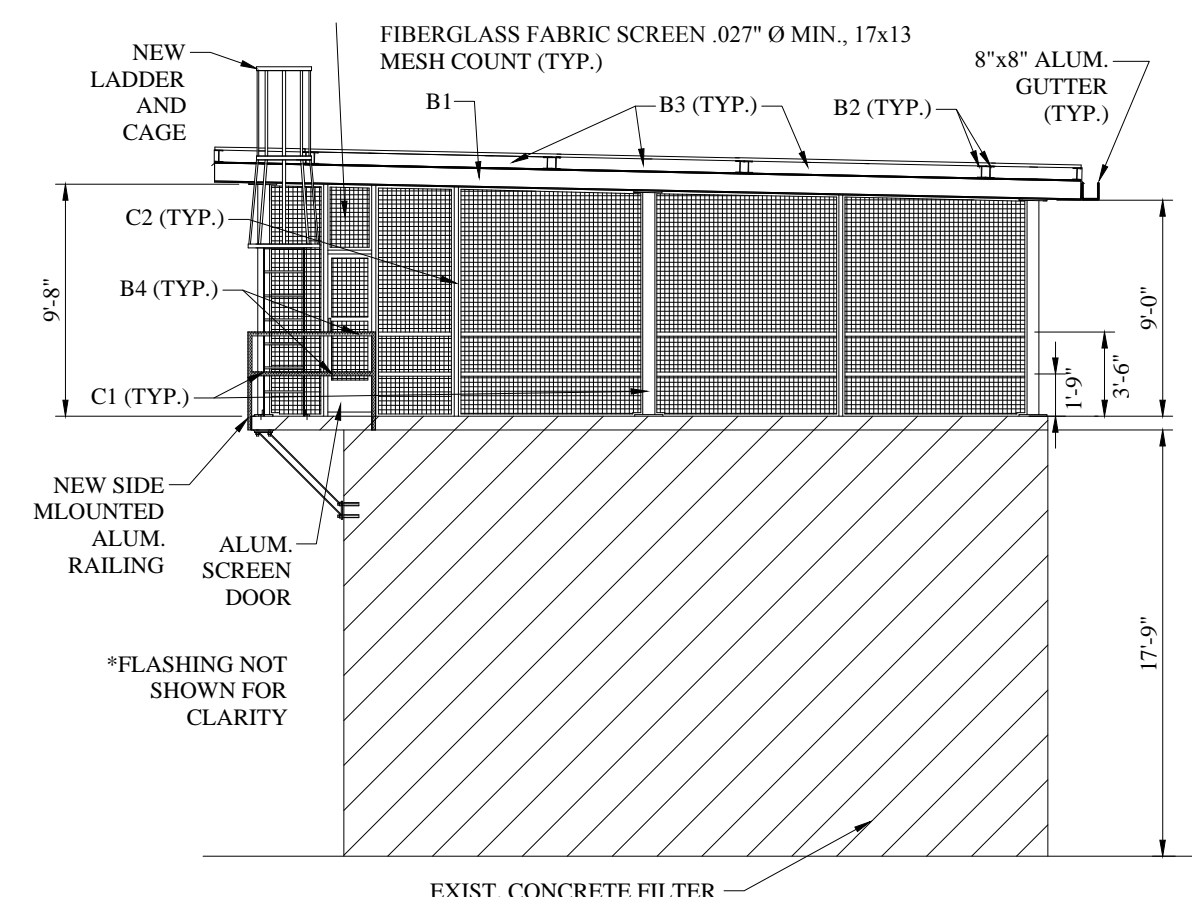
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EAST ELEVATION - SCALE: 1/8=1'-0"



WEST ELEVATION - SCALE: 1/8=1'-0"

