



**STAFF REPORT
PLANNING & ZONING DIVISION**

I. PETITION DESCRIPTION

Petition Number: 19 – 22 (ARB 19 – 02)

Project Name: Wellington Green Congregate Living Facility (CLF)
(F.K.A. Devonshire CLF)

Owner: Wellington Senior Housing Prop Co, LLC

Petitioner/
Applicant: ZF Development II, LP

Agent: Wantman Group, Inc.

Project Manager: Damian Newell, Senior Planner

Request: The petitioner is seeking Architectural Review Board (ARB) approval of the building elevations, exterior colors, materials and site amenities for the congregate living facility (CLF) proposed within Pod “A” of the Wellington Green project.

II. SITE DATA

Existing Land Use: Regional Commercial/Large Scale Multiple Use

Existing
Zoning District: Planned Unit Development (PUD)

Parcel Size: 40 acres (Vacant affected area)

PCN: 73-41-44-13-06-001-0000 and 73-41-44-13-07-001-0000

Location: The subject site is located half a mile south of Forest Hill Boulevard and State Road 7. Exhibit “A” is a location map of Pod “A” within the Wellington Green project.

III. LAND USE AND ZONING

EXISTING LAND USE, FUTURE LAND USE & ZONING

Dir.	Existing Use	Future Land Use	Zoning District
North	Wellington Green MUPD “G” (Mall at Wellington Green)	Regional Commercial-Large Scale Multiple Use (RC-LSMU)	Multiple Use Planned Development (MUPD)
South	Castellina PUD	Residential “C”	Planned Unit Development (PUD)
East	Wellington Green MUPD “C”	RC-LSMU	MUPD
West	Wellington Green Pod “B” (The Estates apartments)	RC-LSMU/ Conservation	PUD

IV. BACKGROUND

The Wellington Green project consists of seven MUPDs and one PUD. The six (6) perimeter MUPDs (A-F) and the central mall (G) were approved for a variety of commercial, retail, hotel, office and personal service uses. The PUD currently consists of 224.85 acres, with three residential pods (A, B & C). Most recently, Council approved (Resolution No. R2017-09) a Master Plan Amendment to allow an additional hotel in MUPD "B" and amend certain conditions of approval.

Pod "A" (Devonshire CLF) of the Wellington Green project encompasses 46.13 acres, with a portion developed as the existing NuVista Health Center building. Approximately 40 acres still remains vacant since the original Devonshire Site Plan approval in 2008. The new owner recently purchased the subject vacant parcel in 2018 and is currently undergoing final site plan amendment approval (Petition No. 18-66/2018-25 ASA 58) to modify the buildings and site layout.

As a result, the petitioner is seeking ARB approval of all building elevations, exterior colors, materials and site amenities for the proposed CLF project. The petitioner has indicated signage will be a separate request in the future.

V. STAFF ANALYSIS

Staff reviewed the request for Architectural Review Board (ARB) approval of all building elevations, exterior colors, materials and site amenities for consistency with Wellington's Land Development Regulations (LDR) and Wellington Green Development Order (DO).

Elevations/Architectural Details, Colors and Site Amenities:

The elevations/architectural details, colors and site amenities were reviewed based on the LDR Sec. 6.5.19.G. Design Standards for Multifamily and Non-residential Development and most recent approved Wellington Green Development Order.

Elevations/Architectural Details

The proposed CLF project includes eight (8) one-story villas (16 units total), five (5) three-story garden flat buildings (60 units total) with detached parking garage buildings, one (1) four-story assisted living building (124 units total), two (2) six-story independent living buildings (224 units total) with a two-story Commons building in the center, clubhouse/leasing office building and entry feature building. All the buildings are proposed with smooth stucco finished walls and accent stone veneer on some buildings.

