

Project Team

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CIVIL ENGINEER
SIMMONS & WHITE
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PLANNER
COTLEUR & HEARING
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LANDSCAPE ARCHITECT
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SURVEYOR
WALLACE SURVEYING
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WEST PALM BEACH, FLORIDA 33407
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CONTACT: CRAIG WALLACE

Location Map

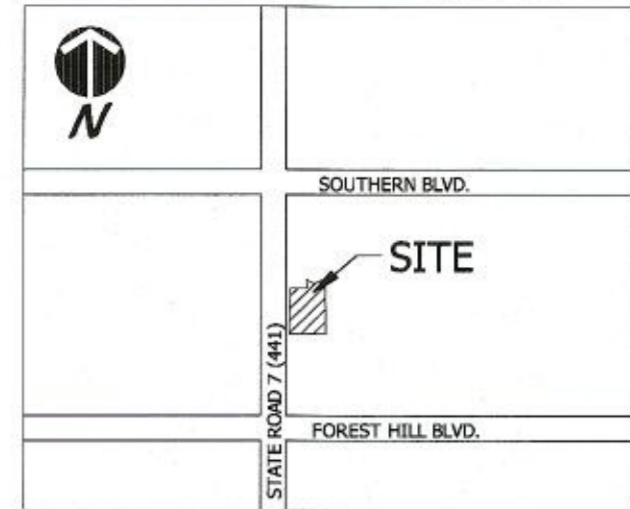
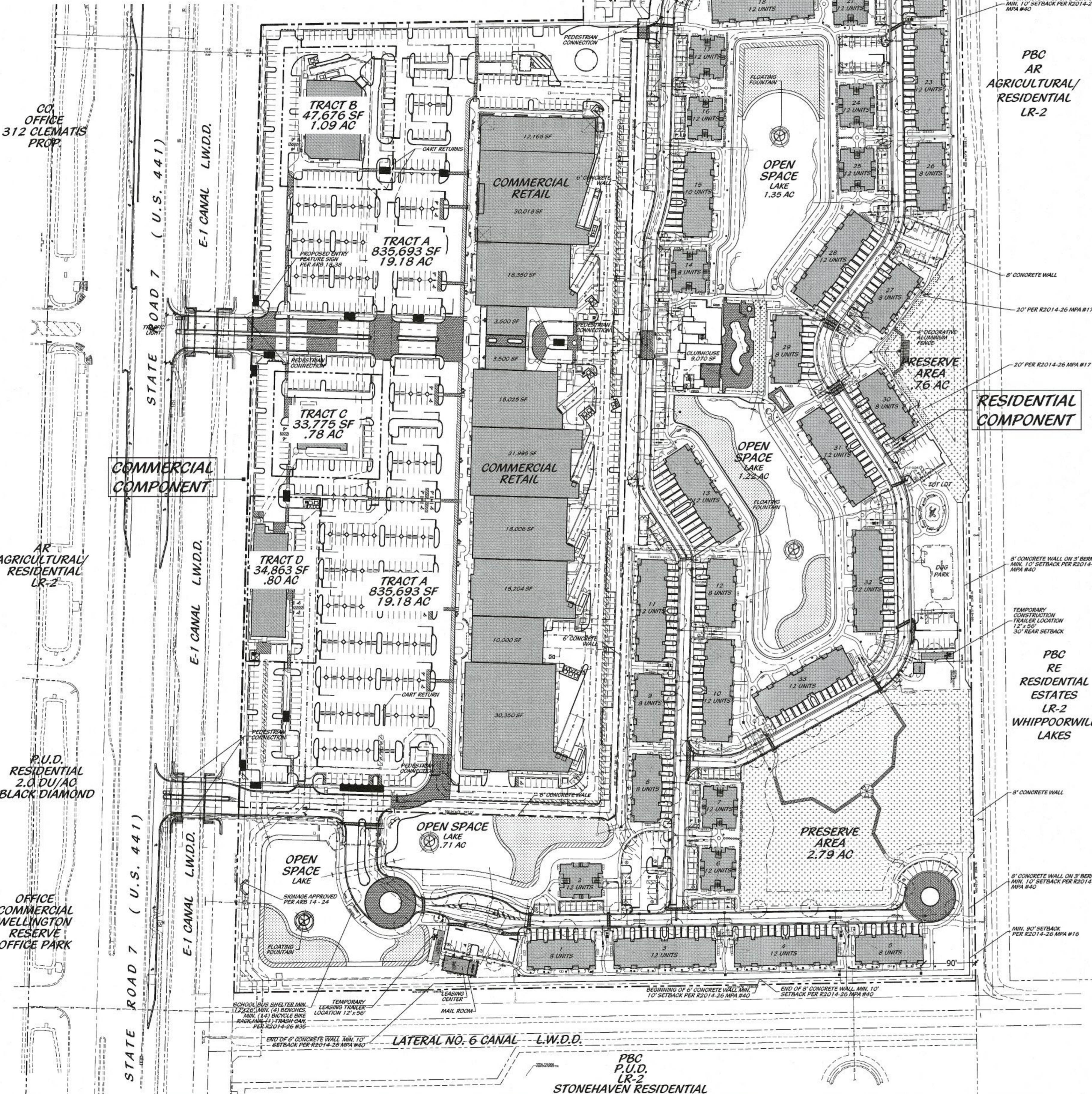


