



**Architectural Review Board  
STAFF REPORT  
PLANNING & ZONING DIVISION  
July 18, 2018**

**ARB Number:** 18-057 (ARB 18-009)

**Project Name:** Winding Oaks of Palm Beach Polo Alternative Design for Privacy Wall

**Owner:** Winding Oaks Homeowners Association  
12794 Forest Hill Boulevard  
Suite 31  
Wellington, FL 33414

**Agent:** Marty Miller  
M Squared Management  
PO Box 2565  
West Palm Beach, FL 33402

**PCN:** 73-41-44-14-41-001-0010

**Existing Zoning:** Planned Unit Development (PUD)

**Future Land Use Designation:** Residential C

**Project Manager:** Kelly Ferraiolo, Senior Planner

**REQUEST**

Marty Miller, agent, on behalf of the Winding Oaks Homeowners Association, owners, is requesting Architectural Review Board (ARB) approval of an alternative design standard to install 203 linear feet of an eight (8) foot high CBS privacy wall.

**LOCATION AND VICINITY:**

Winding Oaks is located within the southeast portion of Palm Beach Polo Homeowners Association adjacent to the C-23 canal and Pierson Road.



### **BACKGROUND:**

Winding Oaks subdivision is made up of 18 single family residences. The Homeowners Association is seeking approval of a privacy wall that exceeds the maximum allowed wall height requirement by two (2) feet. The HOA applied for a building permit (BP# 18-1947) to install the privacy wall (Exhibit A – Proposed Wall) but was returned by zoning as the additional height requires ARB approval.

### **STAFF ANALYSIS:**

Per Section 6.6.4.E.6. of Wellington's Land Development Regulations (LDR), walls shall not be more than six feet in height. Alternatives to Development Standards may be allowed by the ARB for buildings and structures that do not meet the minimum development standards if the request meets certain criteria. The criteria are as follows:

***Special Conditions and circumstance which are peculiar to the land, structure or building involved:*** The Winding Oaks neighborhood abuts the C-23 Canal, Pierson Road and the commerce park. The proposed CBS wall will



provide additional screening and buffering between the homeowners and the often congested roadway, the industrial park and overhead powerlines.

***The approval of alternative development standards will be consistent with the general intent and purpose of these regulations and will not be injurious to the neighborhood or otherwise detrimental to the public welfare:*** The additional height will not be detrimental to the public welfare, will increase screening for the residents and possibly buffer any sound from the adjacent roadway so homeowners can enjoy their property. Currently, there is an existing Ficus and Surinam Cherry hedge. The deteriorating Ficus hedge will be removed and 203 linear feet of the proposed eight (8) foot high wall will be installed in its place. There currently is an existing eight (8) foot privacy wall located on the adjacent 2929 Winding Oaks Lane constructed in 2005. The proposed wall will be in alignment with the existing wall, will be painted white and will also have a climbing bougainvillea along the south side facing C-23 canal/Pierson Road as shown below.



**Image 1: 2929 Winding Oaks Lane Existing Wall**



**Image 2: West Approach along Pierson Road**





**Image 3: Deteriorating Ficus Hedge along Pierson Road**



**Image 4: View from Winding Oaks Lane**

***The approval of alternative development standards, if granted, is the minimum alternative that will make possible the reasonable use of the land, building or structure:*** The proposed request is the minimum alternative needed to accomplish the esthetic look, privacy and security the Homeowners Association is attempting to achieve.

Winding Oaks subdivision is located along the southern boundary of the Wellington PUD. The PUD was originally approved in 1973. At that time, no perimeter landscape buffer was required. However, when a development makes significant changes, it must meet the requirements of the current code. The proposed wall is to be installed along the entire length of the southern boundary of the development on the property that is owned by the HOA. Per Section 6.8.2. of Wellington's LDR, a perimeter PUD landscape buffer is required to consist of a mixture of trees and shrubs within the buffer. The area the wall is proposed to be installed is extremely limited. The property consists of a 25 foot Acme Improvement District on the southern portion of the property and a six (6) foot Water and Sewer Easement on the northern portion of the property as shown in

Exhibit A, leaving only approximately seven (7) feet for the installation of the buffer as required by code. The intent of the buffer is to screen the view from other uses and right of ways abutting the PUD. The installation of an eight (8) foot CBS wall with a climbing bougainvillea hedge is an agreeable alternative that meets the intent of the code.

