

North Exterior Facade | Canopy Addition




 NORTH ELEVATIONS
THE MALL AT WELLINGTON GREEN

Canopy - Existing Materials

- 1. All brick is existing to remain.
- 2. All red tile is existing to remain.
- 3. Existing alminum canopy to reamin. Existing canopy to recieve new paint color. [Black]
- 4. All exterior doors and windows to remain.
- 5. Mall shell to remain no work.
- 6. Exterior patio floor pavers to Remain





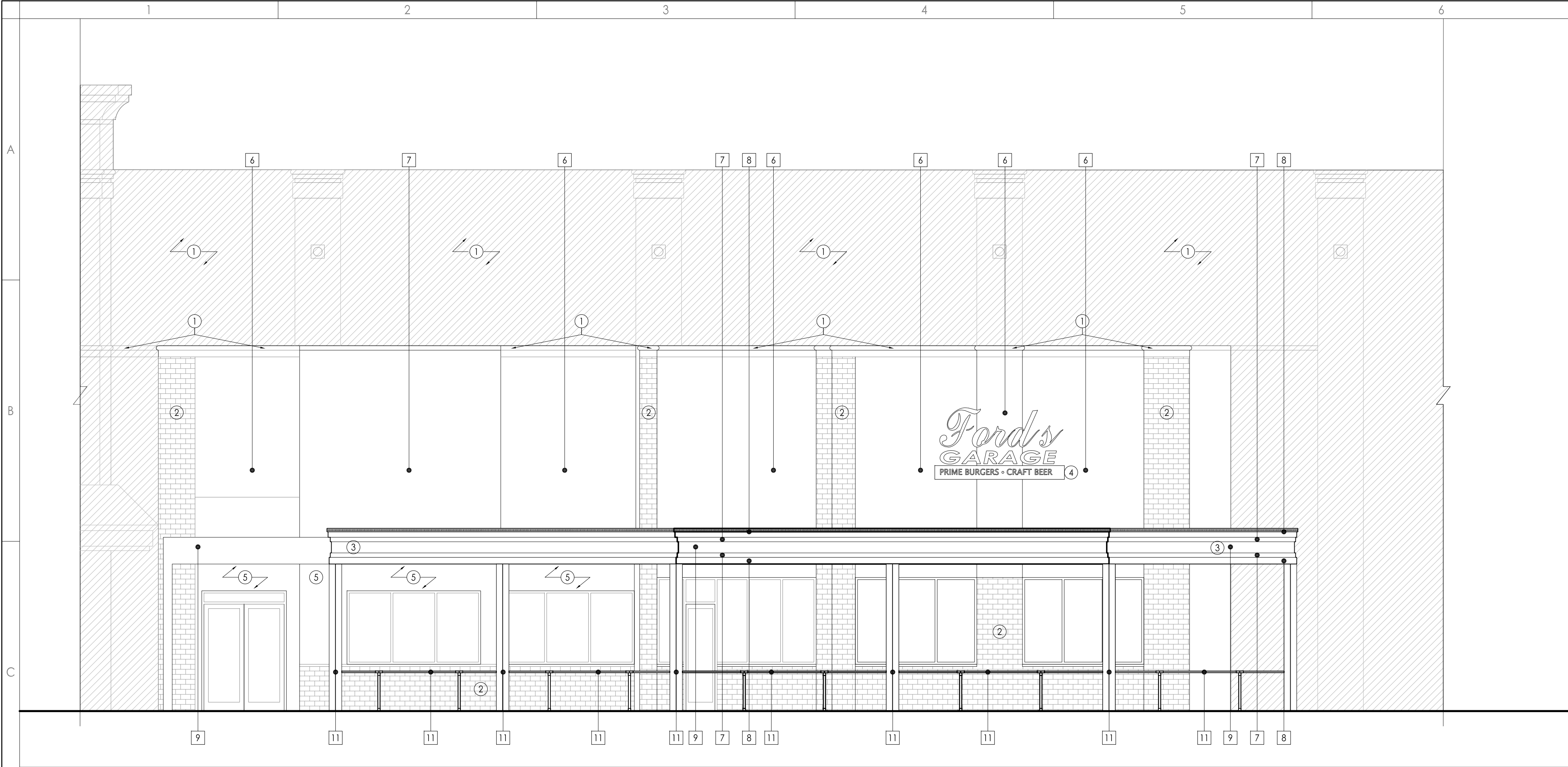
SOL DESIGN STUDIO
1730 EAST 7TH AVENUE
TAMPA, FLORIDA 33605
T: 813.242.4267
AA2602080