Exhibit A - Site Plan

PBC
AR
AGRICULTURAL/RESIDENTIAL
LR-2



Commercial Site Data

PCN: 72-42-44-06-05-0000
SECTION: 06, TOWNSHIP: 44, RANGE: 42
EXISTING LAND USE DESIGNATION: MIXED USE
FUTURE LAND USE DESIGNATION: MIXED USE TYPE 1
PROPOSED FUTURE LAND USE DESIGNATION: MIXED USE TYPE 1
ZONING DESIGNATION: MUPD
PROPOSED ZONING DESIGNATION: MUPD
VILLAGE PETITION NUMBER: 2002-024-SP1, 18-37 (2018-13 WASA)
FLOOD ZONE: B

MIXED USE LAND AREA:	SQUARE FEET	ACRES	PERCENTAGE
RESIDENTIAL	891,892.00	20.475	38.22%
COMMERCIAL	998,143.00	22.914	42.77%
OPEN SPACE (LAKES AND TRACT L3)	288,568.00	6.624	12.37%
PRESERVE	154,879.00	3.556	6.04%
TOTAL SITE AREA	2,333,482.00	53.569	100.00%

PARCEL DATA	SQUARE FEET	ACRES	PERCENTAGE
PARCEL A - COMMERCIAL / OFFICE	998,143.00	22.914	42.77%
PARCEL B - MULTI-FAMILY RESIDENTIAL	1,335,339.00	30.655	57.23%
TOTAL SITE AREA	2,333,482.00	53.569	100.00%

PROPOSED USES

PARCEL A - RETAIL	SQ. FT.	SQ. FT.
TOTAL GROSS BUILDING AREA	209,326.00	MAXIMUM SQ. FT.

BUILDING DATA

MAXIMUM BUILDING HEIGHT	35 FEET
BUILDING STORES	1, 2 & 3
PHASING	1 PHASE
NUMBER OF BUILDINGS	4 BUILDINGS
TYPE OF OWNERSHIP	PRIVATE

OPEN SPACE CALCULATIONS

SQUARE FEET	ACRES	PERCENTAGE
GREEN SPACE	4,703	0.22%
PLAZAS AND WALKWAYS	44,339.18	1.91%
TOTAL	249,193.09	6.721

SITE AREA CALCULATIONS

SQUARE FEET	ACRES	PERCENTAGE
PERVIOUS	204,853.91	4.703
GREEN SPACE	204,853.91	4.703
SUB-TOTAL	204,853.91	4.703
IMPERVIOUS	209,326.00	4.805
BUILDING LOT COVERAGE	539,623.91	12.388
VEHICULAR USE AREAS	44,339.18	1.018
WALKS, COURTYARDS & PLAZAS	793,289.09	18.211
SUB-TOTAL	793,289.09	18.211
TOTAL	998,143.00	22.914

PARKING CALCULATIONS

REQUIRED	PROPOSED
RETAIL (1,000 FOR 165,142 SQ. FT.)	616
MUPD REDUCTION 45,000 SQ. FT. @ 1/500 SQ. FT.	90
TOTAL	906
HANDICAP INCLUDED IN TOTAL (2% OF REQ.)	21

LOADING ZONES

REQUIRED	PROPOSED
RETAIL (200-250 SQ. FT.)	1
1 LOADING SPACE PER 1ST 10,000 SQ. FT.	2
1 LOADING SPACE EACH ADD. 10,000 SQ. FT.	9
TOTAL	3