**RECOMMENDATION:**

Staff recommends approval of Petition 18-057 (ARB 18-009) to allow Winding Oaks Homeowners Association to install 203 linear feet of eight (8) feet tall CBS privacy wall located at 2900 Winding Oaks Lane with the following conditions:

1. A building permit shall be obtained prior to construction of the wall.
2. Utility Easement Consent Forms from all utility agencies and a Hold Harmless Form shall be submitted with the Building Permit as the wall will be located within a utility easement.
3. The wall shall be landscaped as shown in Exhibit A – Proposed Wall.
4. The wall shall be maintained as required by Section 6.6.4.L of Wellington's LDR.





















Exhibit A – Proposed Wall

New Site Wall

2900 Winding Oaks Lane - Parcel B

Palm Beach Polo

Wellington, Florida 33414

SYMBOL LEGEND			
	DETAIL NO.		DETAIL NO.
	DETAIL TITLE		INTERIOR ELEVATION
	DETAIL NO.		SHEET NO.
	SECTION DETAIL TITLE		PARTITION TYPE
	DETAIL NO.		ROOM NUMBER
	SHEET NO.		DOOR NUMBER/TYPE
	PLAN DETAIL TITLE		WINDOW TYPE
			FACE
			CENTERLINE
			DIMENSIONS
			FINISH TYPE

MISCELLANEOUS REQUIREMENTS

GENERAL NOTES

1. All Work shall be performed in strict accordance with the Florida Building Code, 2017, sixth edition, and all local ordinances. Reference to other standard specifications or codes shall mean the latest standard or code adopted and published.

2. The General Contractor shall be responsible for complying with all codes, ordinances and shall obtain and pay for all permits, certifications and the like, both temporary, permanent and special permits when required.

3. The Contractor shall provide all required insurance for protection against public liability and property damage for the duration of the Work. Contractor shall provide and maintain complete workman's compensation, builders risk insurance, and other necessary insurance as may be required. Proof of insurance shall be submitted to the Owner prior to commencement of Work.

4. All required tests shall be performed by an approved testing laboratory at the Owner's expense. Test results shall be submitted to the Architect/engineer. Tests resulting in failure shall be reimbursable to the owner.

5. The Contractor's Request for Payment shall include release of liens for all materials, supplies, and subcontractors' work relating to request.

6. All Change Orders shall be approved by the Owner and signed by Architect and Owner prior to commencement of any changes in the Work.

7. It shall be the responsibility of the Contractor to familiarize himself with all conditions of the site relative to existing work and the construction documents prior to commencing Work. Job site measurements are the full responsibility of the Contractor and/or Subcontractors.

8. The Contractor shall verify all dimensions in the field. Discrepancies shall be reported to the Architect prior to the commencement of the Work.

9. The Contractor shall coordinate the work of all trades at the time the work is performed on this structure. No additional payments shall be made for the Contractor's failure to correct conflicting field conditions. Correction of defects shall be completed without additional charge and shall include replacement or repair of any other phase of installation that may have been damaged during repair of such work.

10. It is not the intent of these plans to show every minor detail of construction, the Contractor is expected to furnish and install all items necessary to complete final work.

11. Do not scale drawings to obtain dimensions. Any dimensions not indicated on drawings are to be confirmed with Architect prior to commencement of Work.

12. Contractor shall comply with all statutory requirements related to waste disposal and safety precautions as required by local ordinances.

13. The Contractor shall clean all areas of work after construction is complete. All trash and debris shall be removed from job site at the Contractor's expense.

14. See architectural plans, elevations, details, and schedules for additional notes and information, refer to specifications for specific material requirements.

15. Contractor shall include in his bid all costs associated with materials, handling, delivery and storage. Unless where noted otherwise, provide all labor, material, equipment and incidentals necessary for complete Work. Contractor shall warrant and guarantee all materials and workmanship for a period of one year from date of final completion and acceptance by Owner.

16. In the event of any need for special sequencing of work is required, the Contractor shall arrange a conference with any parties deemed necessary for the purpose of special scheduling before Work begins.

