



August 20, 2024

Village of Wellington
14001 Pierson Road,
Wellington, FL 33414
Attn: Marco Roselli
mroselli@wellingtonfl.gov

RE: Village of Wellington – Pump Station #8
14900 Pierson Road,
Wellington, FL 33414
Roof Condition Survey

ACRC #: 24-0295

Dear Mr. Roselli,

Atlantic & Caribbean Roof Consulting, (ACRC), visited the above referenced project site on Wednesday, August 14, 2024. The purpose of this visit was to perform a visual site inspection.

This roof system is a Dimensional Shingle Roof installed over 30 pound Base Sheet with a Ply-Wood Substrate. The following report details the current roof condition including all observed deficiencies with recommendations.

ACRC appreciates this opportunity to be of service to you. Please feel free to contact our office with any questions or concerns you may have.

Respectfully Submitted,

Mike Stevens, RRO

MS/ds



ROOF SURVEY REPORT

ROOF SYSTEM INFORMATION

Roof System	This roof system is a Dimensional Shingle Roof installed over 30-pound Base Sheet with a Ply-Wood Substrate. This roof was observed to be in poor condition.
Drainage	The drainage on this roof is a Perimeter Drip Edge System and appears to be in good condition.
Membrane Flashing	N/A
Field Membrane	N/A
Metal Flashings	The Metal Flashing contains a 2" x 2" Metal Drip Edge Flashing.
Equipment	N/A

LEAK INFORMATION

Current Leaks	No current leak information at this time.
Leak History	No current leak history provided at this time.



OBSERVATIONS AND DEFICIENCIES	ITEMS REQUIRING IMMEDIATE ATTENTION
<ul style="list-style-type: none"> Exposed nail rusting out Wearing of Shingle Granular loss 	<ul style="list-style-type: none"> Rusty exposed nail needs to be sealed water may penetrate. Delamination of Shingle Granules

RECOMMENTATIONS / SUMMARY
<p>This roof is at the end-of-life expectancy roof should be replaced within the next year. Re-Roof</p>