PEDESTRIAN AMENITIES

REQUIRED	PROPOSED
BIKE RACKS (5% OF REQUIRED PARKING)	45

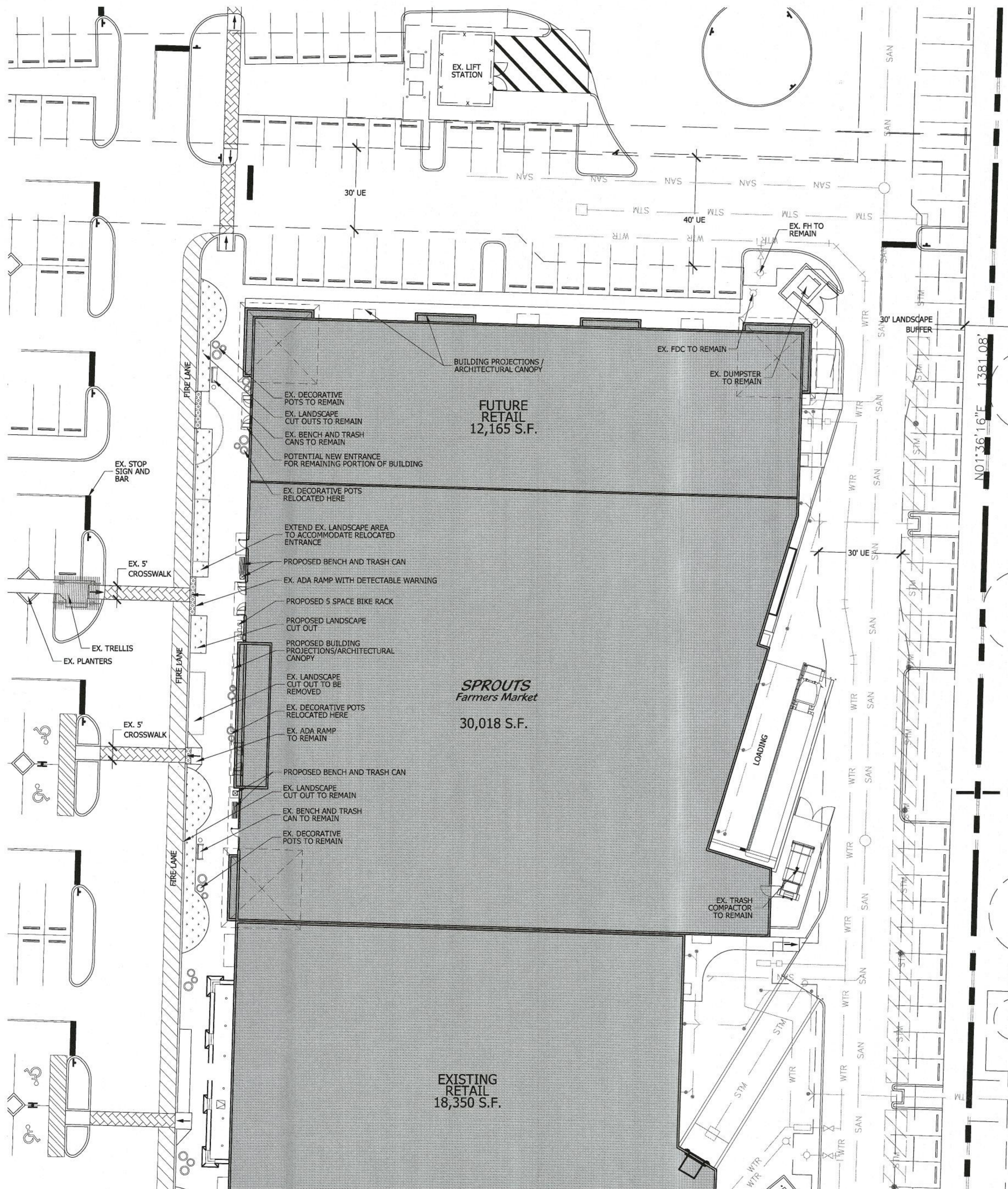
Conditions of Approval

- THIS SITE PLAN IS CERTIFIED PURSUANT TO THE PROVISIONS OF SECTION 5.6 OF THE WELLINGTON CITY CERTIFICATION CONFIRMS THAT THE PROJECT MEETS THE REQUIREMENTS OF SECTION 5.6 AND AUTHORIZES ONLY THE CERTIFICATION OF THE PROJECT LAYOUT AND LEVELS OF DETAILS. THE CERTIFICATION OF THIS SITE PLAN DOES NOT INDICATE THAT THE PROJECT HAS MET THE REQUIREMENTS OF ARTICLE 8 OF THE LOCAL ORDINANCES, ENGINEERING STANDARDS AND SPECIFICATIONS. APPROVAL FROM THE CITY ENGINEER IS REQUIRED PURSUANT TO THE REQUIREMENTS OF ARTICLE 8 OF THE LOCAL ORDINANCES PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS. MODIFICATIONS REQUIRED BY WELLINGTON'S ENGINEERING DEPARTMENT FOR THE PROJECT MAY NECESSITATE MODIFICATIONS TO THIS SITE PLAN. (ENGINEERING)
- SHALL COMPLY WITH THE CONDITIONS OF ORDINANCE NO. 2014-20, ORDINANCE NO. 2014-21 AND RESOLUTION NO. R2014-26 (PLANNING)
- PROVIDE NATIONAL ASSOCIATION OF HOME BUILDERS (NAHB) CERTIFICATION OF SILVER OR HIGHER FOR THE BUILDINGS WITHIN PHASE 2 TO THE WELLINGTON PLANNING AND ZONING DIVISION. THE NAHB CERTIFICATION SHALL BE PROVIDED WITHIN SIX (6) MONTHS OF ISSUANCE OF THE CERTIFICATE OF OCCUPANCY FOR EACH BUILDING. (PLANNING)
- PRIOR TO COMMENCING WORK, THE APPLICANT IS REQUIRED TO OBTAIN ALL NECESSARY APPROVALS/PERMITS. (ENGINEERING)
- PRIOR TO COMMENCING WORK AND THE ISSUANCE OF ANY BUILDING PERMITS, THE APPLICANT IS REQUIRED TO OBTAIN SEWMD, NPDES, LAND ENGINEERING PERMIT, AND ALL NECESSARY ENGINEERING PERMITS. (ENGINEERING)
- APPROVAL IS SUBJECT TO SEWMD PERMIT APPROVAL. ANY CHANGES RESULTING FROM SEWMD SHALL REQUIRE MODIFICATION TO THE SITE PLAN AND APPROVAL FROM DRC. (ENGINEERING)
- PRIOR TO ISSUANCE OF ANY TEMPORARY CERTIFICATES OF OCCUPANCY, THE APPLICANT SHALL OBTAIN CERTIFICATES OF OCCUPANCY (C.O.) FINAL APPROVAL IS REQUIRED FROM THE ENGINEERING DEPARTMENT. FINAL APPROVAL ITEMS TO BE INCLUDED IN THE C.O. ARE: 1. COMPLETION OF ALL CONSTRUCTION, COMPLETION OF PUNCH LIST ITEMS, ENGINEER'S CERTIFICATION OF COMPLETION, AND APPROVAL OF RECORD DRAWINGS. (ENGINEERING)
- IN ORDER TO COMPLY WITH THE MANDATORY TRAFFIC PERFORMANCE STANDARDS IN PLACE AT THE TIME OF THIS DRAWING, NO BUILDING PERMITS FOR THE SITE SHALL BE ISSUED AFTER DECEMBER 31, 2018. A TIME PERMITS FOR THE SITE SHALL BE APPROVED BASED ON A TRAFFIC STUDY WHICH COMPLETES THE MANDATORY TRAFFIC PERFORMANCE STANDARDS IN PLACE AT THE TIME OF THE REQUEST FOR PERMITS. (TRAFFIC)
- THE DEVELOPER SHALL MAKE A PROPORTIONATE SHARE PAYMENT OF \$200.00 PER LOT REPRESENTS THE PROPERTY OWNER'S RESIDENTIAL IMPROVEMENTS TO THE SHORE OF THE IMPROVEMENTS TO BE MADE AT STATE ROAD 70 AND STATE ROAD 7. THE PAYMENT MUST BE MADE BEFORE THE FIRST BUILDING PERMIT IS ISSUED FOR THE MULTI-FAMILY APARTMENTS. THIS PAYMENT SHALL BE MADE TO PALM BEACH COUNTY AND IS REQUIRED FOR COMPLIANCE WITH THE COUNTYWIDE TRAFFIC PERFORMANCE STANDARDS. (TRAFFIC)
- PRIOR TO THE ISSUANCE OF CERTIFICATES OF COMPLETION/OCCUPANCY, FINAL INSPECTION AND APPROVAL IS REQUIRED FROM THE PLANNING AND ZONING DIVISION TO ENSURE COMPLIANCE WITH THE MANDATORY TRAFFIC PERFORMANCE STANDARDS. (TRAFFIC)

