



**WELLINGTON
PLANNING & ZONING DIVISION
STAFF REPORT**

I. PETITION DESCRIPTION:

Petition Number: 17-200003 (2017-095 VAC) and
17-200004 (2017-096 VAC)

Petition Name: 15680 46th Lane South Vacation/Abandonment and
15740 46th Lane South Vacation/Abandonment

Owner: Doble A Farm, LLC
12300 S South Shore Suite 216
Wellington, FL 33414

Agent: Simon Paschalides
Conventina Builders, LLC
1834 SW Janette Ave
Port St. Lucie, FL 34953

Location Address: 15740 46th Lane South and 15680 46th Lane South

Parcel Control
Number: 73-41-44-30-00-000-7010 and 73-41-44-30-00-000-7050

Land Use: Residential A (1 du/10ac)

Zoning: Agricultural Residential/Equestrian Overlay Zoning District
(AR/EOZD) Subarea C

Project Manager: Branden Miller, Planner

II. REQUEST:

To vacate/abandon a 20-foot wide drainage and utility easement, totaling approximately 0.318 acres, straddling the property line between Tracts 4 and 5, of the unrecorded Sunblade Point Subdivision (15740 46th Lane South and 15680 46th Lane South).

III. LOCATION:

The subject properties are located on the south side of 46th Lane South approximately one-quarter (¼) mile east of Flying Cow Rd (Exhibit A – Location Map). The property is within Subarea C of the EOZD and just south of Palm Beach Point Blvd. It is surrounded by similar equestrian properties.

IV. HISTORY:

Tracts 4 and 5 were purchased by the current owner on May 28, 2014. The drainage and utility easements proposed to be abandoned straddle the property line between Tracts 4 and 5. The drainage and utility easements are no longer needed as there are existing drainage and utility easements located north of Tracts 4 and 5 which will service the property.

V. ANALYSIS:

The Wellington Code of Ordinances Chapter 54, Section 54(b) “Petitions for abandonment of rights-of-way and easements for utility, drainage or maintenance purposes”, allows a property owner to petition Wellington to abandon, vacate, discontinue or close any existing easement following Wellington’s prescribed application. The drainage and utility easements are internal to the property and are not a right-of-way; therefore, do not require consent from the abutting property owners, but only a public hearing and notice of intent to abandon through local newspaper publication.

The Engineering Department, Utility Department, and all utility companies (Comcast, FPL, Florida Public Utilities and AT&T) have no objections to vacate and abandon the easements. The proposed area to be vacated/abandoned is depicted on the Sketch and Description (Exhibit B – Sketch and Description) and (Exhibit C – Sketch and Description) prepared by Richard A. Pedraza, Professional Surveyor and Mapper with Prism Surveying, Inc. (Florida Certificate No. 6300).

The Engineering Department and Utility Department have determined this request to vacate the drainage and utility easements located on the Doble A Farm, LLC property to be consistent with the public interest and will not adversely affect the drainage and utilities to adjacent properties.

VI. STAFF RECOMMENDATION:

The Planning and Zoning Department recommends approval of Resolution No. R2018-27 for Petitions 17-200003 (2017-095 VAC) and 17-200004 (2017-096 VAC) to vacate/abandon a 20-foot wide drainage and utility easement, totaling approximately 0.318 acres, located on Tracts 4 and 5, of the unplatted Sunblade Point Subdivision (15740 46th Lane South and 15680 46th Lane South) as depicted on the Sketch and Descriptions prepared by Richard A. Pedraza, Professional Surveyor and Mapper with Prism Surveying, Inc. (Florida Certificate No. 6300).

EXHIBIT A:
Location Map



EXHIBIT B:
Tract 4 Sketch and Description

SKETCH AND DESCRIPTION
Surveyor's Description: Page 1 of 2

**20' DRAINAGE & UTILITY EASEMENT ABANDONMENT
15740 46TH LANE SOUTH, WELLINGTON, FL 33414
PALM BEACH COUNTY, FL**

Surveyor's Notes:

- 1) This is a Sketch & Description per 5J-17.050, Standards of Practice, Florida Administrative Code.
- 2) Bearing Base: The North line of Parcel 1 & 2, Tract 4 & 5 is assumed to bear **NORTH 59°02'08" WEST** and all bearings shown on map are relative thereto.
- 3) THIS IS NOT A SURVEY
- 4) Revision 09/01/17: Parcel and Land Description.
- 5) Revision 11/21/17: Separate Sketch & Description