17. Contractor shall provide a construction schedule to the Owner indicating proposed timing prior to commencing Work.

18. All finishes to meet Type A flame spread ratings.

19. All concealed wood to be fire retardant treated wood products.

ABBREVIATIONS

ABV. Above	F.C.U. Fan Coil Unit	P.L. Property Line
AC. Air Conditioning	F.D. Fire Damper	PLAS. Plaster
ACUST. Acoustical	F.D.N. Floor Drain	PLYND. Plywood
A.C.T. Acoustical Ceiling Tile	F.H.C. Fire House Cabinet	PNT. Paint
ADMIN. Administrative	FIN. Finish	POL. Polished
A.DRN. Area Drain	FIN.FLR./F.F.Finish Floor	POL. Polished
A.F.F. Above Finished Floor	FIXT. Fixture	P.T.D. Paper Towel Dispenser
A.H.U. Air Handling Unit	F.L.R. Floor	P.V.C. Polyvinyl Chloride
ALUM. ALuminum	GALV. Galvanized	PTD. Painted
AND. And	GL. Glass	R. Riser
APPROX. Approximately	GRD. Ground	R.A. Return Air
ASB. Asbestos	GYP.BD./G.B.Gypsum Board	RAD. or R.Radus
ASPH. Asphalt	H. High	R.C. Reinforced Concrete
ASST. Assistant	HWR. Hardware	R.D. Roof Drain
BATT. Battery	H.M. Hollow Metal	REF. Reflected
BD. Board	HORIZ. Horizontal	REFRIG. Refrigerator
BLDG. Building	H.P.T. High Point	RET. Retaining
BLK.. BLK.Block, Blocking	H.P.T. High Point	RM. Room
BM. Beam	HT. Height	R.O. Rough Opening
BOT. Bottom	H.V. High Voltage	R.W.D.P. Rain Water Drain Pipe
BR. Brick	H.W.H. Hot Water Heater	SCHED. Schedule
BRK. Breaker	ID. Interior Design	S.DWG. Structural Drawings
BRNZ. Bronze	LDIA./LD. Inside Diameter	SERV. Service
BTW. Between	INSUL. Insulation	SH. Shower
CEM. PLAS.Cement Plaster	INT. Interior	SHT. Sheet
C.C. Center to Center	JAN. / J. Janitor	SM. Similar
CEM. Cement	JOINT. Joint	SLD. Sliding
CERT. or C.T.Ceramic Tile	KIT. Kitchen	S.N.D. Sanitary Napkin Disposal
C.G. Corner Guard	LAV. Lavatory(Washbasin)	S.N. DISP. Sanitary
C.H. Ceiling Height	L.C. Laundry or Linen Chute	Napkin Dispenser
C.I. Cast Iron	L.P. Low Point	SOAP DISP. Soap Dispenser
C.J. Control Joint	LT. Light	SP. Special
CL. Center Line	L.V. Low Voltage	SPECS. Specifications
CLG. Ceiling	M. Meter(s)	SPK. Sprinkler
CLR. Clear	MACH. Machine	SQ. Square
CMU. Concrete Masonry Unit	MAS. Masonry	S.S. Service Sink
COL. Column	MAX. Maximum	S.STL./ST.ST. Stainless Steel
COMP. Compressor	M.C. Medicine Cabinet	STL. Steel
CONC. Concrete	M.D.F. Main Distribution Frame	STN. Stain
CONT. Continuous	MECH. Mechanical	STR. Structural
CPT. Carpet	MECH. VENT.Mechanical	STRUT. Suspended
DET. Detail	MEMB. Membrane	TEND. Tread
D.F. Drinking Fountain	MFR. Manufacturer	T.B.D. To Be Determined
DN. Down	MGR. Manager	T.O.C. Top of Curb
D.O. Door Opening	MIN. Minimum	TELE. Telephone
D.O.H. Door Opening Height	MISC. Miscellaneous	TEMP. Tempered
D.O.W. Door Opening Width	MM. Millimeter(s)	TH. Threshold
DN. Door	M.O. Masonry Opening	THICK. Thick
DWGS. Drawings	M.T. Metal Threshold	T.O.S. Top of Slab
E. Each	MTD. Mounted	T.P.H. Toilet Paper Holder
E.J. Exposed Joint	MULL. Mullion	TRANS. Transom
ELEV. Elevation	N.C. Not in Contract	TRZ. Terrace
E.O.S. Edge of Slab	NO. Number	T.O.W. Top of Wall
EQ. Equal	NOM. Nominal Dimension	UR. Urinal
EQIP. Equipment	N.T.S. Not to Scale	VERT. Vertical
ESCAL. Escalator	O.D. Outside Diameter	VENT. Vent Thru Roof
EX. Exposed	OFI. Owner Furnished	W. With
EXH. Exhaust	OFI. Contractor Installed	W.C. Water Closet
EXP. Exposed	OFF. Office	WO. Wood
EXT. Exterior	OPPHO. Opposite Hand	W.O. Where Occurs
FAB. Food & Beverage	PASS. Passenger	WP. Waterproof
	P.C. Precast Concrete	W.R.M. Wet Riser Main
	P.DWG. Plumbing Drawings	
	PL. Plate	