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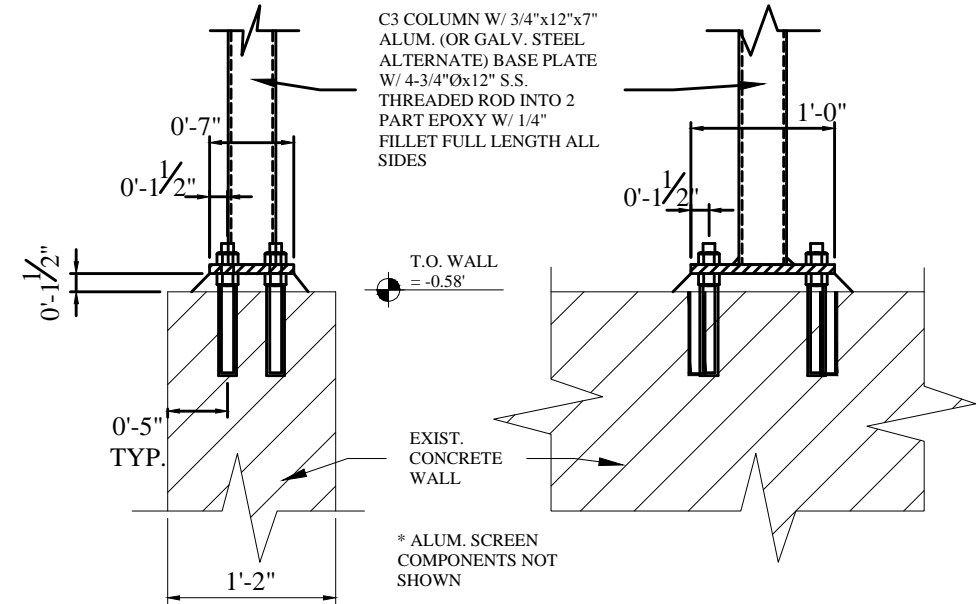
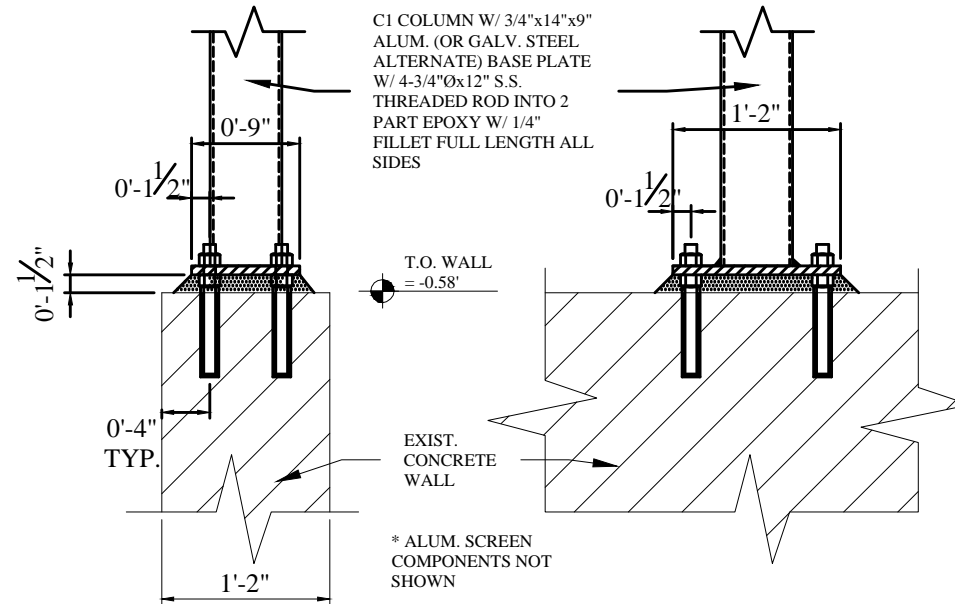
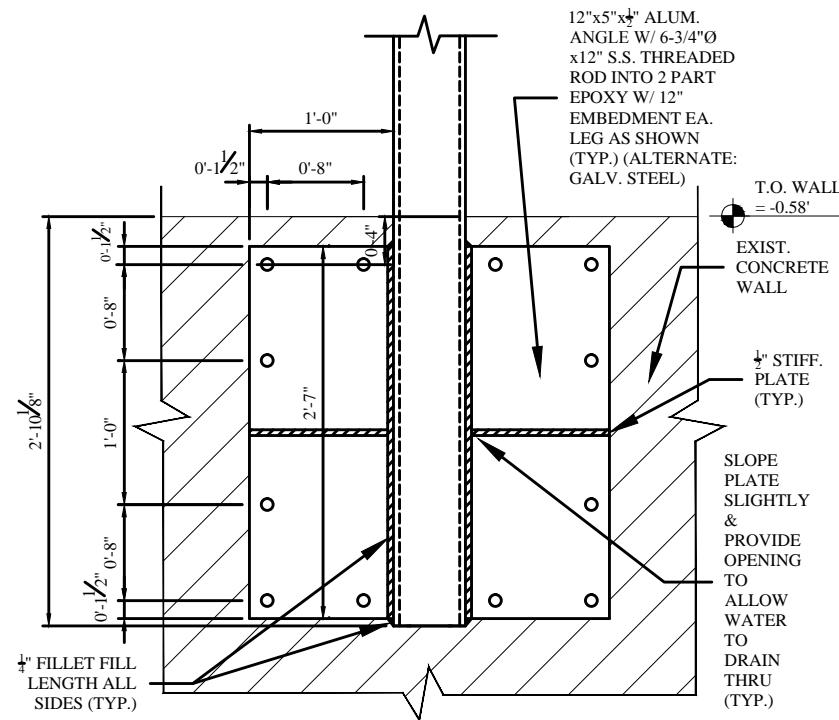
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**FILTER ROOF RENOVATION
ELEVATIONS**