Land Description

A PARCEL OF LAND, 10 FEET IN WIDTH, BEING A PART OF PARCEL 1 (A.K.A TRACT 4), SUNGLADE POINT SUBDIVISION (UNRECORDED) LYING IN SECTION 30, TOWNSHIP 44 SOUTH, RANGE 41 EAST, PALM BEACH COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT SOUTHEAST CORNER OF SAID SECTION 30; RUN THENCE NORTH 00 DEGREES 02 MINUTES 39 SECONDS EAST, ALONG THE EAST LINE OF SAID SECTION 30, A DISTANCE OF 479.52 FEET; THENCE NORTH 59 DEGREES 02 MINUTES 08 SECONDS WEST, ALONG THE PLATTED SOUTHERLY LINE OF PALM BEACH POINT, AS RECORDED IN PLAT BOOK 33, PAGE 133, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, A DISTANCE OF 4101.39 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 13 DEGREES 08 MINUTES 44 SECONDS WEST, A DISTANCE OF 630.29 FEET; THENCE NORTH 59 DEGREES 02 MINUTES 08 SECONDS WEST, A DISTANCE OF 10.50 FEET; THENCE NORTH 13 DEGREES 08 MINUTES 44 SECONDS EAST, A DISTANCE OF 630.29 FEET, MORE OR LESS, TO A POINT ON THE SOUTHERLY LINE OF SAID PALM BEACH POINT; THENCE SOUTH 59 DEGREES 02 MINUTES 08 SECONDS EAST, ALONG THE SOUTHERLY LINE OF SAID PALM BEACH POINT, A DISTANCE OF 10.50 FEET TO THE POINT OF BEGINNING.

Containing 6,932.50 square feet more or less

Legend of Survey Abbreviations

LB	Licensed Business
ORB	Official Records Book
PB	Plat Book
PG	Page
SEC	Section
SFWMD	South Florida Water Management District

