

CVS at Wellington Town Square (Wall Sign)

STAFF REPORT

Petition Number: 2021-0005-ARB

Owner/Applicant: REG8 Wellington LLC
 One Independent Drive, Suite 114
 Jacksonville, FL 32202

Agent: Jennifer Ronneburger
 GoPermit
 2700 N. Military Trail, Suite 380
 Boca Raton, FL 33431

Site Address: 11878 Forest Hill Boulevard

PCN(s): 73-41-44-10-12-001-0000

Future Land Use Map (FLUM) Designation:
 Community Commercial (CC)

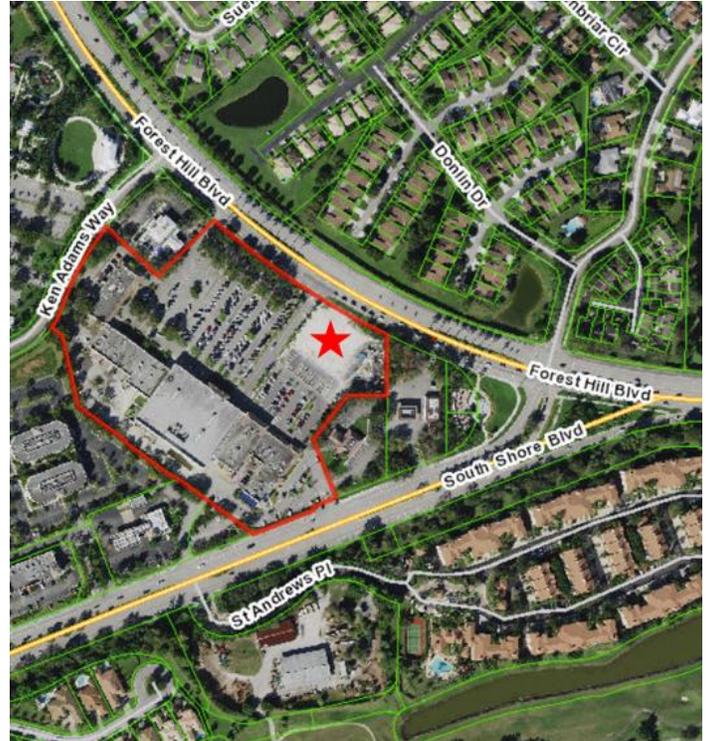
Zoning Designation:
 Planned Unit Development (PUD)

Acreage: 11.36

Request: Architectural Review Board approval to allow one (1) rear wall sign with technical deviations for the new CVS Pharmacy freestanding building located within the Wellington Town Square project.

Project Manager:
 Damian Newell, Senior Planner
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Location Map:



Adjacent FLUM and Zoning Designation:

Adjacent Property	FLUM	Zoning
North	Residential D	PUD
South	CC/Residential F	PUD
East	CC	PUD
West	Parks	PUD

Site History and Current Request:

The Wellington Town Square project was constructed in 1982. The project obtained approval to expand the existing Publix (2003-21ASA1) and update the building façades in 2003. In 2017, a Site Plan Amendment 16-105 (2016-45 ASA4) was approved to demolish the Star Liquor building and a portion of the in-line building on the southeast corner to allow a proposed 13,298 SF freestanding CVS Pharmacy with drive thru, the expansion of the in-line building in the southeast corner for Provident Jewelry, realign the Forest Hill Boulevard main drive aisle entrance, remove parking spaces that back-out into the main drive aisle, and reconfigure the parking lot. The CVS building elevations, colors, architecture details, and signage were approved by ARB on March 15, 2017

ARCHITECTURAL REVIEW BOARD

Planning and Zoning Division

May 19, 2021



(17-28/ARB 2017-02). ARB approved two (2) walls signs (south and west elevations) and one (1) monument sign for the proposed CVS building. Construction of the CVS Pharmacy was recently completed and is now open for business.

Wellington’s Land Development Regulations (LDR) previously did not allow wall signs on the rear of the building (only small name plates). In 2017, technical deviations were requested to allow larger wall signs on the south and west façades of the CVS building, which was supported by staff and approved by ARB since they were not allowed to have a rear wall sign (without technical deviation) along Forest Hill Boulevard. The new LDR now allows wall signs on the rear of a building. The applicant is requesting a technical deviation to allow a third wall sign for the CVS building on the north façade, which is the rear of the building and fronts Forest Hill Boulevard.