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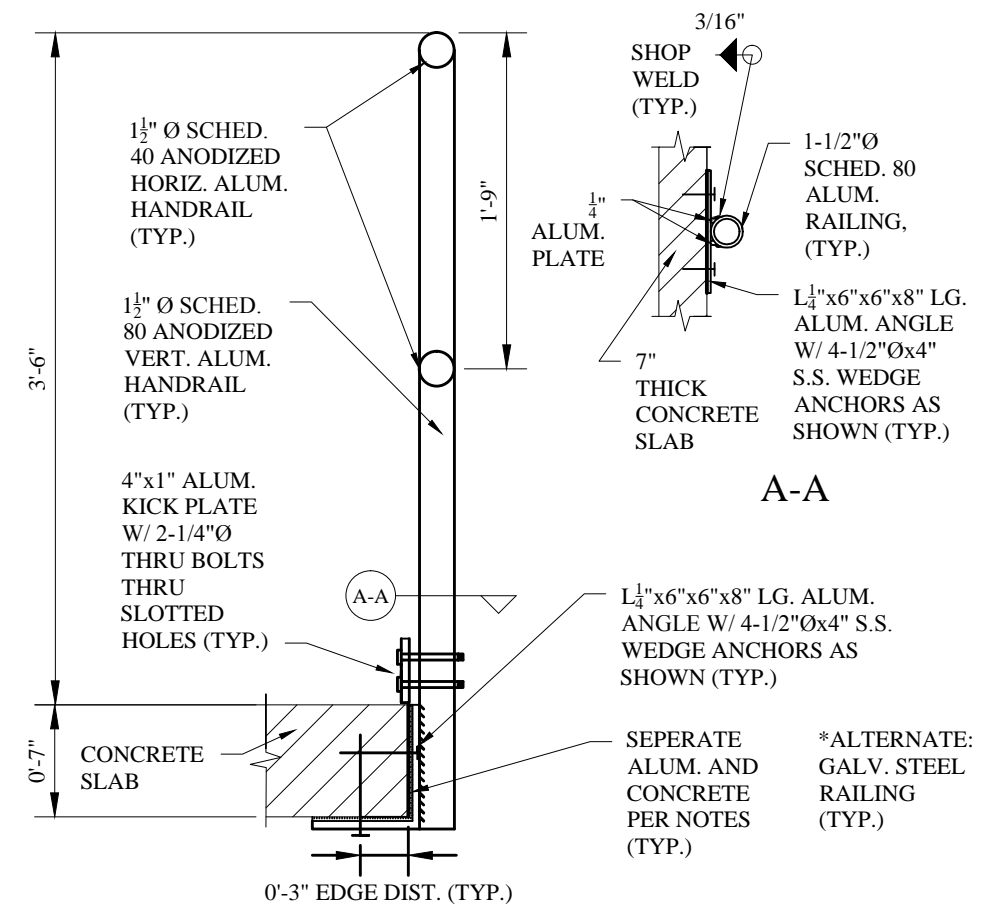
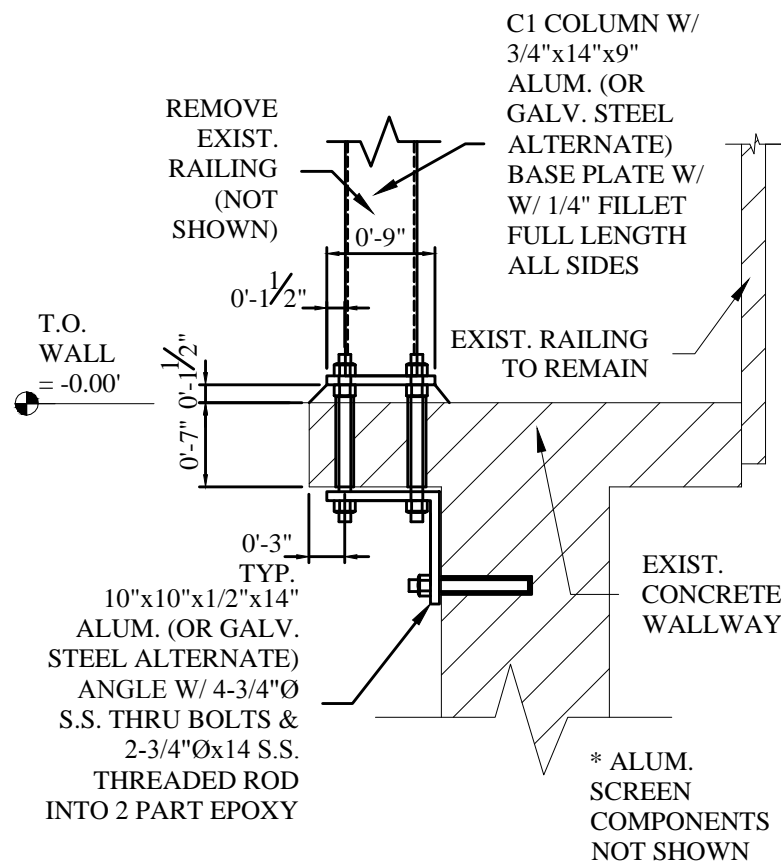
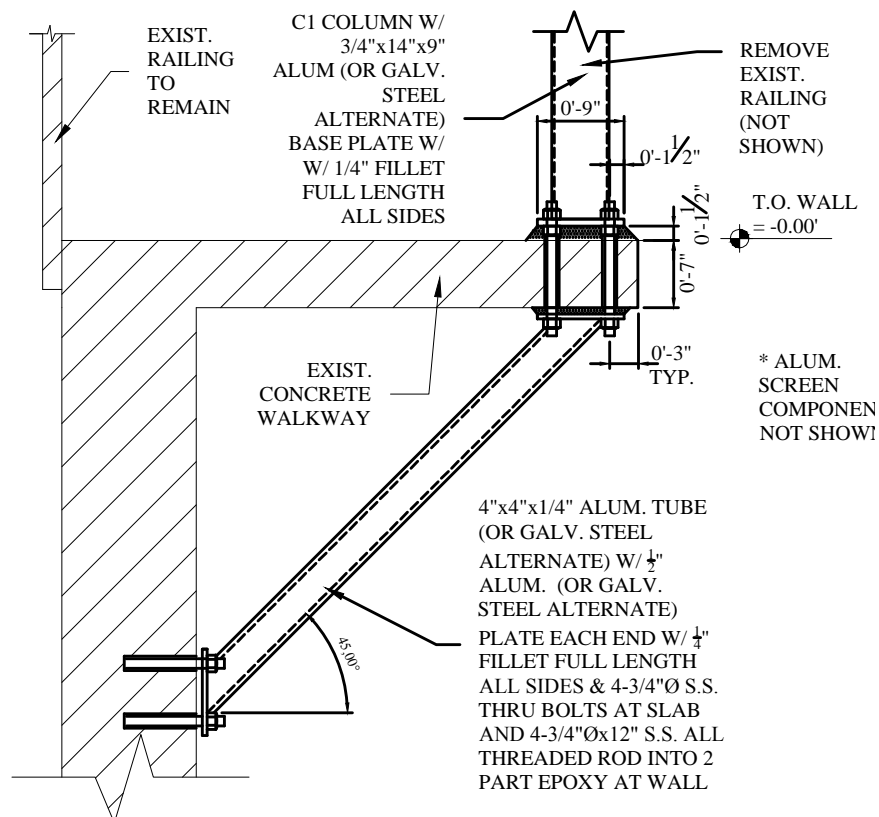
SHEET NUMBER
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1/11: TYP. COLUMN CONNECTION TO SIDE OF WALL DETAIL