BUDGET	
2024	2025
	Re-roof with metal \$14,000.00



ROOF PLAN

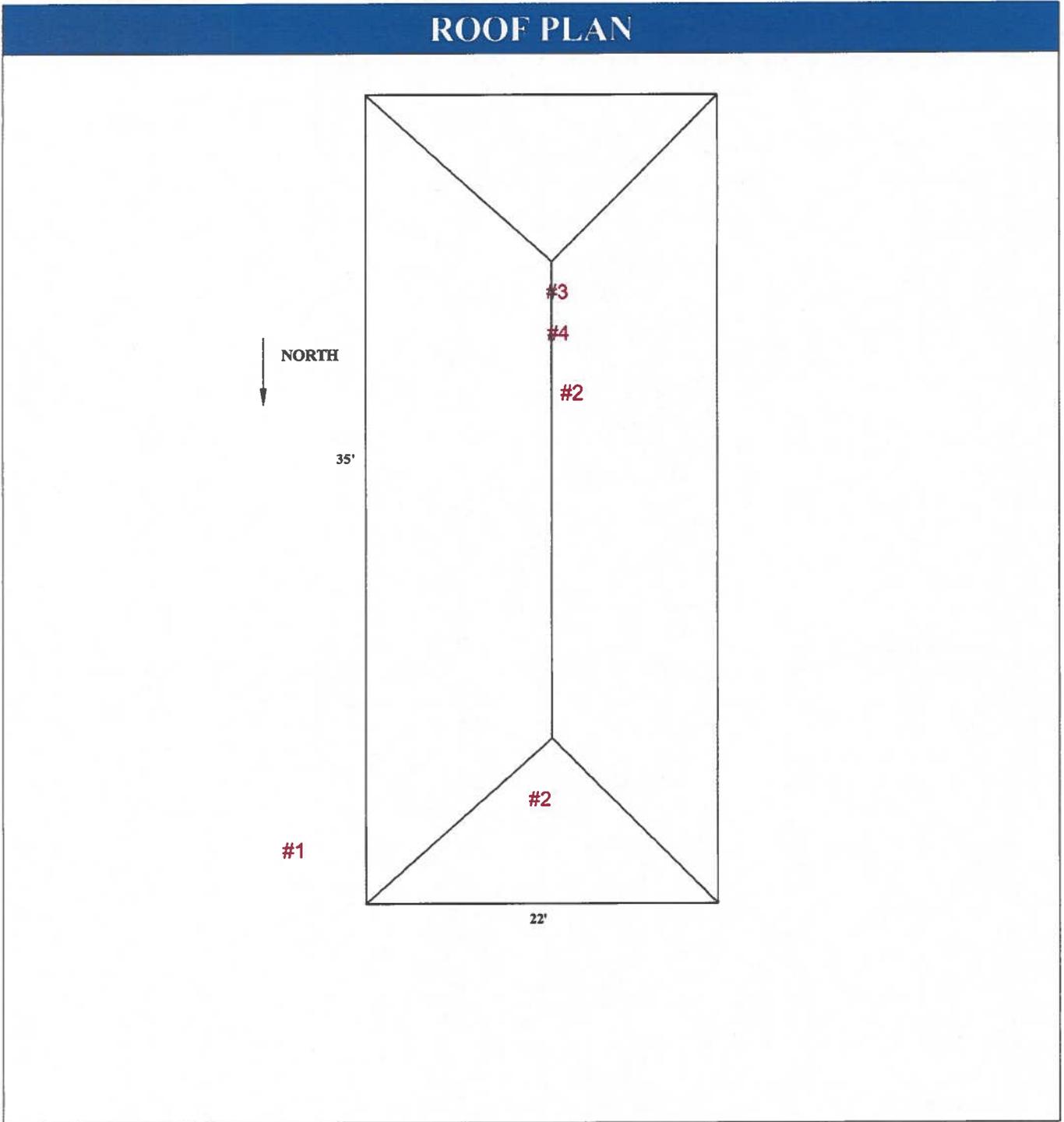




PHOTO LOG



PHOTO #1
Front of Pump Station #8



PHOTO #2
**Close Up of low nail
rusting out**



PHOTO #3
**Overview of weakened
Roof Shingles**



PHOTO #4
**Overview of weakened
Roof Shingles**



August 20, 2024

Village of Wellington
14001 Pierson Road,
Wellington, FL 33414
Attn: Marco Roselli
mroselli@wellingtonfl.gov

RE: Village of Wellington – Pump Station #6
11075 Acme Road,
Wellington, FL 33414
Roof Condition Survey

ACRC #: 24-0293

Dear Mr. Roselli,

Atlantic & Caribbean Roof Consulting, (ACRC), visited the above referenced project site on Wednesday, August 14, 2024. The purpose of this visit was to perform a visual site inspection.

This roof consists of a Dimensional Shingle Roof System installed over a 30# Base Sheet with a Ply-Wood Substrate. The following report details the current roof condition including all observed deficiencies with recommendations.

ACRC appreciates this opportunity to be of service to you. Please feel free to contact our office with any questions or concerns you may have.

Respectfully Submitted,

Mike Stevens, RRO

MS/ds



ROOF SURVEY REPORT

ROOF SYSTEM INFORMATION

Roof System	This roof is a Dimensional Shingle Roof System installed over a 30 # Base Sheet with a Ply-Wood Substrate. This roof appears to be in poor condition.
Drainage	The drainage on this roof is a Perimeter Drip Edge System. It appears to be in good shape.
Membrane Flashing	N/A
Field Membrane	The Field Membrane of this roof consists of Shingles. It appears to be in poor condition at the time of this survey.
Metal Flashings	The Metal Flashing consists of a 2" x 2" Drip Edge Metal.
Equipment	There is not any equipment on this roof

LEAK INFORMATION

Current Leaks	Unknown at the time of this survey.
Leak History	Unknown



OBSERVATIONS AND DEFICIENCIES	ITEMS REQUIRING IMMEDIATE ATTENTION
<ul style="list-style-type: none"> • Exposed rusting nail • Granular loss and deteriorating Shingle. “Severe” • Repair area at Ridge • Lightning protection Mechanical Fastener not sealed. 	<ul style="list-style-type: none"> • Granular loss and deteriorating Shingles • Exposed rusting nail

RECOMMENDATIONS / SUMMARY
<p>This roof is at the end of its Useful Roof Service Life and should be replaced within the next year.</p>