Exhibit "B" is the proposed one-story villa elevations. The drawings illustrate a building mean roof height of 17' – 0", flat concrete tile pitched roof with 5:12 slope, awnings and architectural details for the proposed villas. Staff recommends adding projection on the front façade at both ends of the building or in the middle with the garage. Also, the dormers size should be reduced to an appropriate scale for the façade and building.

Exhibit "C" is the proposed elevations for the three-story garden flat buildings and detached parking garage buildings. The drawings illustrate a building mean roof height of 42' – 0", flat concrete tile pitched roof with slope range from 2:12 to 6:12, aluminum patio railing, decorative Bermuda shutters and architectural details for the

proposed garden flats. The one-story detached parking garage building is illustrated with a building mean roof height of 10' – 6", flat concrete tile pitched roof with 4:12 slope and architectural details. The parking garage roofline for this building is extensive. Staff recommends breaking up the roofline by having one large dormer in the middle instead of the proposed two small dormers in the middle. Also, incorporating the column detail from the garden flats to both ends of the parking garage building on the wall in the front façade is recommended.

Exhibit "D" is the proposed four-story assisted living building. The drawings illustrates a building mean roof height of 50' – 8", flat concrete tile pitched roof with 5:12 slope, awnings/Bermuda shutters and architectural details for the proposed villas. Staff recommends providing additional shutters to the upper floors at the end of the building on the north and west elevations. Also, shutters on the upper floors of the east elevation.

Exhibit "E" is the proposed six-story independent living building and two-story Commons building in the center. The drawings illustrates a building mean roof height of 68' – 6", flat concrete tile pitched roof with 6:12 slope, awnings and architectural details for the proposed six-story independent living buildings. The two-story Commons building in centrally located between the two independent living buildings with a building mean roof height of 43' – 7", metal pitched roof with 3:12 and 6:12 slope, accent stucco siding, awnings/Bermuda shutters and architectural details.

Exhibit "F" is the proposed one-story clubhouse/leasing office building with a building mean roof height of 28' – 3" and entry feature structure. The drawings illustrates a metal pitched roof with 3:12 and 6: 12 slope, accent stucco siding, Bermuda shutters and architectural details.

This is a planned development which requires compatible architecture, design, materials and colors throughout the Wellington Green project. Per LDR Sec. 6.5.19.G. the intent of these Design Standards is to provide buildings and structures that reflect good design, utilize proper design concepts and are appropriate to the Village of Wellington and requires compliances with the following standards:

1. The proposed building or buildings must be appropriate to the character of the area in which they are to be located, compatible with area land uses, and utilize materials, design and architecture that are compatible with the design, character and style of area development.

Response: The Wellington Green project was designed to have Mediterranean/Italian Renaissance architecture, with buildings utilizing earth tone colors, tile roof, stucco finish, stone veneer, etc. If approved by ARB, this project will be the first throughout the overall Wellington Green project to utilize metal roof as an accent roof material. The proposed buildings are compatible with other buildings in the surrounding area, with the use of earth tone colors, architectural features, parapet roof, stucco finish and stone veneer.

2. The exterior design and appearance of the proposed building or building must not adversely affect the value of adjacent developed or vacant properties.

Response: The proposed exterior design and appearance is compatible and generally consistent with the on-site NuVista building and surrounding existing developments. These proposed buildings will be surrounded by other multi-story

buildings, including the multi-family developments to the northwest. Multi-story buildings are required to provide increased minimum height standards for trees/palms to minimize adverse effects.

3. Projects involving proposed construction of multiple buildings shall provide an overall unity of character and design. The use of architecture, designs, materials and colors must produce a complete development that is both harmonious and internally consistent.

Response: This multi-building project is proposed with architectural elements, colors and materials which are harmonious and complementary to the existing NuVista building. Staff recommends the proposed buildings include the muted yellow color and aluminum railing from the NuVista building.

4. Building shall be designed in a manner that is compatible with the character, mass, bulk and scale of surrounding structures.

