



**STAFF REPORT
PLANNING & ZONING DIVISION**

ARB Number: 19-026 (ARB 19-005)

Project Name: The Window Guys at Commerce Park West Lot 3
Signage with Technical Deviations

Owner: MCP1218, LLC
2361 Vista Prkwy STE 4
West Palm Beach, FL 33411

Applicant: Douglas Ensinger, Signarama
1367 N. Military Trail
West Palm Beach, FL 33409

Agent: Gil Strelec Jr
PO Box 19363
West Palm Beach, FL 33416

PCN: 73-41-44-23-02-000-0030

Existing Zoning: Flexible Zoning Employment Center (FZEC)

**Future Land
Use Designation:** Industrial

Project Manager: Branden Miller, Planner

REQUEST

The agent, Gil Strelec Jr., on behalf of the applicant, Signarama, is seeking Architectural Review Board (ARB) approval for a tenant, The Window Guys of Florida, to install a secondary end wall sign on the north elevation (side) with technical deviations.

LOCATION AND VICINITY:

The Window Guys of Florida is located on the northeast corner of Fortune Circle in Commerce Park. (Exhibit A – Commerce Park Site Plan). Commerce Park is located east of Village Park and South of the intersection of Fairlane Farms and Pierson Road.



BACKGROUND:

On November 12, 1981, the Palm Beach County Board of County Commissioners approved the plat known as Wellington Park at Wellington PID. The Business Park consists of several buildings that contain a variety of industrial type tenants and storage buildings.

STAFF ANALYSIS:

Staff based their review on plans submitted on February 28, 2019 prepared by Signarama for consistency with Wellington's Land Development Regulations (LDRs) Section 7.14.11.E Major and Local Tenant Wall Signs and Section 7.14.9.C Technical Deviations of Wellington's Land Development Regulations (LDR). The proposed signage is considered a Local Tenant Wall Sign. A maximum of one (1) wall sign is allowed for the principal façade and one (1) wall sign on the side façade at 50 percent the allowed principal façade sign area. The applicant is requesting to allow the second wall sign to have two (2) lines of copy, 33 inches height, and 20 feet in length with a sign area of 55 square feet.

7.14.9.C – Criteria For Technical Deviations

1. No deviation may be granted which has the effect of permitting any sign specifically prohibited by these regulations.

The proposed sign is permitted. It is a secondary wall sign as permitted in Section 7.14.11.E.6.a.

2. The deviation must enhance the aesthetic result of the overall sign program or mitigate a unique feature of a user, structure, or location that warrants a technical deviation from the code in the opinion of the Board.

The proposed end wall sign exceeds the maximum allowed height by 9 inches from what is permitted by code. Staff supports the proposed sign as the south elevation faces Fortune Circle and the west elevation, which is the main entrance, faces lush landscaping and another building. The primary wall sign is interior to the shopping plaza, faces other interior buildings, cannot be seen from Fortune Circle, and can only be seen if entering the building's parking lot. (Exhibit D – Existing View from Right of Way). A larger end wall sign will allow the user to find the tenant in ample time to turn into the plaza.

It is also important to note that the use of a channel letter sign with the proposed font type as opposed to a box type sign makes the sign smaller in appearance.

3. Approval of the deviation must not negatively impact other tenants or building shown on the Master Sign Plan.

A request of a Technical Deviation would not negatively impact another tenant or building shown on the Master Sign Plan as other tenants could request a technical deviation as well. Other nearby tenants has storefronts with signs directly facing Pierson Road.

4. Approval of the deviation must not cause any negative off-site impacts.

The proposed design should not cause any negative off-site impacts as other tenants within the village have been granted the same technical deviation. The larger sign will increase visibility of the tenant, which is needed to easier locate them from the adjacent Fortune Circle.