2/11: TYP. C1 COLUMN CONN. TO TOP OF WALL DETAIL

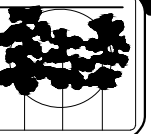
3/11: TYP. C3 COLUMN CONN. TO TOP OF WALL DETAIL



4/11: TYP. COLUMN CONN. TO TOP OF SLAB AT NORTH END

5/11: COLUMN CONN. TO SIDE WALKWAY SLAB DETAIL

6/11: TYP. RAILING & RAILING CONNECTION DETAIL



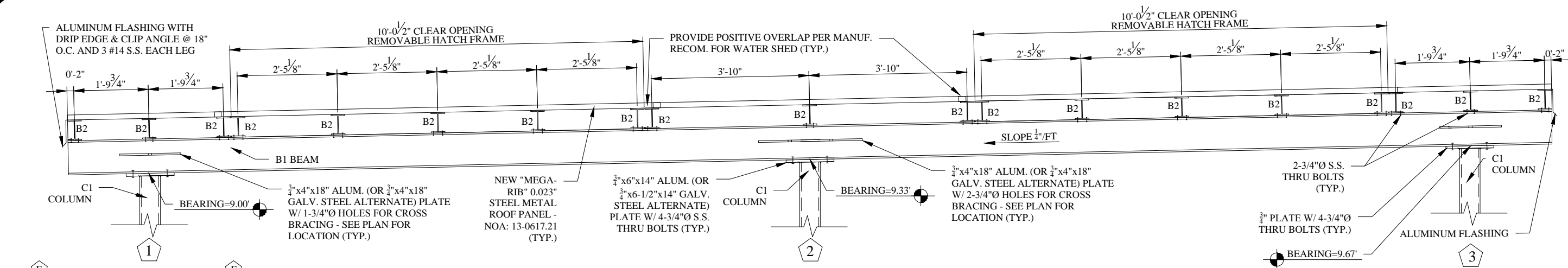
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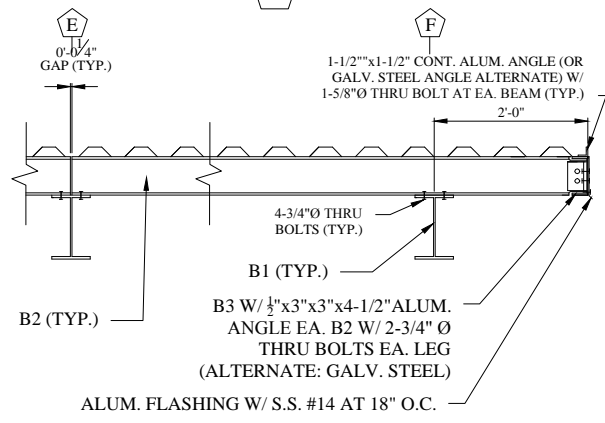


FILTER ROOF RENOVATION DETAILS

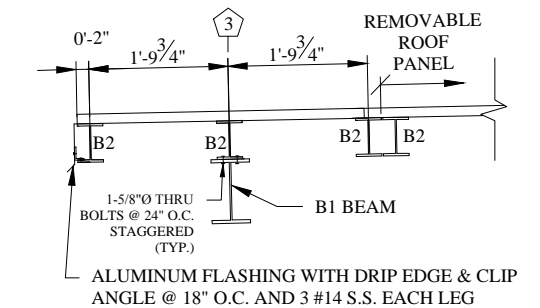
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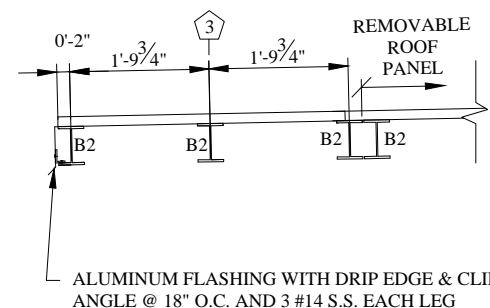
1/12: TYP. SECTION THRU MAIN ROOF FRAMING - Scale:1:30