PROJECT DETAILS

PROJECT DETAILS:

ZONING – C3  
PROJECT TYPE – COMMERCIAL  
PROJECT USE – COMMERCIAL  
OCCUPANCY – BUSINESS, GROUP B  
ALTERATION LEVEL II  
CONSTRUCTION TYPE – IB  
UNPROTECTED, SPRINKLED

SPECIFIC NOTES:

CONSTRUCTION OF REPLACEMENT TRELLIS AT SEVERAL LOCATIONS OF THE RESORT. NEW CONSTRUCTION INCLUDES FRAMING LUMBER AND BOLTED ASSEMBLIES.

PROJECT TEAM

ARCHITECT  
DAVID MILLER & ASSOCIATES, P.A.  
319 CLEMATIS STREET, SUITE 802  
WEST PALM BEACH, FL 33401

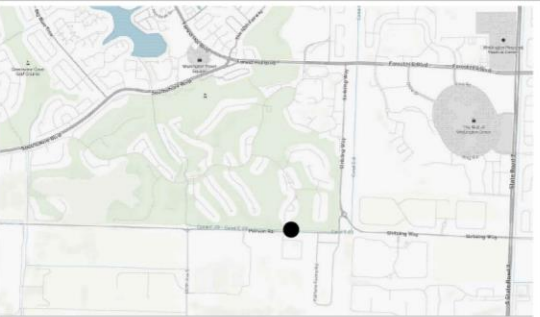
STRUCTURAL ENGINEER  
WARREN J. VON WERNE, P.E., INC.  
11388 OKEECHOBEE BLVD., SUITE B-101  
ROYAL PALM BEACH, FLORIDA 33411

DRAWING LIST

CS-1 COVER SHEET  
A-1 TRELLIS PLAN & ELEVATIONS



AERIAL VIEW



LOCATION MAP

REVISIONS		
NO.	TITLE	DATE

ISSUANCES	
DATE	TITLE
	BID
	PERMIT
	CONSTRUCTION

PROJECT	New Site Wall	
	2900 Winding Oaks Lane-Parcel B    Palm Beach Polo Wellington, Florida 33414	
SHEET TITLE	COVER SHEET	

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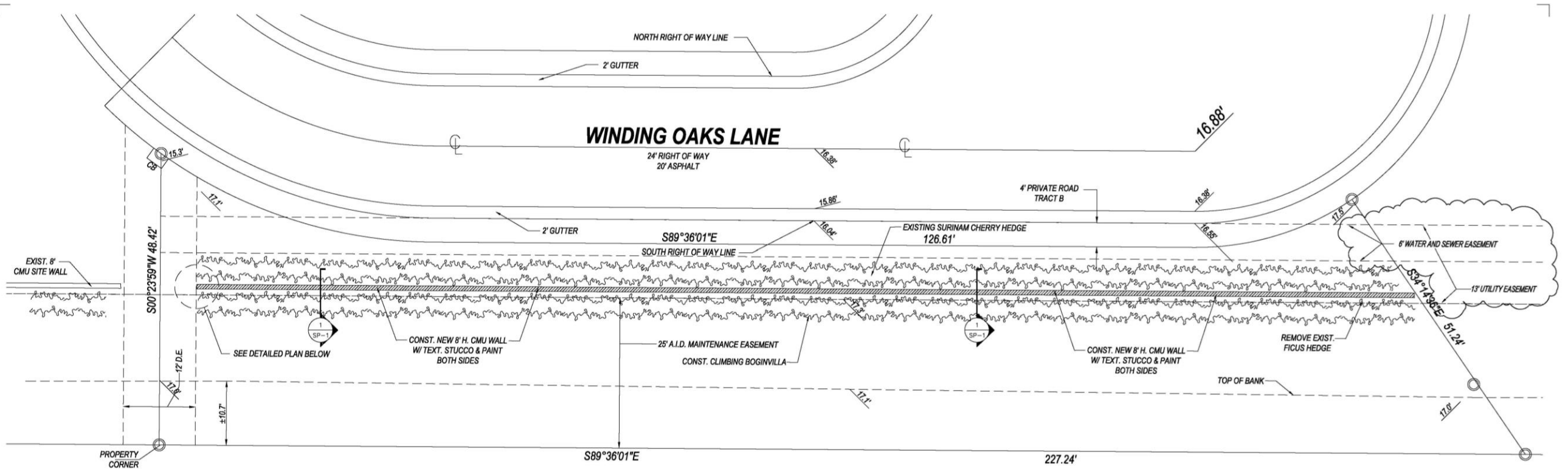
DAVID R. MILLER AR 9417  
STATE OF FLORIDA