PROJECT: 18-23
**FORDS GARAGE @
THE MALL AT WELLINGTON GREEN**
10300 FOREST HILLS BLVD. SUITE #122
WELLINGTON, FL 33414

TITLE:
**ARB REVIEW
BOARD**

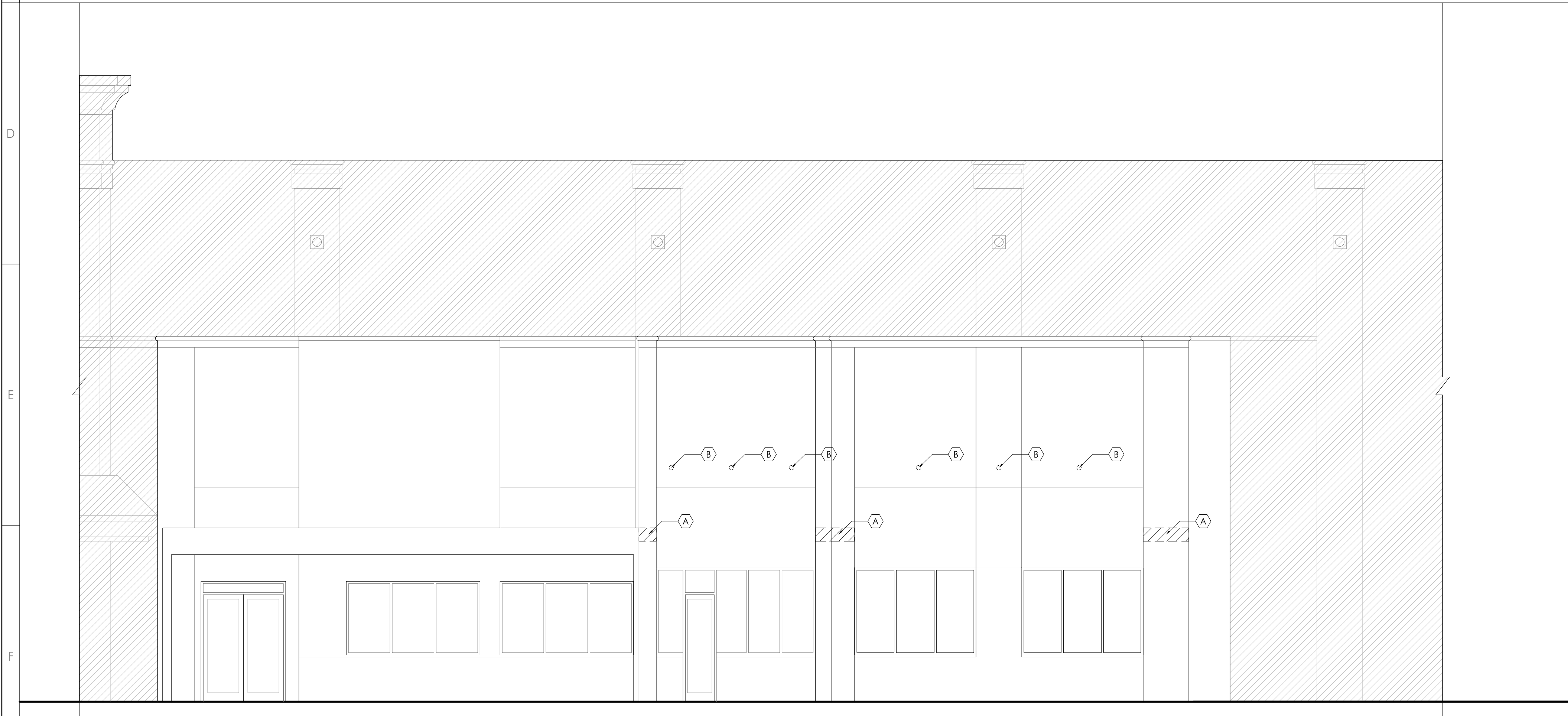
DATE: 03.20.2019

PAGE NUMBER
3



1 - NORTH PROPOSED ELEVATION

SCALE : 3/16"=1'-0"