Response: As illustrated on elevations (Exhibit "B-F"), the proposed multi-story building scale, colors, materials, design and architecture are compatible and appropriate to the character of the surrounding area, which has existing 4-story multi-family buildings and 5-story hotels. The proposed multi-story buildings are located over 250 feet from the nearest single-family residence in the Castellina development, with a lake along the south property line of this project. The buildings will have a horizontal length over 100 linear feet facing the south. The building projections and recesses will help minimize massing of these multi-story buildings. Staff is also recommending the use of the muted yellow color from the NuVista building as an accent to help break-up the bulk of these buildings.

5. Accessory buildings and structures shall conform to the design, materials, colors and style of the principal structures. Accessory buildings and structures should be clearly subordinate and complimentary to the principal structures.

Response: The proposed dumpster and generator enclosure is incorporated into the assisted living and independent living buildings, and are compatible with the design and style of the buildings. The applicant has indicated elevations for the proposed covered parking, trellis, gazebo and shade structures will be provided in a separate submittal for ARB approval.

6. Signs shall be compatible with the architectural style, design, colors and materials of the proposed building or buildings and shall comply with the Village sign regulations.

Response: The petitioner has indicated signage for this project will be a separate request in the future.

Staff recommends approval of the elevations and architectural details with the above recommendations.

Color/Material

The proposed exterior color/material palette (Exhibit G) was reviewed for consistent/compatibility with the surrounding area and Wellington's approved ARB Color Chart. The proposed color palette indicates the base color schemes as Pure

White SW7005. The accent color schemes are Light French Gray SW0055, Let it Rain SW9152, Interesting Aqua SW6220. The railing, louver shutters and frames are Urbane Bronze SW7048 and aluminum bracket are Coconut Husk SW6111. The glass glazing color is light gray and window frame is Anodized Dark Bronze. The buildings/structures are proposed with standing seam metal roof and/or concrete tile roof in a light gray color. The fencing/railing, site furniture, trash receptacle, bike rack, light fixtures, regulator signage, etc., will be finished in black or dark bronze color.

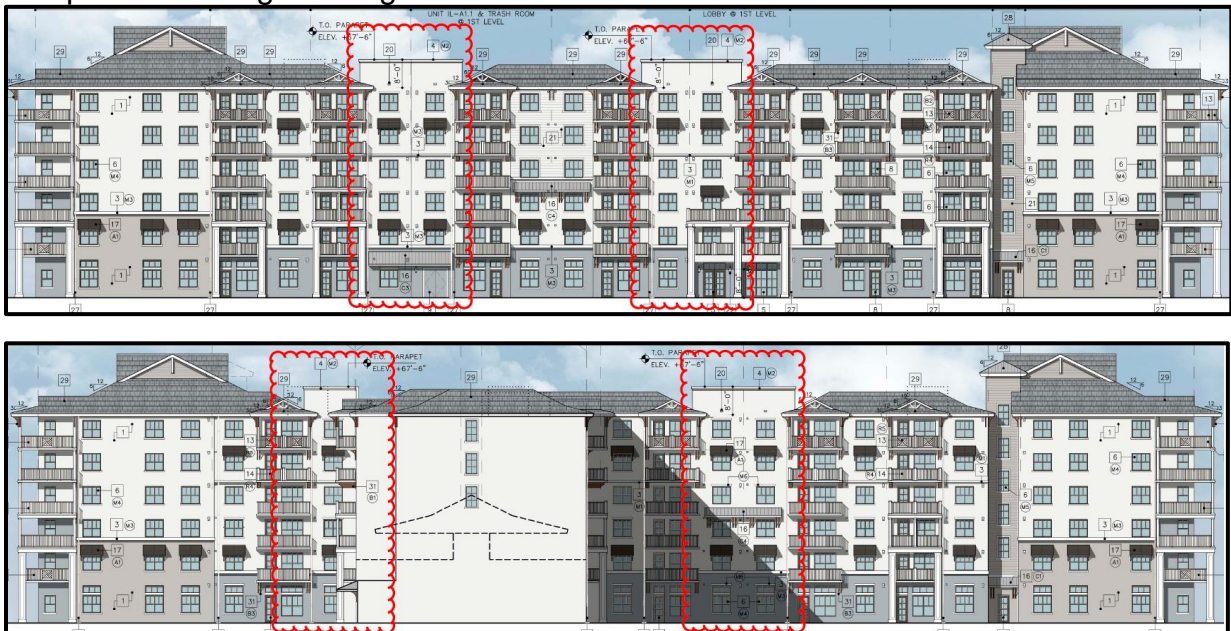
The proposed colors are harmonious with the existing surrounding NuVista building colors (see below) and consistent with Wellington's approved ARB Color Chart. Staff recommends incorporating accent color and/or material in the areas illustrated below or as approved by ARB that will help break-up the bulk of these buildings and emphasize the projections/recesses.