RECOMMENDATION:

Staff recommends approval of the proposed north elevation end wall sign with the following conditions:

1. The secondary (end) wall sign shall comply with the following criteria as shown in Exhibit B – Proposed Wall Sign:

- a. Maximum Height: 33 inches (Technical Deviation)
- b. Maximum Length: 20 feet (Technical Deviation)
- c. Maximum Lines of Copy: 2
- d. Maximum Sign Area: 55 SF

2. A building permit is required prior to installation of all signs.

Exhibits

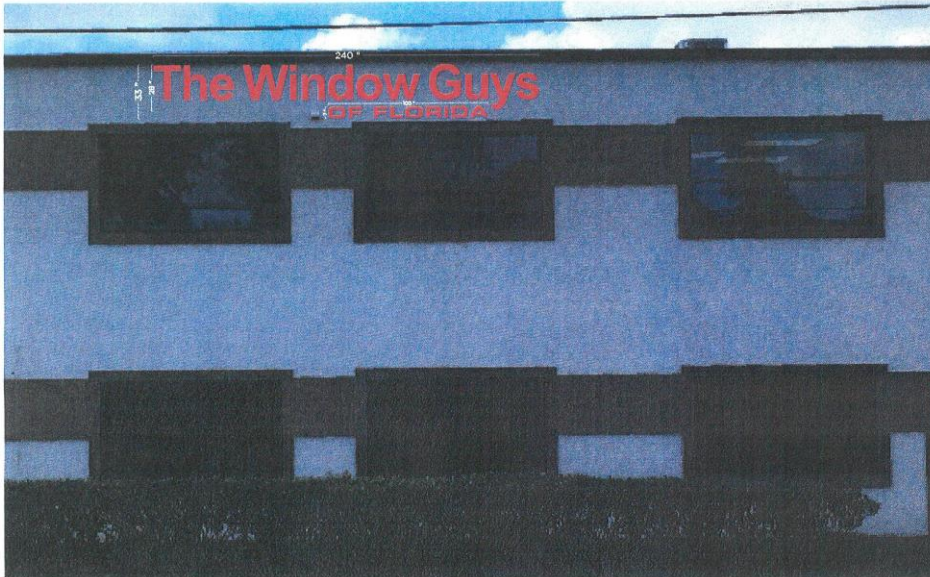
Exhibit A	Commerce Park Site Plan
Exhibit B	Proposed Wall Sign
Exhibit C	Project Location
Exhibit D	Maximum End Wall Sign Allowed Per Code
Exhibit E	Existing View from Right of Way
Exhibit F	Justification Statement

Exhibit B

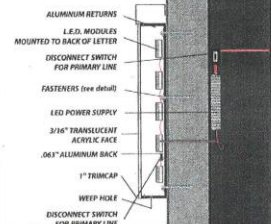


The way to grow your business.

North Elevation - 11300 Fortune Cir., Wellington, FL 33414



FRONT-LIT CHANNEL LETTERS TYPICAL CONSTRUCTION - N.T.S.



ALL COMPONENTS, WIRING & CONSTRUCTION TO BE UL APPROVED -
STANDARD 120 PRIMARY WITH DISCONNECT SWITCH

FASTENING DETAILS

Block, Stucco, Plywood: 1/4\"/>

Concrete: 3/8\"/>

Wood Studs: #10 x 2\"/>

Drywall (interior): 3/16\"/>

Illuminated Channel Letters

Face lit channel letters with white acrylic faces and red perforated vinyl applied to the faces, black trim cap, returns painted to match the building.

Client:	Date:
Landlord:	Date:

Notes: These drawings are the exclusive property of Signarama, NTS. They are submitted to you under your company for the sole purpose of your consideration of whether to purchase this service. A sign from Signarama, NTS, that is not properly installed by you or your company after your purchase agreement is entered into is a defective product. It is the responsibility of the customer to ensure proper installation. Signarama, NTS, is not responsible for any damage to the building or other property caused by the use of the sign. The customer is responsible for obtaining all necessary permits and approvals from the local authorities. Signarama, NTS, is not responsible for any damage to the building or other property caused by the use of the sign. The customer is responsible for obtaining all necessary permits and approvals from the local authorities.