2 - NORTH DEMO ELEVATION

SCALE : 3/16"=1'-0"

DEMOLITION SPECIFICAITONS AND NOTES

GENERAL NOTES:
0.0.1 DEMOLITION CONSISTS OF PERFORMING ALL DEMOLITION OF EXISTING CONSTRUCTION WHICH IN ITS PRESENT POSITION WILL INTERFERE WITH THE COMPLETED NEW CONSTRUCTION AND TO PERFORM ANY OTHER CUTTING OR PATCHING OF EXISTING CONSTRUCTION AS SHOWN ON THE DRAWINGS.
0.0.2 CLEAN BASE BUILDING WINDOW GLASS, FRAMES AND SILLS OR DRIPS, SPILLS AND DEBRIS. REPAIR ANY DAMAGE CAUSED BY DEMOLITION.
0.0.3 ALL EXISTING DOORS, FRAMES, DOOR HARDWARE, LIGHT FIXTURES, SWITCHES NOT BEING REUSED FOR THIS PROJECT SHALL BE STORED FOR THE TENANT OR OWNER AS REQUIRED. CONSULT WITH ARCHITECT FOR VERIFICATION.
0.0.4 PATCH ALL FLOOR, CEILING AND WALL SURFACES AS WELL AS ALL ADJACENT SURFACES EFFECTED BY DEMOLITION WITH SIMILAR MATERIALS AS NECESSARY TO ACHIEVE UNIFORM, NEW APPEARANCE (I.E. GWB PERIMETER WALLS, DEMISING WALLS, CORE ETC.). PATCHES SHALL BE IMPERCEPTIBLE.
0.0.5 IN ALL AREAS WHERE DEMOLITION (REMOVAL OF PARTITIONS, ETC.) CAUSES UNEVENNESS IN THE FLOOR THE CONTRACTOR SHALL PATCH TO LEVEL THE FLOOR TO RECEIVE FINISHED FLOORING.
0.1 DEMOLITION INCLUDES BUT IS NOT LIMITED TO THE FOLLOWINGS:
0.1.1 FURTHER DEMOLITION ADMINISTRATIVE REQUIREMENTS ARE TO BE PROVIDED PER SPECIFICATION SHEET OR MANUAL. IF NEITHER IS PROVIDED, PLEASE CONTACT ARCHITECT IMMEDIATELY FOR VERIFICATION.
0.1.2 PARTITIONS
A. REMOVAL OF EXISTING PARTITIONS, INCLUDING DOORS, FRAMES, AND THERMOSTATS, ELECTRICAL WITHIN PARTITIONS SHALL BE REMOVED AS INDICATED ON THE DRAWINGS. GC TO RELOCATE ANY THERMOSTAT TO A LOCATION SUITABLE BY ARCHITECT AND MEP DESIGNER.
B. ALL EXISTING DOORS DESIGNATED FOR REMOVAL INCLUDING FRAMES SHALL BE REUSED WHERE THE SAME TYPE DOOR IS APPLICABLE U.N.O.. ALL REUSED DOORS TO BE REFINISHED/ REPAINTED AS SPECIFIED WITH BLEMISHES REPAIRED. ALL EXISTING HARDWARE SHALL BE RETAINED FOR REUSE AS NOTED IN THE DEMOLITION PLAN STANDARDS. ANY MATERIALS SHALL BE GROUPED AND STACKED NEATLY IN ONE LOCATION. PROTECT ALL ITEMS FROM DAMAGE. IF ITEMS REMOVED ARE NOT REQUIRED BY EITHER OWNER OR TENANT THEY SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE AS WORK PROGRESSES.
0.2.0 DEBRIS REMOVAL
0.2.1 CONDUCT DEMOLITION OPERATIONS AND THE REMOVAL OF DEBRIS AND EQUIPMENT TO INSURE MINIMUM INTERFERENCE WITH EXISTING BUSINESS OPERATION. CONSULT WITH BUILDING OWNER FOR ANY RULES AND REGULATIONS REGARDING HOURS, DUMPSTERS AND REMOVAL. ELEVATOR MUST BE PROTECTED AND TIMING MUST BE COORDINATED WITH BUILDING OWNER. INSURE PROTECTION OF PERSONS AROUND THE DEMOLITION AREA. USE TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST PRACTICAL LEVEL. CONTRACTOR SHALL KEEP DEMOLITION DEBRIS OUT OF THE BUILDING CORRIDORS.
0.2.2 RELOCATION OF ITEMS INVOLVED IN THE WORK IS SUBJECT TO THE CONTRACTOR'S ABILITY TO DO SO WITHOUT PERMANENTLY DAMAGING OR MARRING THE ITEMS TO BE RELOCATED. IF THE CONTRACTOR IS UNABLE TO RELOCATE THE ITEMS AS PRESCRIBED, SUBSTITUTION OF NEW MATERIAL IN LIEU OF RELOCATION IS ACCEPTABLE. CONTRACTOR MAY ELECT TO USE NEW MATERIALS TO MATCH EXISTING IN LIEU OF RELOCATION AT HIS OWN CONVENIENCE FOR NO ADDITIONAL COST.