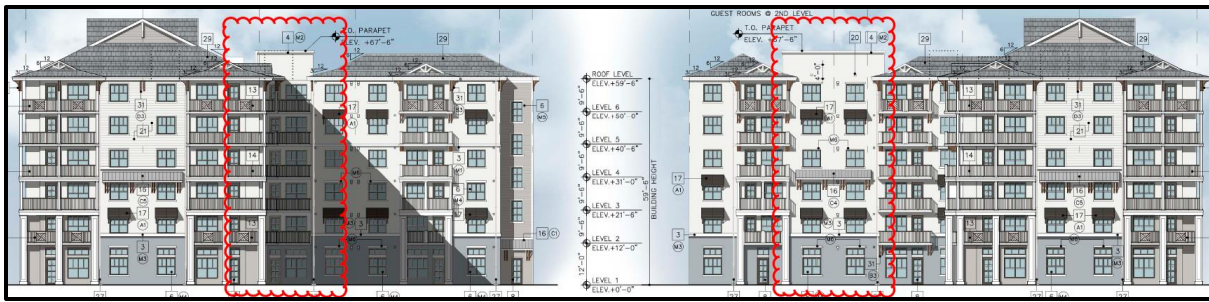
Existing NuVista building:



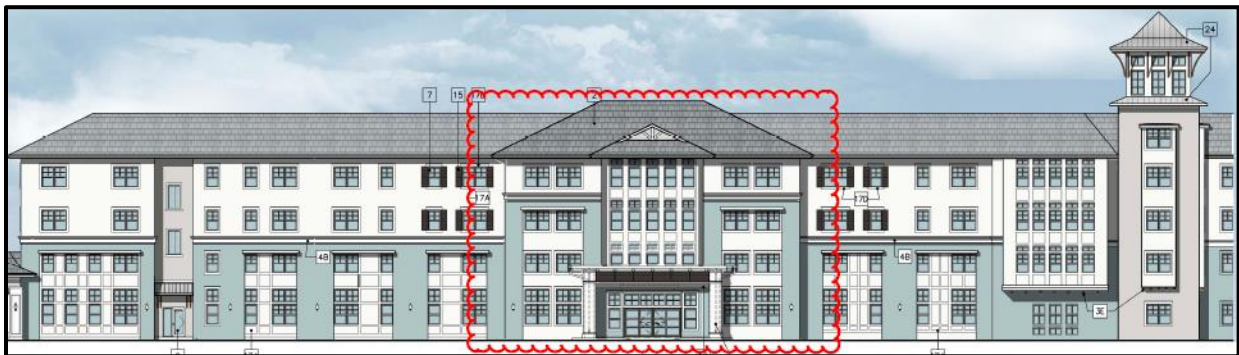
Potential location(s) for the accent color/material:

Independent Living Building-





Assisted Living Building-



Garden Flat Buildings-



Staff recommends approval of the color/material palette (Exhibit G) as indicated above.