NOTE: SEE SHEET 2 OF 7 FOR GENERAL NOTES

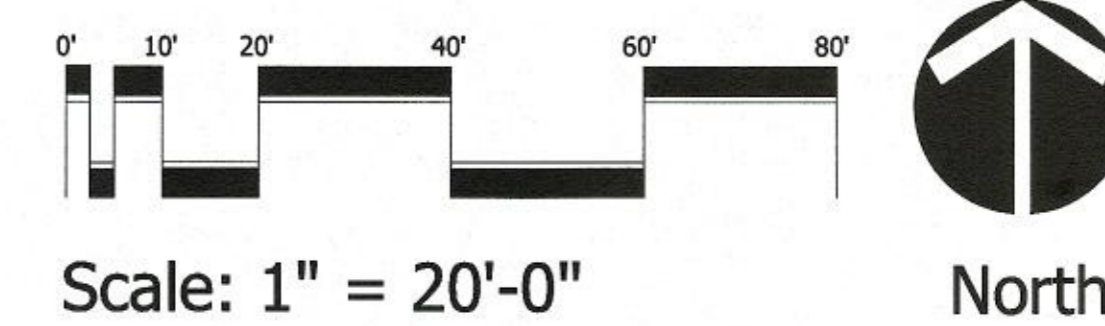
Legal Description

THE SOUTH ONE-HALF (S 1/2) OF TRACT 32 AND ALL OF TRACTS 33 AND 34, 43 THROUGH 48, BLOCK 10, PALM BEACH COUNTY, FLORIDA, PLAT 14-24, RECORDS IN PLAT BOOK 2, PAGES 45 THROUGH 54, AND LESS THE FOLLOWING DESCRIBED PARCELS: (SEE OFFICIAL RECORDS BOOK 1700, PAGE 397) PARCELS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 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1306, 1307, 1308, 1309, 1310, 1311, 1312, 1313, 1314, 1315, 1316, 1317, 1318, 1319, 1320, 1321, 1322, 1323, 1324, 1325, 1326, 1327, 1328, 1329, 1330, 1331, 1332, 1333, 1334, 1335, 1336, 1337, 1338, 1339, 1340, 1341, 1342, 1343, 1344, 1345, 1346, 1347, 1348, 1349, 1350, 1351, 1352, 1353, 1354, 1355, 1356, 1357, 1358, 1359, 1360, 1361, 1362, 1363, 1364, 1365, 1366, 1367, 1368, 1369, 1370, 1371, 1372, 1373, 1374, 1375, 1376, 1377, 1378, 1379, 1380, 1381, 1382, 1383, 1384, 1385, 1386, 1387, 1388, 1389, 1390, 1391, 1392, 1393, 1394, 1395, 1396, 1397, 1398, 1399, 1400, 1401, 1402, 1403, 1404, 1405, 1406, 1407, 1408, 1409, 1410, 1411, 1412, 1413, 1414, 1415, 1416, 1417, 1418, 1419, 1420, 1421, 1422, 1423, 1424, 1425, 1426



VILLAGE OF WELLINGTON
 PETITION NO. 18-37(2018-13)WHS2
 APPROVED LATE: JUNE 28, 2018
 P&Z PROJECT MANAGER: D. NEWELL
 SP1 at 7, SP1 at 1 and LP1 at 1

Site Plan



Cotleur Hearing
 Landscape Architecture
 Planning
 Environmental Consulting
 Graphic Design
 1934 Commerce Lane
 Suite 1
 Jupiter, Florida 33458
 561-747-6336 Fax-747-1377