BUDGET	
2024	2025
	Re-roof with metal \$13,000.00



ROOF PLAN

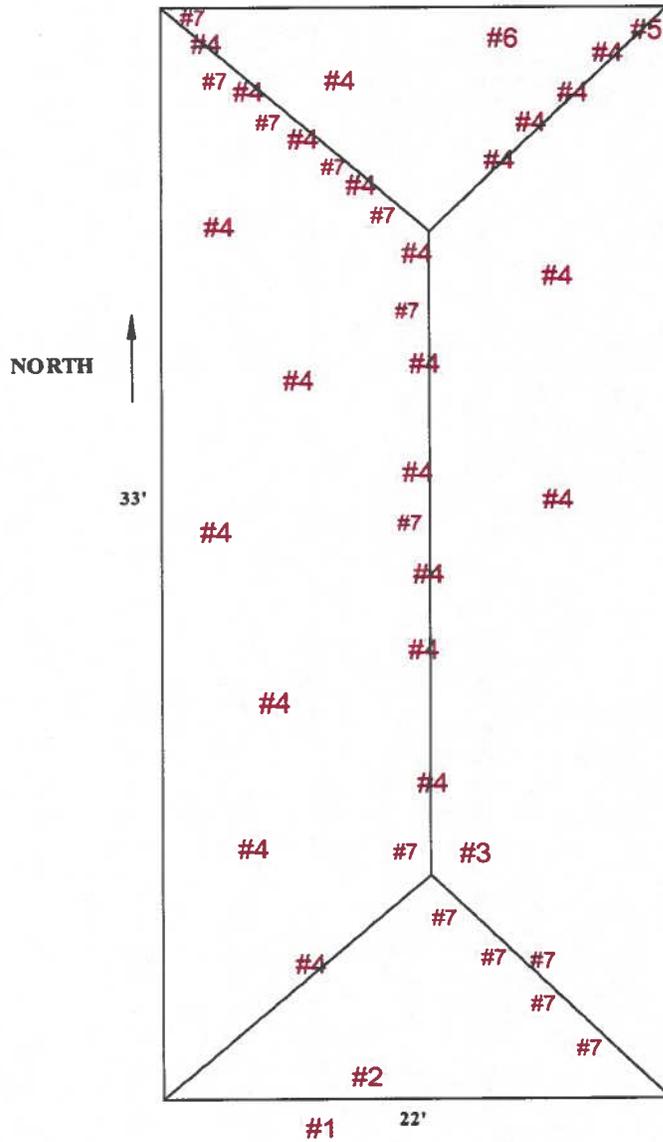




PHOTO LOG



PHOTO #1

**Front of Pump Station #6
Building View**



PHOTO #2

Close Up - Rusting Nail



PHOTO #3

**Granular loss and
deteriorating Shingles**



PHOTO #4

**Granular loss and
deteriorating Shingles**



PHOTO LOG



PHOTO #5
Repair at Ridge



PHOTO #6
**Overview –
Roof**



PHOTO #7
**Close Up exposed
Mechanical Fastener at
lightning protection cable**



August 20, 2024

Village of Wellington
14001 Pierson Road,
Wellington, FL 33414
Attn: Marco Roselli
mroselli@wellingtonfl.gov

RE: Village of Wellington – Pump Station #4
54 Ousley Farm Road,
Wellington, FL 33414
Roof Condition Survey

ACRC #: 24-0291

Dear Mr. Roselli,

Atlantic & Caribbean Roof Consulting, (ACRC), visited the above referenced project site on Thursday, August 15, 2024. The purpose of this visit was to perform a visual site inspection.

This roof is a Granular Surface Modified Bitumen with multiple plies adhered with Asphalt installed over a Fiberboard insulation with a Concrete Substrate. The following report details the current roof condition including all observed deficiencies with recommendations.

ACRC appreciates this opportunity to be of service to you. Please feel free to contact our office with any questions or concerns you may have.