Signarama
The way to grow your business.

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dana@signaramawpb.com

Client: The Window Guys of Florida
Location: Wellington, Florida
Date: 10/5/2018
Sales: Doug Ensinger
Artwork: AC
File Name: The Window Guys of Florida bldg letters 2018.PS

COLORS ON DESIGN
ARE REPRESENTATIONS
AND ARE NOT EXACT.
A SWATCH WILL BE
PROVIDED UPON
CUSTOMER REQUEST

CALCULATIONS

Storefront: 93'

Allowable Sign Area: 75 sq. ft.

Proposed Sign: 55 sq. ft.

Exhibit C

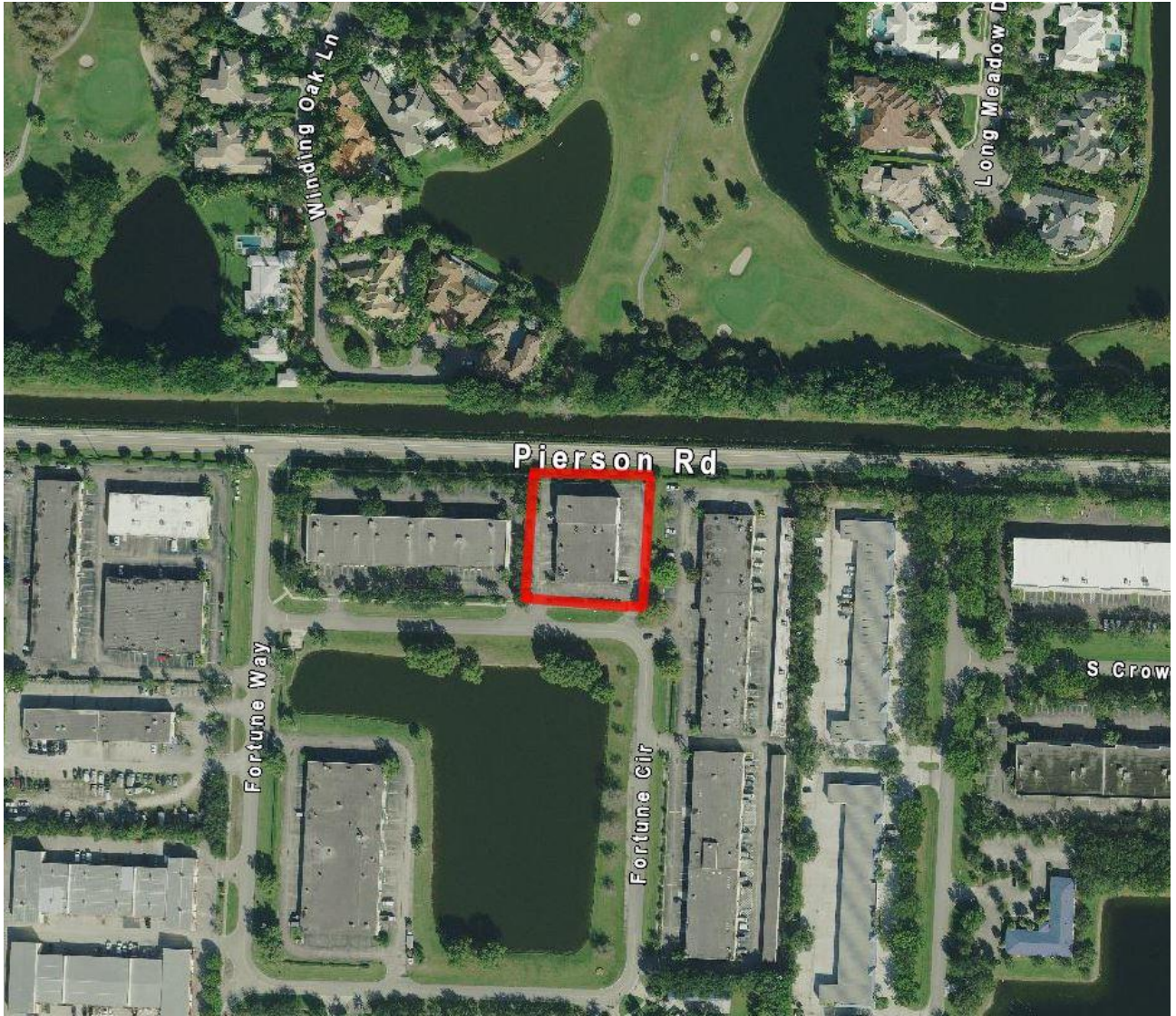


Exhibit D

Sec. 7.14.11.E.6. Sign requirements for commercial and industrial uses.

Number of Wall Signs. One (1) wall sign shall be permitted for each principal storefront façade of an individual bay or store.

- a) End location wall signs. One (1) additional wall sign, not to exceed fifty percent (50%) of the maximum square footage allowed for the principal wall sign shall be permitted if the store is located on the end of the shopping center structure.
- b) Residential zoning district limitation. Wall signage facing a residential zoning district shall not exceed twenty-five percent (25%) of the maximum square footage allowed for the principal wall sign.
- c) Required architectural treatment. A second wall sign of this nature shall be allowed only if the architectural treatment of the primary façade is extended to include the wall located at the end of a shopping center.

Exhibit E



Exhibit F



Re: The Window Guys of Florida

11300 Fortune Circle

Wellington, FL 33414

PCN: 73-41-44-23-02-000-0030

Village of Wellington Architectural Review Board,

Justification Statement:

A: The proposed request is consistent with the Purpose, goals, objectives and policies of the comprehensive plan. Unfortunately our client's main entrance faces west which is a wooded area. Putting a sign over the main entrance would not do his business justice. Relocating the sign to the North elevation (Pierson Rd) would give our client better viability and would be consistent with other business identification signs in this