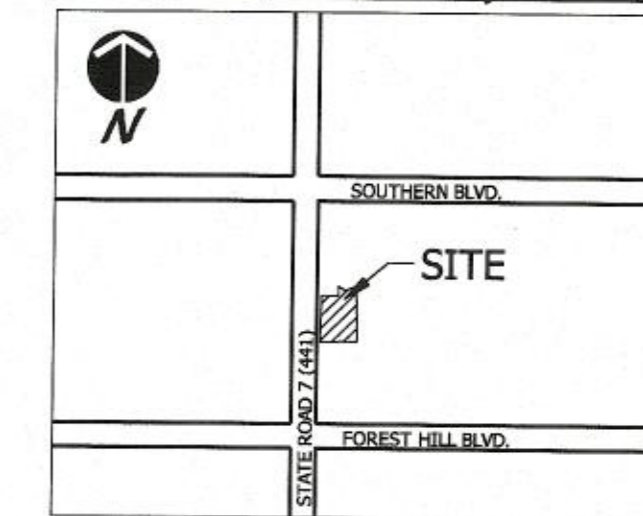
Isla Verde Commercial

Wellington Isles, LLC
 Village of Wellington, Florida

DESIGNED	DEH
DRAWN	RO
APPROVED	DEH
JOB NUMBER	04-1216.04
DATE	04-25-18
REVISIONS	06-06-18
	06-21-18

QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
CANOPY/ACCENT TREES					
3	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	65 GAL, 6' O.A. X 5' SPRD.	A.S.	FULL AND THICK, LIMBED UP, MATCHED
PALM TREES					
2	RELOCATED ROYSTONEA ELATA	RELOCATED FLORIDA ROYAL PALM	RELOCATED	A.S.	EXISTING TO BE RELOCATED FROM PLANTER BEING REMOVED
2	VEITCHIA WININ	WININ PALMS	12' O.A., 8' C.T.	A.S.	FULL, SHADE GROWN, FL. FANCY
SHRUBS AND GROUNDCOVERS					
23	CONOCARPUS ERECTUS VAR. SERICEUS	SILVER BUTTONWOOD	3 GAL, 2' X 2'	2' O.C.	FULL & THICK
23	LIRIOPE MUSCARI 'EVERGREEN GIANT'	LIRIOPE	1 GAL, 1' X 1'	1.5' O.C.	FULL & THICK