Respectfully Submitted,

Mike Stevens, RRO

MS/ds



ROOF SURVEY REPORT

ROOF SYSTEM INFORMATION

Roof System	This roof consists of a Granular Surface Modified Bitumen with multiple plies adhered with Asphalt installed over a Fiberboard Insulation with a Concrete Substrate.
Drainage	The Drainage on this roof drains to the Perimeter through Open Wall Scuppers. The Drainage on this roof appears to be fair. However, ACRC observed some evidence of ponding water.
Membrane Flashing	The Membrane Flashing consists of Modified Granular Surface Membrane. The Membrane Flashing appears to be in poor condition with several blisters at the Membrane Flashing.
Field Membrane	The Field Membrane appears to be a Modified Granular Surface Membrane with multiple plies. It appears to be in poor condition with blistering and evidence of ponding water.
Metal Flashings	The Metal Flashing consists of a Galvanized Coping Cap, and it appears to be in fair condition.
Equipment	The equipment on this roof consists of three (3) Exhaust Vents.

LEAK INFORMATION

Current Leaks	No leaks reported at the time of this survey.
Leak History	Unknown



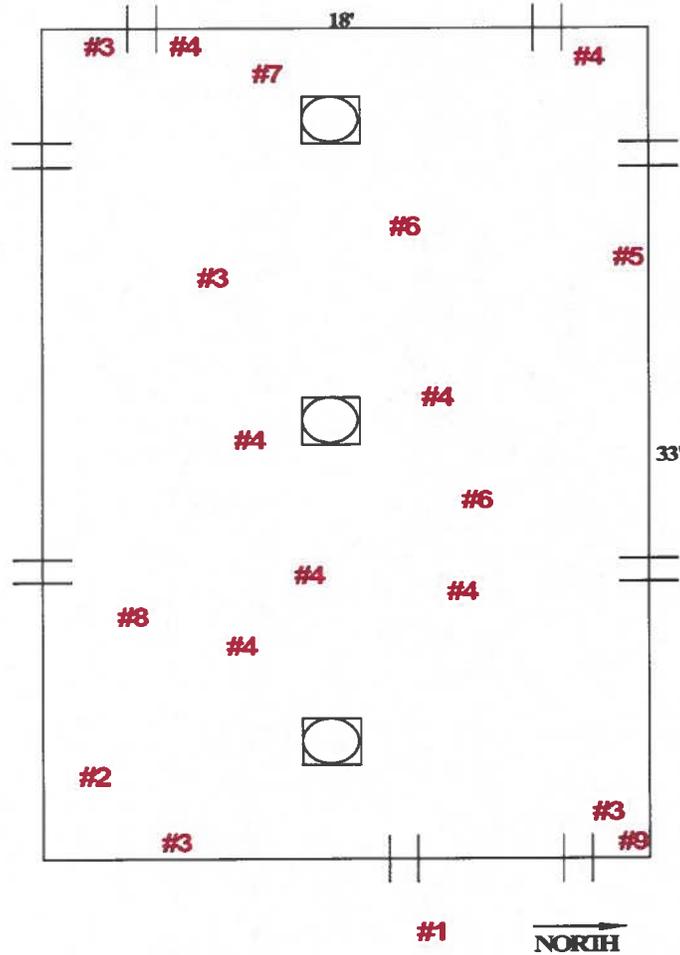
OBSERVATIONS AND DEFICIENCIES	ITEMS REQUIRING IMMEDIATE ATTENTION
<ul style="list-style-type: none"> • Fracturing Field Membrane • Blistering at Membrane Flashing • Blistering at Field Membrane • Crack at Parapet Wall 	<ul style="list-style-type: none"> • Fracturing Field Membrane • Crack at Parapet Wall • Blistering at Field Membrane and Laps • Blistering at Membrane Flashing and Laps

RECOMMENDATIONS / SUMMARY
<p>Based on ACRC's observations and deficiencies overall this roof is of age and nearing the end of its Useful Roof Service Life. Due to the excessive amounts of blisters ACRC recommends not repairing this roof. This roof should be considered for a complete re-roof within the next year.</p>

BUDGET	
2024	2025
\$650.00	Replacement \$10K - \$12K



ROOF PLAN



- KEY**
-  Vents
 -  Scuppers
 -  Photo Location



PHOTO LOG

 A photograph of a dark sign with white text that reads "Pump Station # 4" and "54 Ousley Farm Rd".	<p>PHOTO #1</p> <p>Pump Station #4 Front Building View</p>
 A photograph showing a dark, textured surface with red spray-painted markings, including a large irregular shape and an arrow pointing downwards.	<p>PHOTO #2</p> <p>Overview – Fracturing at Field Membrane and evidence of ponding water</p>
 A photograph of a dark surface with a red letter "B" and a red arrow pointing upwards towards a specific area.	<p>PHOTO #3</p> <p>Blistering at Membrane Flashing and Lap</p>