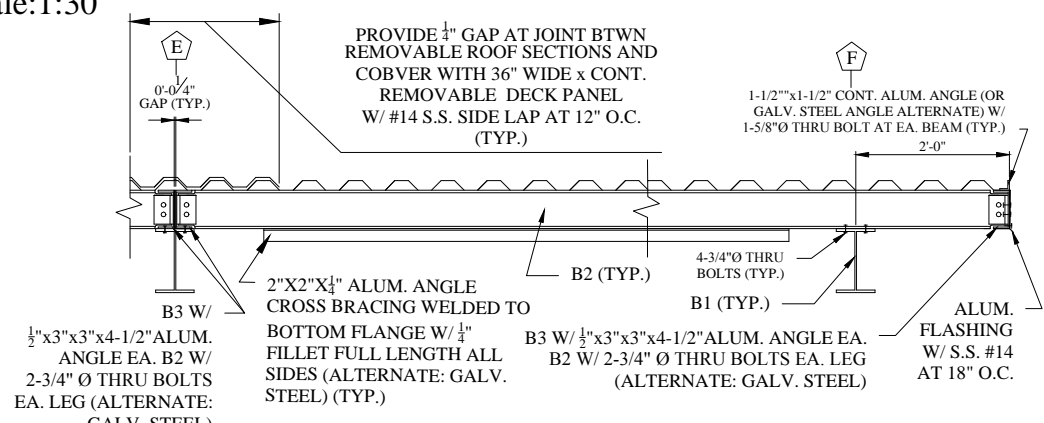
2/12: TYP. SECTION THRU ROOF AT S.E. END - Scale:1:30



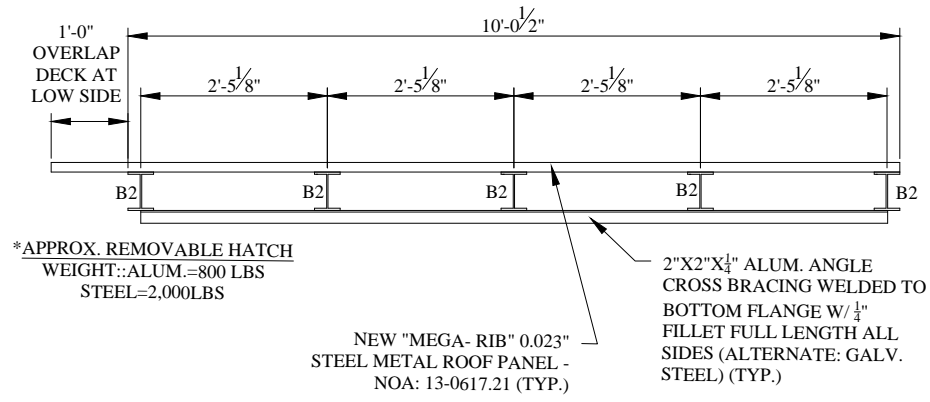
3/12: TYP. SECTION THRU ROOF ABOVE SOUTH STAIRS - Scale:1:30



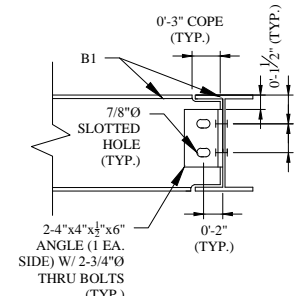
4/12: TYP. SECTION THRU ROOF BEYOND SOUTH STAIRS - Scale:1:30