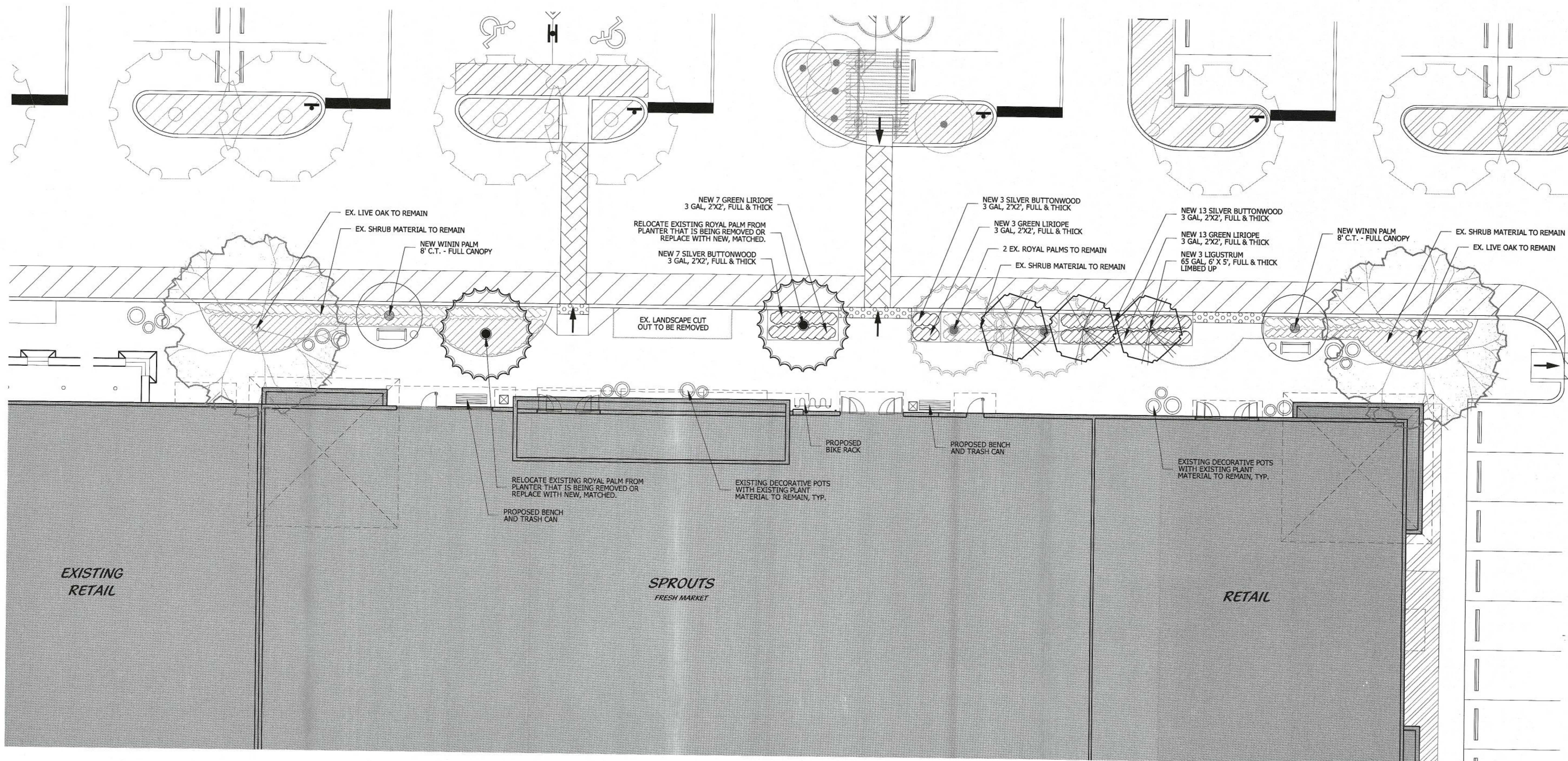
Location Map



**Cotleur
Hearing**

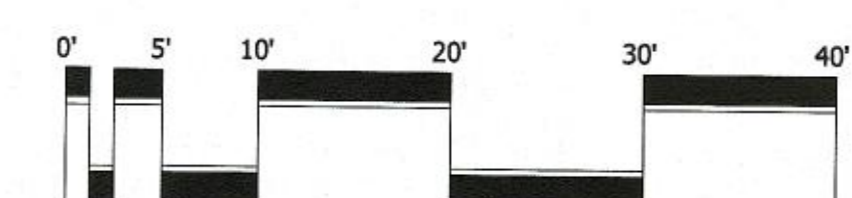
Landscape Architecture
Planning
Environmental Consulting
Graphic Design

1934 Commerce Lane
Suite 1
Jupiter, Florida 33458
561-747-6336 Fax-747-1377



VILLAGE OF WELLINGTON
PETITION NO 18-57(2018-13 WASA1)
APPROVED DATE JUNE 28, 2018
F&Z PROJECT MANAGER: J. NEWELL

Landscape Plan



Scale: 1" = 10'-0"



North

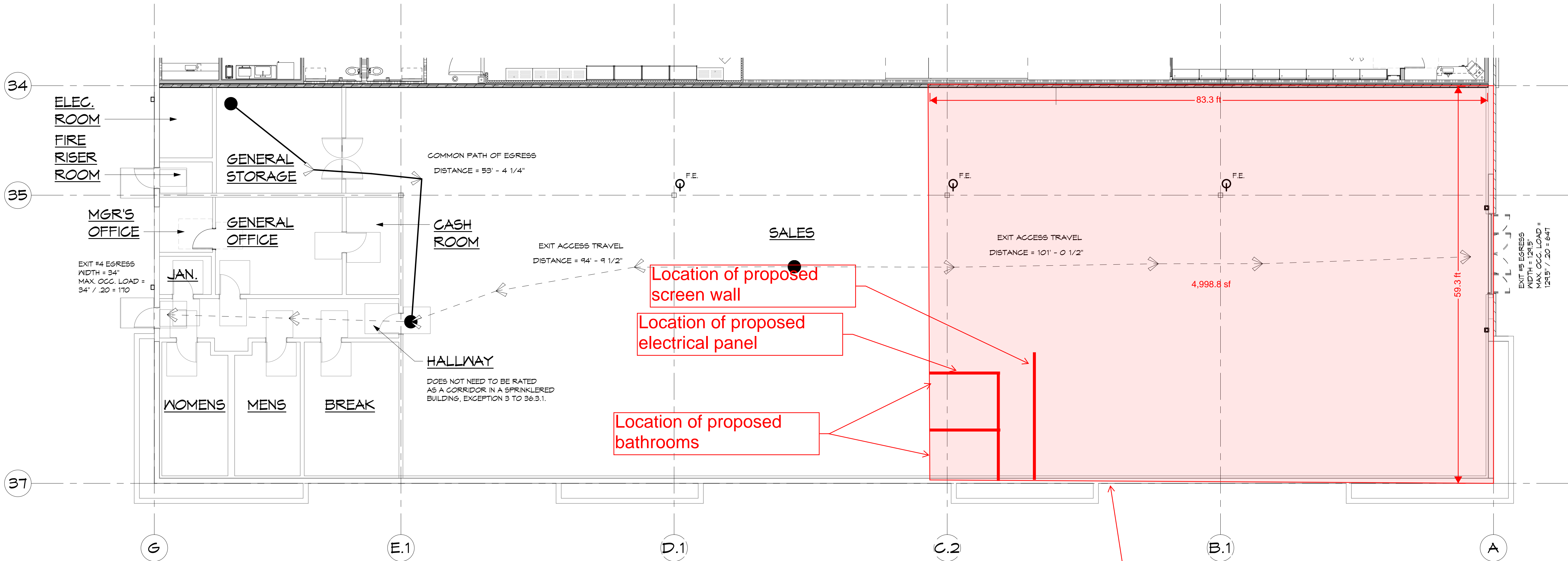
Isla Verde Commercial
Wellington Isles, LLC
Village of Wellington, Florida

DESIGNED DEH
DRAWN RO
APPROVED DEH
JOB NUMBER 04-1216.04
DATE 04-25-18
REVISIONS 06-06-18

June 21, 2018 3:38:34 p.m.
Drawing: 04-1216 LP.DWG

SHEET 1 OF 1

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These drawings are the property of the architect and are not to be used for extensions or on other projects except by agreement in writing with the architect. Immediately report any discrepancies to the architect.



EXIT PLAN

Preliminary layout of Capitol Carpet and Tile in Shoppes at Isla Verde (Wellington, FL). Subject to change once design professionals are engaged.