Analysis:

The proposed rear wall sign on the north façade/elevation of the CVS Pharmacy building was reviewed for consistency with Section 7.9 Sign Regulations, of Wellington’s Land Development Regulations (LDR). Per LDR Sec. 7.9.7.A.1.d. Additional Wall Signs Allowed on Buildings, a tenant/building may have an additional secondary wall sign on the rear of the building not to exceed 50% of the maximum area allowed for the principal wall sign. The maximum sign area allowed for the principal wall sign (the sign along the south primary façade) is two (2) square feet per foot of principal façade length (135 feet) not to exceed 150 square feet. The rear wall sign is allowed to be 75 square feet (50% of the max. 150 sq. ft.) per the new code. As indicated in the previous section, the CVS building was approved with technical deviations (4’-1” height and 31’ length) for the primary (south façade) and secondary (west façade) wall signs because a rear wall sign was not allowed per the previous code (without requesting a technical deviation) and rear of building happens to front Forest Hill Boulevard. Also, it should be noted the approved and installed CVS secondary/west façade wall sign and monument sign is visible to traffic along Forest Hill Boulevard.

The applicant is proposing a rear wall sign with a sign area of 101.96 square feet to be the same size as the previously approved south and west façade wall signs (technical deviations) as illustrated on submitted plans for the proposed rear wall sign (Exhibit B). The 101.96 square feet will exceed the maximum 75 square feet and require a technical deviation, approved by ARB. This request is also to add the proposed rear wall sign for the CVS building to the approved master sign plan.

Section 7.9.6.C Technical Deviation

An applicant may submit a request for a Technical Deviation for signs that do not meet the standards in the LDR, per the procedures and decision criteria provided in the Development Review Manual, as listed below:

- a. Describe in detail the Technical Deviation.

The applicant is requesting a technical deviation to allow for an additional wall sign at 101.96 square feet (max. 75 sq. ft. allowed/deviation of 26.96 sq. ft. requested) on the rear/north façade of the CVS building, which fronts Forest Hill Boulevard.

- b. No deviation may be granted which has the effect of permitting any sign that is specifically prohibited by these regulations.

The rear wall sign is not specifically prohibited and is permitted under Section 7.9.7.A.1.d.i. of Wellington's current LDR. When the CVS was approved by ARB, the previous LDR did not allow for a rear wall sign and it was not specifically prohibited, so the applicant had the option to also request technical deviation to allow the rear wall sign at that time.

- c. The deviation must enhance the aesthetic result of the overall sign program or mitigate a unique feature of a user, structure, or location that warrants a technical deviation from the code in the opinion of the ARB.

The proposed rear wall sign is not the result of a unique feature of the user, structure or location. The CVS building design positioned the principal façade/entrance to the south, internal to the Wellington Town Square project and parking lot, which meant the north (rear/secondary) façade fronted Forest Hill Boulevard. When the CVS building was originally approved by ARB, the applicant had the option to request a technical deviation to allow the secondary wall sign on the rear/north façade as it was not prohibited by the code. Instead, a technical deviation was requested to allow a larger wall signs on the south and west façade with a monument sign on the north along Forest Hill Boulevard. The applicant has the option of relocating the existing secondary wall sign from the west façade to the north/rear façade if additional visibility is needed along Forest Hill Boulevard. The current orientation of the west wall sign, the building, and monument sign in proximity to Forest Hill Boulevard provides sufficient visibility from pass-by traffic for this user. Allowing the rear wall sign with all the other approved signs will not enhance the aesthetic of the building or area. Additionally, the proposed rear wall sign would be behind existing trees/palms that are required in their current locations, which the applicant has confirmed will not be removed/relocated.

- d. Approval of the deviation must not cause any negative off-site impacts.

The proposed technical deviation for a larger wall sign, and request to add the rear wall sign, to the master sign plan will provide for three (3) signs visible along Forest Hill Boulevard and may have an impact on motorist. The current monument sign provides CVS visibility to the northbound and southbound traffic, along Forest Hill Boulevard. The west wall sign is visible to southbound traffic. The location of the CVS building and orientation of the existing signage does ensure this user is visible to pass-by traffic, more so than other users within the Wellington Town Square project. If signage on the rear/south façade is needed for visibility of the CVS building, it is recommended the applicant relocate the existing west wall sign to the north façade.

The applicant's complete Architectural Review Board application (2021-0005-ARB) is available for review at the Planning and Zoning Division office.

Recommendation:

Staff recommends denial of Petition 2021-0005-ARB for the additional rear/north façade wall sign at 101.96 square feet, for the freestanding CVS building within the Wellington Town Square project, and adding the rear wall sign to the master sign plan. It is recommended the applicant relocate the existing west wall sign to the north façade if additional visibility is needed for the CVS Pharmacy.



Exhibits:

- Exhibit A Site Plan and Sign Location
- Exhibit B Existing and Proposed Wall Signs
- Exhibit C Pictures of Existing Site Conditions (CVS Building Elevations and Signage)
- Exhibit D Applicant Justification Statement/Technical Deviation