Site Amenities

A planned development project requires site amenities (walls, fencing, site furniture, trash receptacle, bike rack, light fixtures, regulator signage, etc.) to be compatible with the architectural style, design, colors and materials of the overall project. The applicant has the option of design, colors and materials as long as they are compatible. Staff recommends approval of the proposed site amenities as indicated in Exhibit "H" and all fencing/railing, site furniture, trash receptacle, bike rack, light fixtures, regulator signage, etc., shall be finished in black or dark bronze color.

The projects site plan is provided for reference in Exhibit "I." The applicant's complete ARB application is available for review at the Planning and Zoning Division office.

VI. RECOMMENDATION

Staff recommends approval of the Wellington Green CLF elevations, architectural details, exterior colors, materials and site amenities with the following conditions of approval:

1. The building/structure elevations and architectural details shall be consistent with Exhibits "B – F" and;
 - a) The roof slope shall range from 2:12 to 6:12.

- b) The villas front façade shall include projection at both ends of the building or in the middle with the garage. The dormer size shall be reduced to an appropriate scale for the façade and building.
 - c) Add one (1) large dormer in the middle of garden flat parking garage. Provide column detail at both ends of the parking garage building on the wall in the front façade.
 - d) The assisted living building shall include additional shutters on the upper floors at the end of the building on the north and west elevations and on the upper floors of the east elevation.
 - e) The patio railing shall be consistent with the NuVista building roof railing.
 - f) The dumpster and generator shall be enclosed with a wall and opaque gate. The enclosure wall/gate height shall be a minimum of one (1) foot above the object being screened.
2. The exterior color and material palette shall be consistent with Exhibit "G" and;
- a) Accent color/material shall be incorporated in the proposed buildings as indicated in the staff report.
 - b) The garden flats elevator shaft shall be the same finish, trim and color as the adjacent building wall.
 - c) The dumpster and generator enclosure shall be concrete wall stucco finished. The enclosure wall and gate shall be consistent with the building design, materials, colors and style.
 - d) The standing seam metal roof and concrete tile roof shall be finished in a light gray color.
 - e) All fencing/railing, site furniture, trash receptacle, bike rack, light fixtures, regulator traffic signage, etc., shall be finished in black or dark bronze color.
 - f) The glass glazing color shall be light gray and window/door frame Anodized Dark Bronze.
 - g) Utility box, vents, rain gutter/downspouts, etc., shall be the same color as the area/surface it is attached.
 - h) All exterior lighting shall be illuminated white light.
 - i) The approved colors and material shall not be substituted for any other colors/materials without ARB approval.
3. Site amenities (walls, fencing, site furniture, trash receptacle, bike rack, light fixtures, etc.,) shall be consistent with Exhibits "H."
4. All above ground utility equipment, mechanical equipment, transformer box, valves, exhaust vents, etc., shall be completely screened from public view while maintaining three (3) feet of clearance.
5. The covered parking, trellis, gazebo, shade structures, entry wall and signage shall be provided in a separate submittal for ARB approval.
6. The address identification/numbering height for each building shall comply with the Palm Beach County Fire Code minimum requirements and shall not exceed the LDR maximums.
7. Building permits required prior to construction of the building and installation of signage.
8. Any modifications to this approval during permitting and/or construction shall require ARB approval.

9. Prior to issuance of a Certificate of Occupancy, an inspection by Planning and Zoning Division is required to ensure compliance with all approvals and all equipment, etc., on the roof is completely screened from public view.
10. Amended building/structure elevations consistent with these condition shall be provided to the Planning and Zoning Division for final ARB approval processing.

List of Exhibits

Exhibit "A"	Location Map
Exhibit "B"	Villa Elevations
Exhibit "C"	Garden Flat and Detached Parking Garage Elevations
Exhibit "D"	Assisted Living Building Elevations
Exhibit "E"	Independent Living and Commons Elevations
Exhibit "F"	Clubhouse/Leasing Office and Entry Feature Elevations
Exhibit "G"	Color and Material Palette
Exhibit "H"	Site Amenities
Exhibit "I"	Site Plan