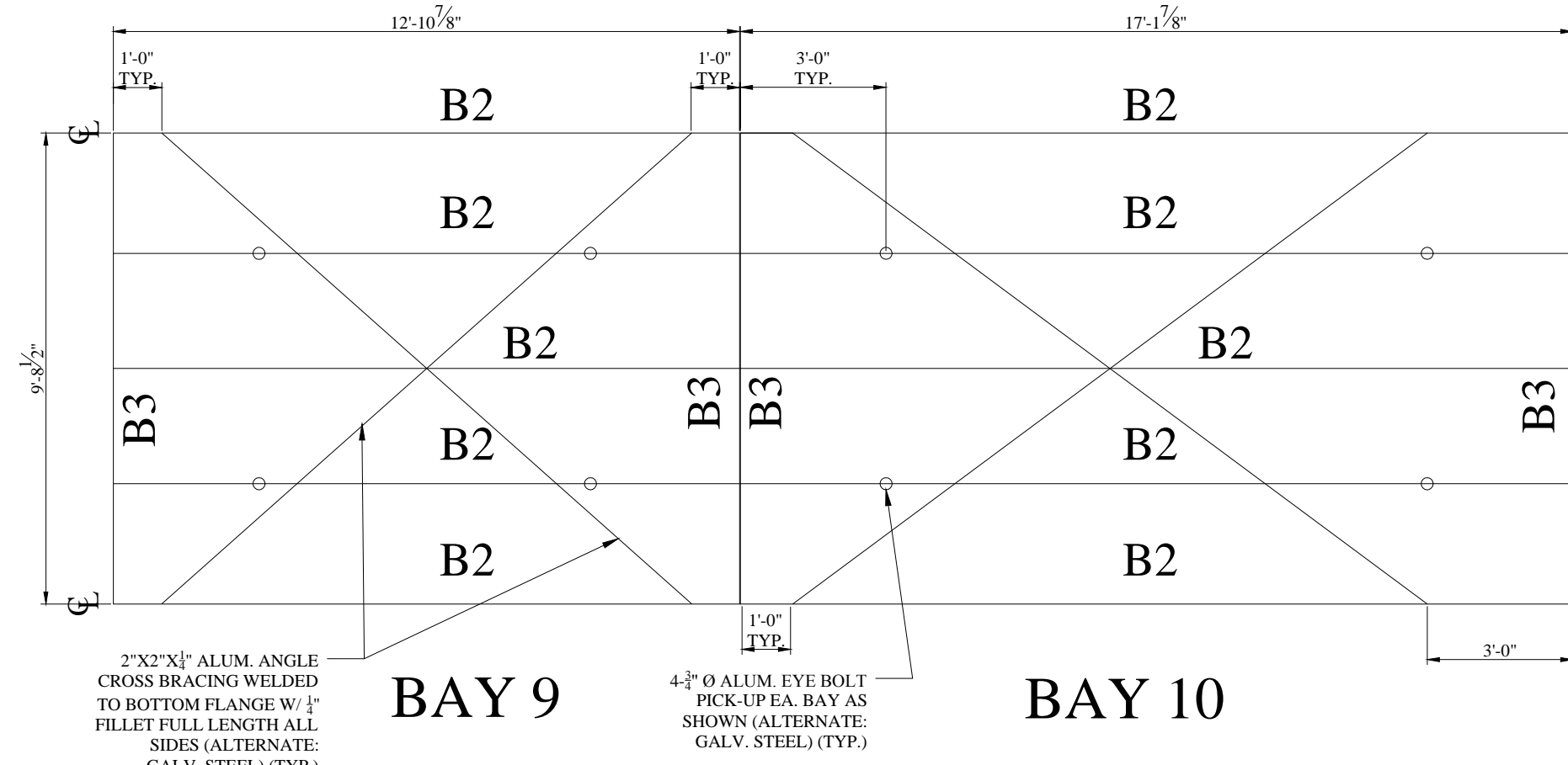
5/12: TYP. SECTION THRU REMOVABLE ROOF HATCH - Scale:1:30



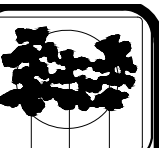
6/12: TYP. SECTION THRU REMOVABLE ROOF HATCH - Scale:1:30