PHOTO LOG

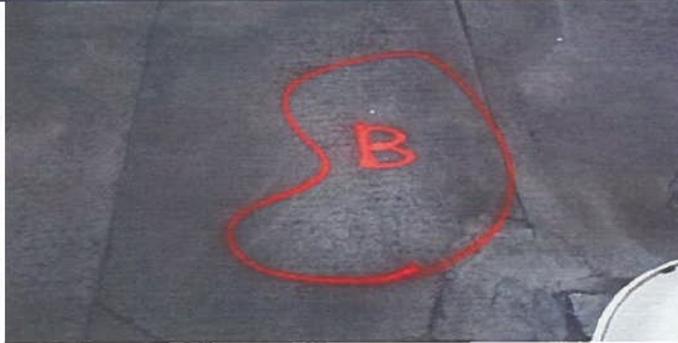


PHOTO #4

Blistering at Field Membrane

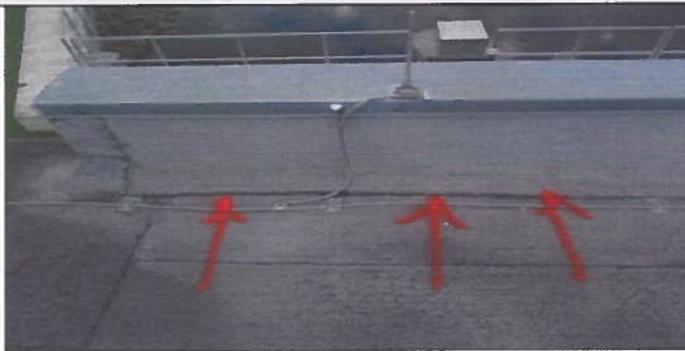


PHOTO #5

Blistering at Lap of Membrane Flashing



PHOTO #6

Blistering at Lap of Membrane Flashing



PHOTO LOG



PHOTO #7

**Overview –
Roof and blistering**



PHOTO #8

**Overview –
Roof and blistering**

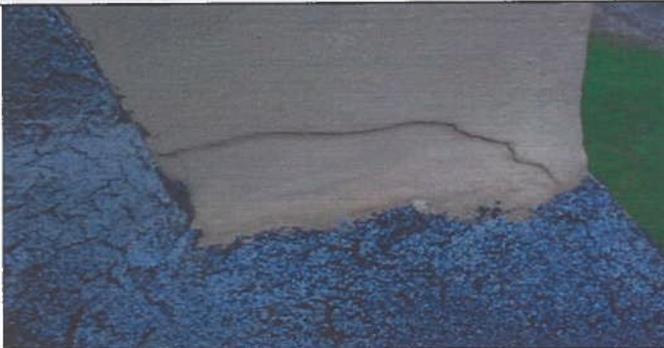


PHOTO #9

**Close-Up –
Crack at Parapet Wall**



August 20, 2024

Village of Wellington
14001 Pierson Road,
Wellington, FL 33414
Attn: Marco Roselli
mroselli@wellingtonfl.gov

RE: Village of Wellington – Pump Station #3
12990 Forest Hills Blvd.,
Wellington, FL 33414
Roof Condition Survey

ACRC #: 24-0290

Dear Mr. Roselli,

Atlantic & Caribbean Roof Consulting, (ACRC), visited the above referenced project site on Thursday, August 15, 2024. The purpose of this visit was to perform a visual site inspection.

This roof is a Granular Surface Modified Bitumen with multiple plies adhered with Asphalt installed over a Fiberboard insulation with a Concrete Substrate. The following report details the current roof condition including all observed deficiencies with recommendations.

ACRC appreciates this opportunity to be of service to you. Please feel free to contact our office with any questions or concerns you may have.