EGRESS DATA:

EGRESS DATA:

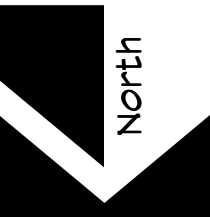
OCCUPANT LOAD COUNT (PER 2011 FLORIDA BUILDING CODE):

OCC. CLASS	AREA (S.F.)	OCC. FACTOR	MAX. OCC.
OFFICE	455	100	4
RESTROOM	393	60	6
SALES	4520	60	155
BREAK ROOM	252	15	15
STORAGE	245	300	1
HALLWAY	220	60	3
TOTAL	11195		190

EXIT WIDTH REQUIRED PER OCCUPANT: .20' / OCCUPANT (PER 2011 FLORIDA BUILDING CODE - SECTION 1005.3.2)

REQUIRED EXIT WIDTH: 36'
PROVIDED EXIT WIDTH: (124.5' + 36') = 165.5'
50% OF REQUIRED CAPACITY: 19'
GREATEST LOSS OF ANY ONE MEANS OF EGRESS: 124.5'
165.5' - 124.5' = 36' REMAINING
36' - 19' = COMPLIANT.

TOTAL NUMBER OF EXITS REQUIRED: 2
TOTAL NUMBER OF EXITS PROVIDED: 2



SCALE: 1/8" = 1'-0" 1

ACCESSIBILITY NOTES

1. DISABLED ACCESS TO THESE FACILITIES SHALL BE PROVIDED AT PRIMARY ENTRANCE.
2. THE SLOPE OF PUBLIC WALKS SHALL NOT EXCEED MAXIMUM CROSS SLOPE 2% WALKING SURFACE SLOPING GREATER THAN 2% SHALL BE SLIP RESISTANT.
3. PROVIDE A 60" x 60" MINIMUM LANDING WITH 24" OF THE LANDING BEYOND STRIKE SIDE OF DOOR WITH 44" MINIMUM WIDTH IN DIRECTION OF TRAVEL.
4. WALKS SHALL EXTEND 24" TO THE SIDE OF THE STRIKE EDGE OF A DOOR OR GATE THAT SWINGS TOWARD THE WALK.
5. RAMPS SHALL HAVE A NON-SLIP SURFACE; WITH TACTILE WARNING SURFACE. RAMPS SHALL BE 36" WIDE MINIMUM U.N.O. AND 48" WIDE WITH HANDRAILS.
6. EVERY REQUIRED EXIT DOORWAY SHALL BE SIZED FOR A DOOR NOT LESS THAN 3 FEET WIDE BY NOT LESS THAN 6'-8" HIGH CAPABLE OF OPENING 90° AND MOUNTED SO THAT THE CLEAR WIDTH OF THE EXIT WAY IS 32" MINIMUM.
7. ALUMINUM THRESHOLD TO BE A MAXIMUM 1/2" ABOVE ADJACENT FINISH FLOOR.
8. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS.
9. THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE.
10. PROVIDE LEVER TYPE HARDWARE, PANIC BARS, PUSH / PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. (30" TO 44" ABOVE FINISH FLOOR).
11. SELF CLOSING DOORS TO REMAIN OPEN FOR MINIMUM OF 10 SECONDS.
12. LOCATE WATER CLOSETS IN A 60" x 60" MINIMUM AREA, 18" FROM WALL TO CENTER LINE OF WATER CLOSET.
13. PROVIDE 48" x 48" SPACE AT PUSH SIDE OF DOOR AND 54" DEEP SPACE AT PULL SIDE OF DOOR INTO TOILET ROOM AND WATER CLOSET STALL.
14. PROVIDE 1 1/2" Ø GRAB BARS AT 39" ABOVE FINISH FLOOR AT REAR AND SIDE OF WATER CLOSET GRAB BAR AT SIDE TO BE 42" LONG AND EXTEND 35" FROM BACK WALL OF TOILET. GRAB BAR TO BE 36" LONG AT BACK WITH 1 1/2" CLEAR FROM WALL. BAR FASTENERS AND MOUNTING SUPPORTS TO WITHSTAND A MINIMUM 250 LBS. PER FOOT IN BENDING, SHEAR STRESS AND SHEAR FORCE.
15. WATER CLOSETS SHALL HAVE A SEAT HEIGHT OF 17" TO 19" ABOVE FINISH FLOOR FLUSH VALVES TO HAVE A MAXIMUM 5 LBS. OPERATING FORCE.
16. URINAL TO HAVE AN ELONGATED RIM AT 17" ABOVE FINISH FLOOR MAXIMUM AND A CLEAR SPACE OF 30" x 48" IN FRONT. FLUSH VALVES TO BE MOUNTED 44" ABOVE FINISH FLOOR AND HAVE MAXIMUM 5 LBS. OPERATING FORCE.
17. PROVIDE 30" x 48" CLEAR SPACE IN FRONT OF LAVATORY AND 24" CLEAR FROM FLOOR TO BOTTOM OF APRON FOR KNEE SPACE.
18. PROVIDE A CLEARANCE 27" HIGH x 8" DEEP BEHIND FRONT OF LAVATORY AND A TOE CLEARANCE OF 9" FROM THE FLOOR AND 17" DEEP FROM THE FRONT OF THE LAVATORY.
19. INSULATE HOT WATER AND DRAIN PIPES AT SINKS.
20. FAUCET CONTROLS SHALL BE OPERABLE WITH ONE HAND AND NOT REQUIRE GRASPING, PINCHING, OR TWISTING. FAUCET TO HAVE A MAXIMUM 5 LBS. OPERATING FORCE.
21. LOCATE TOWEL, SANITARY NAPKIN, AND WASTE RECEPTACLES WITH ALL OPERABLE PARTS WITHIN 40" OF FINISHED FLOOR.
22. LOCATE TOILET PAPER DISPENSERS ON THE WALL WITHIN 12" OF THE FRONT EDGE OF THE TOILET SEAT AND 14" ABOVE FINISH FLOOR.
23. WATER CLOSET FLUSH LEVER TO BE ON OPEN SIDE OF TANK AWAY FROM WALL.
24. ALL BUILDING AND FACILITY ENTRANCES THAT ARE ACCESSIBLE AND USABLE BY PERSONS WITH DISABILITIES AND AT EVERY MAJOR JUNCTION ON OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE IDENTIFIED WITH A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WITH ADDITIONAL DIRECTIONAL SIGNS TO BE VISIBLE TO PERSONS ALONG APPROACHING CIRCULATION PATHS PER C.B.C. SECTIONS 111TB.5.2.1.2 AND 112TB.3.
25. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR NUMBER 15040 IN FEDERAL STANDARD 595B.
26. WHEN SIGNS DIRECT TO OR GIVE INFORMATION ABOUT PERMANENT ROOMS AND FUNCTIONAL SPACES OF A BUILDING OR SITE, THEY SHALL COMPLY WITH SECTIONS 111TB.5.3, 1022.5, 1005.1.1.1, 1007.1, 1007.10, 1007.11 AND 1007.4.