PRISM SURVEYING, INC. LB #7195
17721 62 ND ROAD N. LOXAHATCHEE, FLORIDA 33470 (561) 204-1035

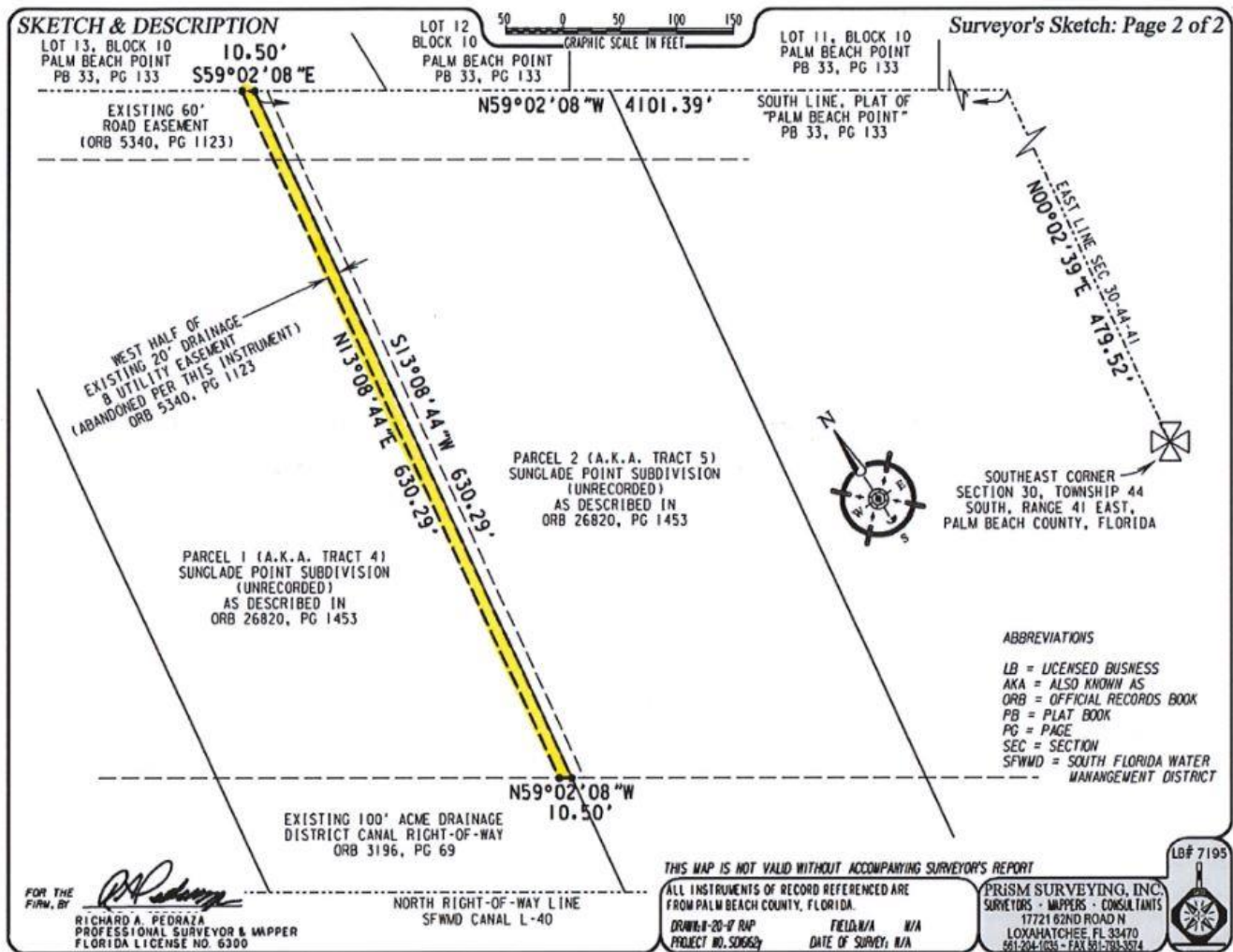


EXHIBIT C:
Tract 5: Sketch and Description

SKETCH AND DESCRIPTION
Surveyor's Description: Page 1 of 2

20' DRAINAGE & UTILITY EASEMENT ABANDONMENT
15680 46TH LANE SOUTH, WELLINGTON, FL 33414
PALM BEACH COUNTY, FL

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Land Description

A PARCEL OF LAND, 10 FEET IN WIDTH, BEING A PART OF PARCEL 2 (A.K.A TRACT 5), SUNGLADE POINT SUBDIVISION (UNRECORDED) LYING IN SECTION 30, TOWNSHIP 44 SOUTH, RANGE 41 EAST, PALM BEACH COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT SOUTHEAST CORNER OF SAID SECTION 30; RUN THENCE NORTH 00 DEGREES 02 MINUTES 39 SECONDS EAST, ALONG THE EAST LINE OF SAID SECTION 30, A DISTANCE OF 479.52 FEET; THENCE NORTH 59 DEGREES 02 MINUTES 08 SECONDS WEST, ALONG THE PLATTED SOUTHERLY LINE OF PALM BEACH POINT, AS RECORDED IN PLAT BOOK 33, PAGE 133, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, A DISTANCE OF 4090.88 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 13 DEGREES 08 MINUTES 44 SECONDS WEST, A DISTANCE OF 630.29 FEET; THENCE NORTH 59 DEGREES 02 MINUTES 08 SECONDS WEST, A DISTANCE OF 10.51 FEET; THENCE NORTH 13 DEGREES 08 MINUTES 44 SECONDS EAST, A DISTANCE OF 630.29 FEET, MORE OR LESS, TO A POINT ON THE SOUTHERLY LINE OF SAID PALM BEACH POINT; THENCE SOUTH 59 DEGREES 02 MINUTES 08 SECONDS EAST, ALONG THE SOUTHERLY LINE OF SAID PALM BEACH POINT, A DISTANCE OF 10.51 FEET TO THE POINT OF BEGINNING.

Containing 6,932.50 square feet more or less

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17721 62 ND ROAD N. LOXAHATCHEE, FLORIDA 33470 (561) 204-1035

SKETCH & DESCRIPTION

LOT 13, BLOCK 10
PALM BEACH POINT
PB 33, PG 133

10.51'
S59°02'08"E

LOT 12
BLOCK 10
PALM BEACH POINT
PB 33, PG 133

LOT 11, BLOCK 10
PALM BEACH POINT
PB 33, PG 133

Surveyor's Sketch: Page 2 of 2

EXISTING 60' ROAD EASEMENT
(ORB 5340, PG 1123)

N59°02'08"W 4090.88'

SOUTH LINE, PLAT OF
"PALM BEACH POINT"
PB 33, PG 133

EAST HALF OF
EXISTING 20' DRAINAGE
& UTILITY EASEMENT
(ABANDONED PER THIS INSTRUMENT)
ORB 5340, PG 1123

N13°08'44"E 630.29'
S13°08'44"W 630.29'

PARCEL 2 (A.K.A. TRACT 5)
SUNGLADE POINT SUBDIVISION
(UNRECORDED)
AS DESCRIBED IN
ORB 26820, PG 1453

PARCEL 1 (A.K.A. TRACT 4)
SUNGLADE POINT SUBDIVISION
(UNRECORDED)
AS DESCRIBED IN
ORB 26820, PG 1453

SOUTHEAST CORNER
SECTION 30, TOWNSHIP 44
SOUTH, RANGE 41 EAST,
PALM BEACH COUNTY, FLORIDA

ABBREVIATIONS

LB = LICENSED BUSINESS
AKA = ALSO KNOWN AS
ORB = OFFICIAL RECORDS BOOK
PB = PLAT BOOK
PG = PAGE
SEC = SECTION
SFWD = SOUTH FLORIDA WATER
MANAGEMENT DISTRICT

EXISTING 100' ACME DRAINAGE
DISTRICT CANAL RIGHT-OF-WAY
ORB 3196, PG 69

N59°02'08"W
10.51'

NORTH RIGHT-OF-WAY LINE
SFWD CANAL L-40

FOR THE
FIRM, BY

RICHARD A. PEDRAZA
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA LICENSE NO. 6300

THIS MAP IS NOT VALID WITHOUT ACCOMPANYING SURVEYOR'S REPORT

ALL INSTRUMENTS OF RECORD REFERENCED ARE
FROM PALM BEACH COUNTY, FLORIDA.

DRAWN BY: 20-17 RAP
PROJECT NO. S06624

FIELD BY: N/A
DATE OF SURVEY: N/A

PRISM SURVEYING, INC.
SURVEYORS • MAPPERS • CONSULTANTS
17721 62ND ROAD N
LOXAHATCHEE, FL 33470
861-294-1034 • FAX 861-293-3574