Respectfully Submitted,

Mike Stevens, RRO

MS/ds



ROOF SURVEY REPORT

ROOF SYSTEM INFORMATION

Roof System	This roof consists of a Granular Surface Modified Bitumen with multiple plies adhered with Asphalt installed over a Fiberboard Insulation with a Concrete Substrate.
Drainage	The Drainage on this roof is to open Wall Scuppers. The drainage on this roof appears to be fair.
Membrane Flashing	The Membrane Flashing consists of a Granular Surface Modified Membrane Flashing. The Membrane Flashing appears to be in fair to poor condition.
Field Membrane	The Field Membrane consists of Granular Surface Modified Bitumen Membrane. The Field Membrane is in poor condition with several blisters and a few repair areas observed.
Metal Flashings	The Metal Flashing consists of a Galvanized Drip Edge Metal Flashing, and Coping Cap. The Metal Flashings are in good condition.
Equipment	The equipment on this roof consists of three (3) Exhaust Vents.

LEAK INFORMATION

Current Leaks	Leaks reported at the time of this survey.
Leak History	Yes, based on repair areas observed ACRC believes that this roof system has a leak history.



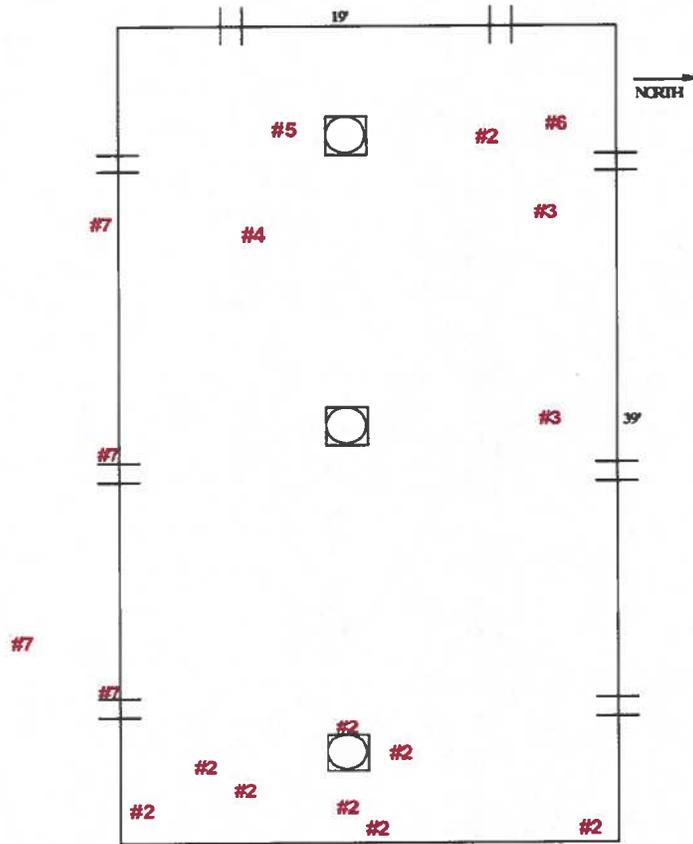
OBSERVATIONS AND DEFICIENCIES	ITEMS REQUIRING IMMEDIATE ATTENTION
<ul style="list-style-type: none"> • Blistering at Field Membrane • Blistering at laps of Field Membrane • Repairs at laps of Field Membrane • Hair line crack at wall 	<ul style="list-style-type: none"> • Blistering at Field Membrane laps and Membrane Flashing laps • Hair line cracks at wall

RECOMMENTATIONS / SUMMARY
<p>It's ACRC professional opinion that this roof system is near the end of its Useful Roof Service Life. ACRC does not recommend repairing this roof. This roof should be considered for a complete re-roof within the next.</p>

BUDGET	
2024	2025
Replace \$14K - \$16K	\$650.00



ROOF PLAN



- #1
- KEY**
-  Exhaust Fans
 -  Photo Locations
 -  Gutter
 -  Scuppers



PHOTO LOG



PHOTO #1

Pump Station #3 Front Door View



PHOTO #2

Overview – Blistering at Field Membrane



PHOTO #3

Close-Up – Blistering at laps of Field Membrane



PHOTO #4

Repairs at Lap of Field Membrane



PHOTO LOG



PHOTO #5

**Overview –
Roof**



PHOTO #6

**Overview –
Roof**



PHOTO #7

**Overview –
Hair-line crack at outside
wall near Downspout**