PROJECT DATA - NFPA 101- 2015

CLASSIFICATION:

EXISTING: GROUP M, ORDINARY HAZARD, SUB-GROUP B
PROPOSED: GROUP M, ORDINARY HAZARD, SUB-GROUP B
NO CHANGE

1-HOUR FIRE RATED DEMISING WALL TO BE PROVIDED BETWEEN SPROUTS AND NEW TENANT SPACE, COUNTED AS SEPARATED AREAS AS SPACES ARE SPRINKLERED

AREA ACCESSIBLE TO THE PUBLIC:

OCC. CLASS	AREA (S.F.)
RESTROOM	393
SALES	4520
HALLWAY	220
TOTAL	10123

OCCUPANCY LOAD COUNT:

OCC. CLASS	AREA (S.F.)	OCC. FACTOR	MAX. OCC.
OFFICE	455	300	1
RESTROOM	393	60	6
SALES	4520	50	917
BREAK ROOM	252	15	15
STORAGE	245	300	1
HALLWAY	220	60	3
TOTAL	11195		346

EGRESS DATA:

OCCUPANT LOAD PER SHEET T1.0: 346 OCCUPANTS

EXIT WIDTH REQUIRED PER OCCUPANT: .20' / OCCUPANT (PER NFPA 101- 015)

REQUIRED EXIT WIDTH: 69.2'
PROVIDED EXIT WIDTH: (124.5' + 36') = 165.5'
50% OF REQUIRED CAPACITY: 34.6'
GREATEST LOSS OF ANY ONE MEANS OF EGRESS: 124.5'
165.5' - 124.5' = 36' REMAINING
36' - 34.6' = COMPLIANT.

TOTAL NUMBER OF EXITS REQUIRED: 2
TOTAL NUMBER OF EXITS PROVIDED: 2

1/3 OF BUILDING DIAGONAL: 10 FT. = MIN. DISTANCE BETWEEN EXITS

140'-0" PROVIDED BETWEEN EXITS #4 AND #5

GREATER THAN 10' PROVIDED BETWEEN EXIT #4 AND #5

SYMBOL LEGEND:

- EXIT ACCESS TRAVEL DISTANCE (NOT TO EXCEED 250'-0")
- COMMON PATH OF EGRESS TRAVEL (NOT TO EXCEED 75'-0") (NOT TO EXCEED 100'-0" IN BACK OF HOUSE) (NOT TO EXCEED 100'-0", PER NFPA 101- 2015)
- KNOX BOX, LOCATION AS REQUIRED BY THE FIRE DEPARTMENT
- FIRE EXTINGUISHER
- EMERGENCY EXIT SIGNAGE
- TACTILE EXIT SIGNAGE

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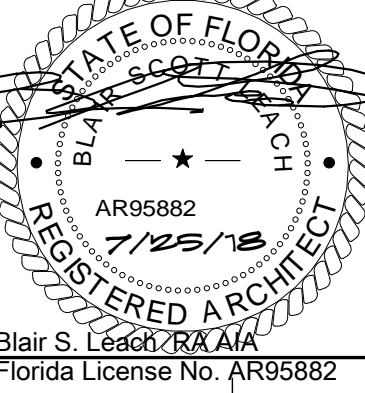
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SPROUTS
FARMERS MARKET
SPROUTS FARMERS MARKET #620
WELLINGTON, FL

Revision	By	Date	Description
1	AMC	07/23/20	2ND CITY SUBMITTAL

Firm's Florida Lic. No. AA26002353



SPROUTS FARMERS MARKET #620
820 SOUTH STATE ROAD 7 #100
WELLINGTON, FLORIDA 33414
EXIT PLAN - SHELL NORTH

DATE: 05-25-18
SCALE: AS NOTED
DRAWN BY: AAD: FITCH
PROJECT NUMBER: 320108628
SHEET: EX1.1
REV: 1