7/12: TYP. BEAM TO BEAM CONNECTION - Scale:1:20



8/12: TYP. REMOVABLE ROOF HATCH PLAN - Scale:1:40



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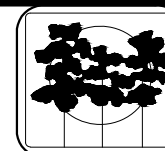
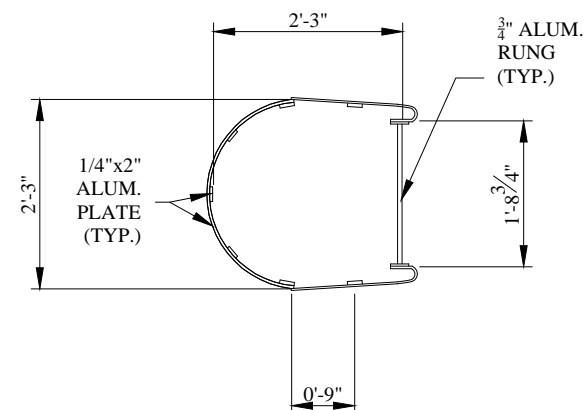
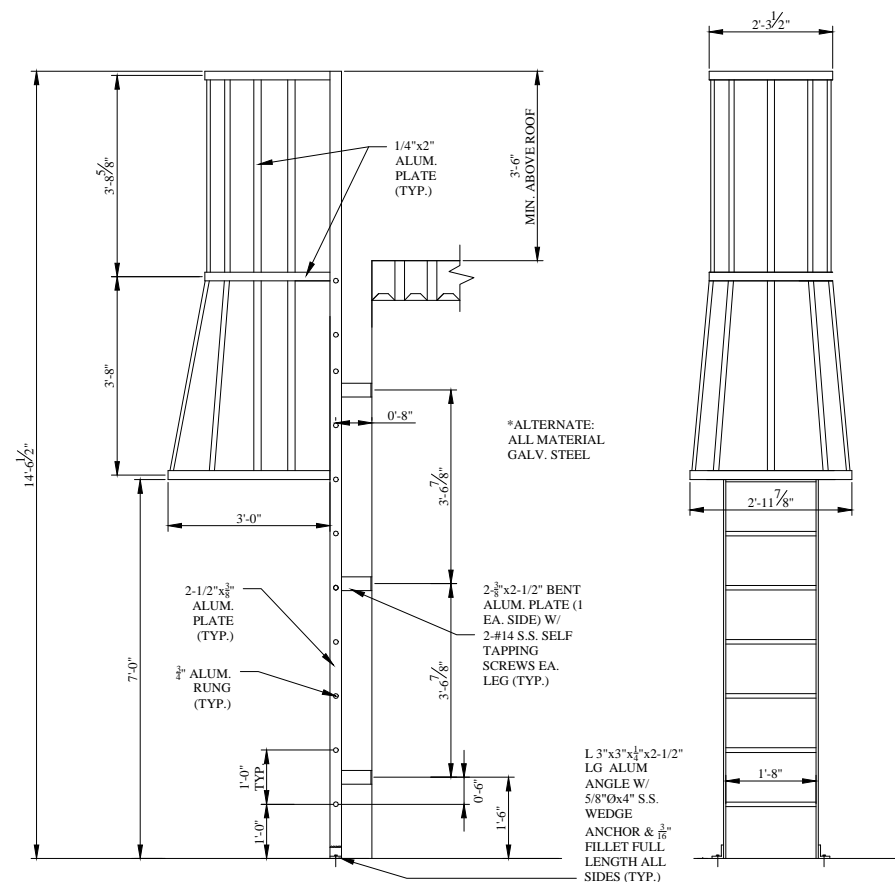
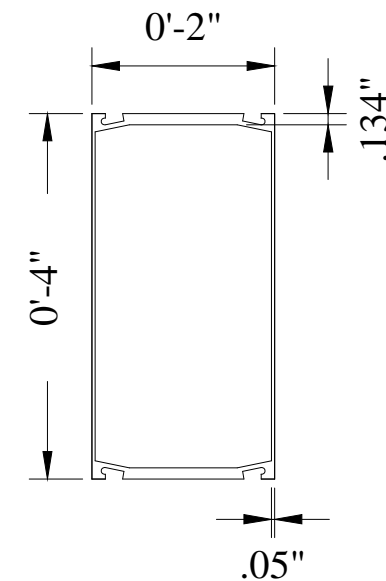
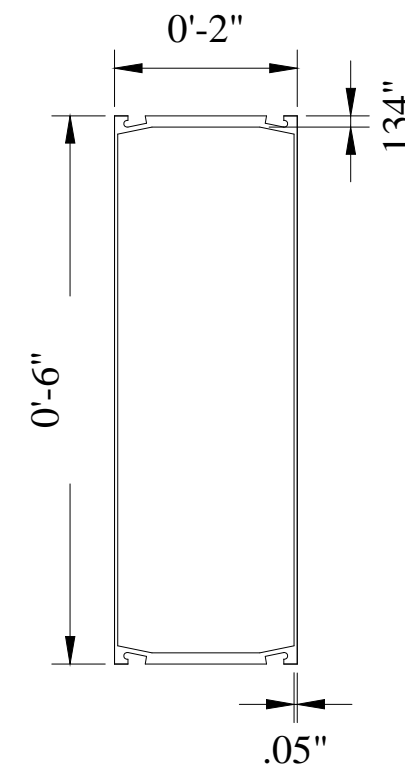
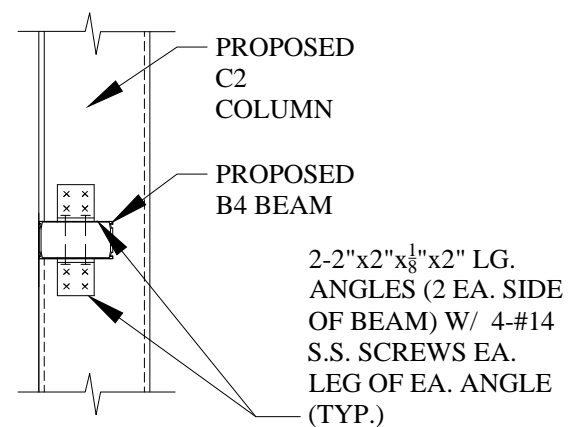
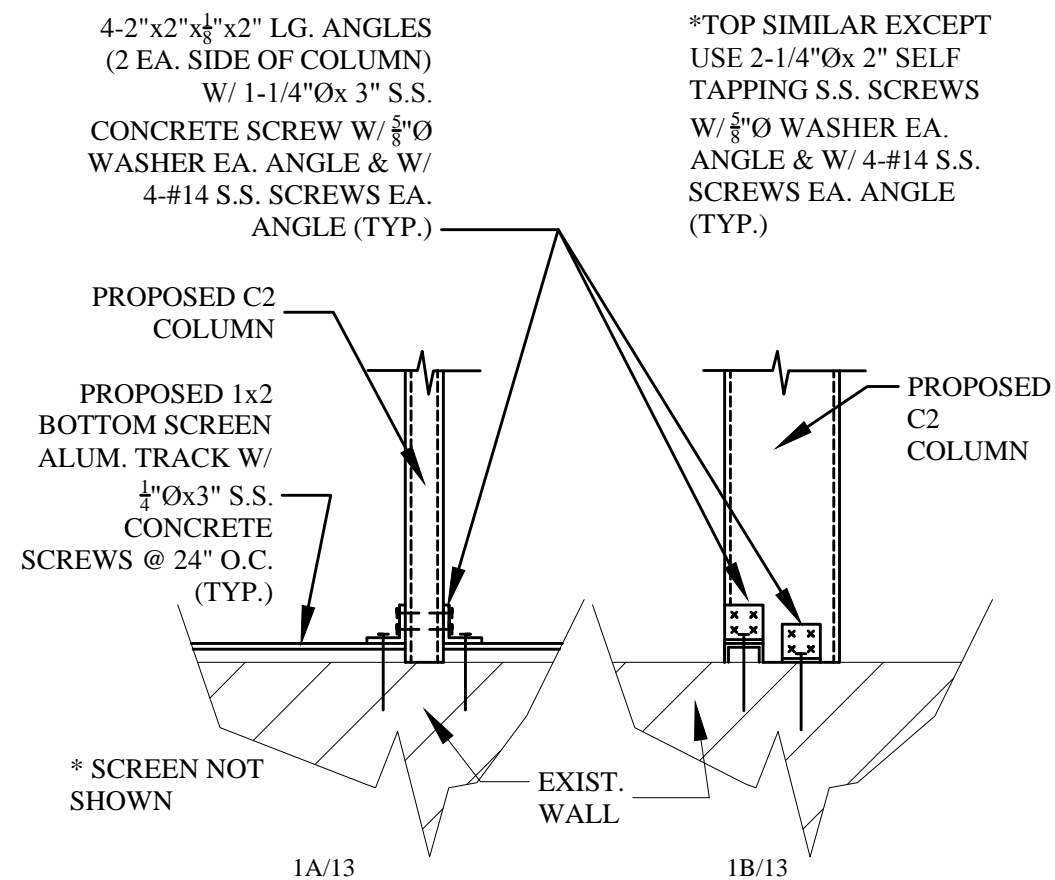