area. Based on the amount of letters in the business name, the request is to have 2 lines of copy to stay inside of 20 feet in length overall. The Window Guys letters are 21" and the OF FLORIDA letters are 7". Stacking the letters makes the overall height of the sign 33". The overall size of the signage is 55 sq ft. The allowed sq ft based on the size of the building is 75 sq ft.

B: The proposed request is not in conflict with any portion of Wellington's LDR and is consistent with the purpose and intent of LDR. The proposed sign is consistent with other signs in the area.

C: The proposed request is compatible and consistent with existing uses and the zoning of properties surrounding the subject site the proposed request is appropriate for the site and surrounding area. See comment on line A

D: The proposed request is consistent with Wellington neighborhood aesthetics. Yes, the signs color and style meets others that have been granted and approved per LDR.



Technical Deviation Statement:

A,B,C & D: The technical Deviation is to increase the sign height from 24" to 33" overall due to 2 lines of copy staying within the allowed square footage as per the Village of Wellington code. The surrounding area has been rewarded technical deviation in the recent past and our slight increase does not negatively impact any other business's signage impact. Based on the amount of letters in the business name, the request is to have 2 lines of copy to stay inside of 20 feet in length overall. The Window Guys letters are 21" and the OF FLORIDA letters are 7". Stacking the letters makes the overall height of the sign 33". The overall size of the signage is 55 sq ft. The allowed sq ft based on the size of the building is 75 sq ft.

E: The Technical Deviation does not cause any negative off site impact since it's in a retail shopping center with similar signage, businesses and main road visibility.

Sincerely,

A handwritten signature in blue ink, appearing to read "Gill Strelec Jr.", with a large, stylized initial "G" and "S".

Gill Strelec Jr (Agent)