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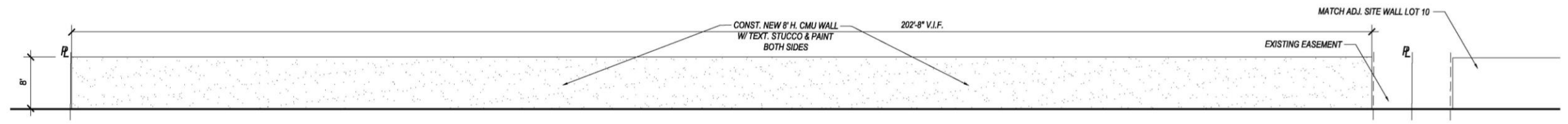
SCALE  
AS NOTED  
DATE  
MAY 2, 2018

SHEET NUMBER  
CS-1  
1 OF 2

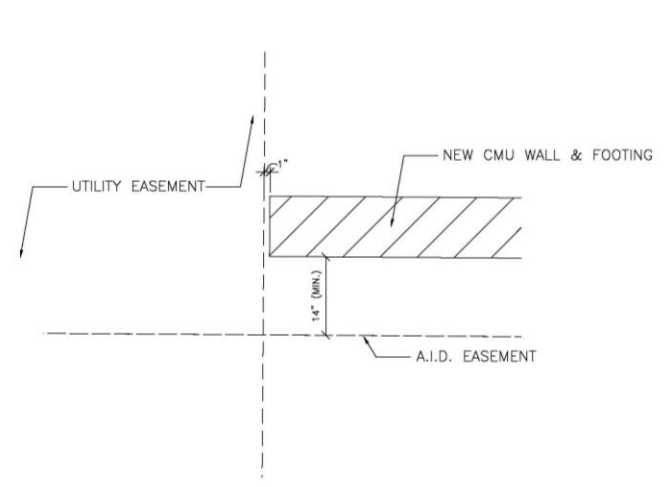
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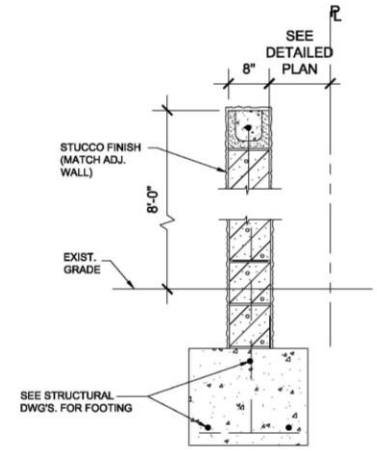
**PROPOSED SITE WALL - PLAN**  
SCALE: 1/8" = 1'-0"



**WALL ELEVATION FROM WINDING OAKS LANE**  
SCALE: 1/8" = 1'-0"



**DETAILED PLAN**  
SCALE: 1" = 1'-0"



**SITE WALL SECTION**  
1 SP-1 NTS

REVISIONS		
NO.	TITLE	DATE
1	PLAN REVIEW	5/18/18

ISSUANCES	
DATE	TITLE
	BID
	PERMIT
	CONSTRUCTION

PROJECT	New Site Wall	
	2900 Winding Oaks Lane-Parcel B Palm Beach Polo Wellington, Florida 33414	
SHEET TITLE	SITE WALL	
	PLAN, ELEVATION & DETAIL	

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Digitally signed by David R Miller DN: cn=David R Miller, c=US, ou=David Miller and Associates, ou=DAI04735, email=dmiller@dmillerarchitect.com, Date: 2018.05.21 10:25:45 -0400  
DAVID R. MILLER AR 9417 STATE OF FLORIDA

DRAWN BY SCS	SCALE AS NOTED
CHECKED BY DSM	DATE MAY 17, 2018
DMRA No.	SHEET NUMBER
	<b>SP-1</b>
	1 OF 2

WEST ELEVATION