**FILTER ROOF RENOVATION
DETAILS**

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FILTER ROOF RENOVATION DETAILS

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NOTES

- 1. All design and construction in accordance with the 2010 Florida Building Code.
- 2. ASCE 7-10, Risk Category IV, Ultimate Design Wind Speed: 170 mph (3 second gust), Exposure C, Internal Coefficient: Enclosed (Internal Pressure Coefficient = 0).
- 3. Contractor shall submit a Notice of Acceptance (N.O.A.) for the proposed roofing system to the Building Department for review and approval. Said N.O.A. shall meet the following service wind pressures: Interior: +14, -48 psf, 5' End Zone: +14, -87 psf, and 5'x5' Corner Zone +14, -135 psf.
- 4. Roof: LL=30 psf, DLs=10 psf.
- 5. Contractor shall take the necessary actions to protect the property. Contractor shall repair or replace property damaged by the contractor at its own expense.
- 6. Contractor shall keep work site free of debris and construction waste daily.
- 7. Structural steel shall be Grade 40 unless otherwise noted.
- 8. All welds shall be in accordance with American Welding Society (A.W.S.) Section D1.1. The flux shall be free of contamination from dirt, mill scale and foreign material. The chemical and mechanical properties of all deposited weld metal shall be compatible to the base metal and conform to AWS specifications for electrodes. The parent structural steel shall be a weldable grade with the chemical and mechanical properties to produce a sound and serviceable welded joint. If Alternate is chosen: for ASTM A36 steel, use E70 electrodes for shielded metal arc welding, F7 series electrodes for submerged arc and E70T series electrodes for flux cored arc welding. Galvanized steel after fabrication, if applicable, shall conform to ASTM A123 and ASTM A153.
- 9. All aluminum shall be grade 6061-T6 per the current Construction Manual of Aluminum Association.
- 10. If Alternate is chosen, all exposed steel shall be galvanized per ASTM A123 and ASTM A153.
- 11. Roofing steel deck shall be galvanized and have a yield strength of $F_y=50$ ksi.
- 12. Bolts shall be SS 316 per ASTM A167 and A276.
- 13. If Alternate 2 is chosen. nuts, bolts and washers shall be A325 and shall be hot-dip galvanized to conform to ASTM A153 or mechanically galvanized to conform to ASTM B695.

- 14. All other fasteners shall be SS316 stainless steel.
- 15. All aluminum in contact with concrete or dissimilar metals in contact with one another shall be separated by 2 coats of an epoxy Mastic coating or 30# felt.
- 16. Contractor shall submit metal erection shop drawings signed and sealed by an Engineer from the State of Florida for review and approval.
- 17. Contractor shall paint all steel components as follows:
 - a. Hand tool clean steel surface to SSPC-SP 2 and per manufacturer's recommendations.
 - b. Primer material properties - (1) coat of Sherwin Williams Macropoxy 920 Rust Penetrating Epoxy Pre-Primer at 1.5-2.0 mils MDFT.
 - c. Intermediate paint material properties - (1) coat Sherwin Williams Macropoxy 646 Fast Cure Epoxy at 3.0-10.0 mil MDFT.
 - d. Final paint material properties - (1) coat Sherwin Williams Hi-Solids Polyurethane at 3.0-5.0 mil MDFT.
 - e. Color: By the Village.
- 18. Contractor shall verify all dimensions prior to construction. Contractor shall report all irregularities or discrepancies to the Engineer prior to proceeding with the work.
- 19. Contractor shall provide proof of liability insurance and verify approval with the Owner.
- 20. The Contractor is responsible for all Means and Methods, & coordination of all trades with the Owner. Contractor is responsible for adequate bracing for all bracing, bridging, and shoring of structural and non-structural components during construction.
- 21. The Contractor shall provide a written guarantee that warrants all workmanship for a period of one (1) year from date of final acceptance. Any work performed during the first year shall be performed at no cost to the Owner.
- 22. Two part epoxy shall be: Hilti HY-150 or approved equal.
- 23. Foundations are designed for a minimum soil bearing value of 2,000 psf.
- 24. Roofing contractor is responsible for all flashing details and ensure that a water tight condition exists.
- 25. Two (2) filter bays shall remain operational at all times. Contractor shall coordinate as necessary with the Village. The Village will remove and replace all existing electrical conduit.



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Engineering Department
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FILTER ROOF RENOVATION
NOTES

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