DEMO NOTES

GENERAL NOTES:
CONSTRUCTION MANAGER (CM) TO COORDINATE WITH ELEVATIONS, SECTIONS AND SITE PLAN
A REMOVE EXISTING STONE FINISH AT CANOPY CONNECTION POINT ONLY. VERIFY ANCHOR POINT WITH CANOPY DRAWINGS
B REMOVE EXISTING LIGHT FIXTURES AT WALL

ELEVATION NOTES

- 1 MALL SHELL FINISHES TO REMAIN. GC TO PROTECT DURING CONSTRUCTION.
2 EXISTING STONE FINISH TO REMAIN.
3 NEW FORDS CANOPY WITH TRIM BAND.
4 SIGNAGE SHOWN FOR GRAPHIC REPRESENTATION ONLY. SIGNAGE VENDOR TO PULL SEPARATE PERMITTED AND SUBMIT TO LANDLORD FOR APPROVAL.
5 EXISTING TILE FINISH TO REMAIN

MATERIAL SPECIFICATIONS

NOTE:
1. REFER TO A9.1 + A9.2 FOR COMPLETE FINISH MATERIAL SPECIFICATION SCHEDULE.

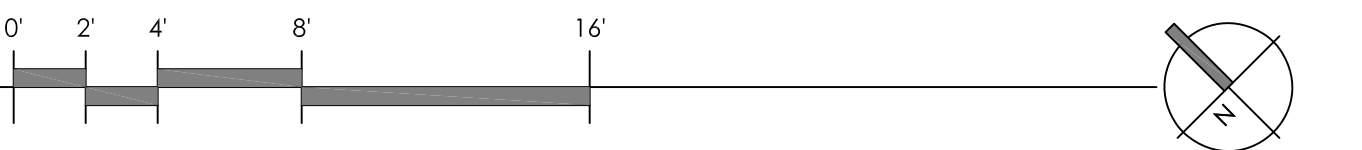
01	ALUMINUM GARAGE DOOR SYSTEM: INSTALLED BY BANKO GARAGE DOORS	ANODIZED
02	ALUMINUM STOREFRONT DOOR SYSTEM:	ANODIZED
03	CUSTOM WOOD ENTRY DOOR SYSTEM:	STAINED
04	ALUMINUM STOREFRONT WINDOW SYSTEM:	ANODIZED
05	EXTERIOR METAL DOOR, TYP.:	SW 6359 FINISH [EGGSHELL]
06	BODY COLOR:	[CREAM COLOR] NAPERY - SW 6386 FINISH: EGG SHELL
07	TRIM COLOR:	[GOLD] HAYSTACK 8M 317 - FINISH: EXTERIOR SEMI GLOSS
08	TRIM COLOR:	[RED] SW 1301 - FINISH: EXTERIOR SEMI GLOSS
09	TRIM COLOR:[BLACK]	SW 6258 - FINISH: EXTERIOR EGG SHELL
10	EXTERIOR ENTRY DOORS:	WOOD STAIN COLOR SPEC
11	HANDRAIL: [BLACK]	SW 6258 - FINISH: EXTERIOR EGG SHELL
12	CANOPY COLUMN:	BY MANUFACTURE
13		

WALL LEGEND

NOTE:
1. SEE WALL SCHEDULE FOR CONSTRUCTION ASSEMBLY
EXISTING FRAMED WALL
DEMOLITION
EXISTING BUILDING FEATURES NOT IN SCOPE

REFERENCE SYMBOLS AND CALL OUTS

ELEVATION MARK	ELEVATION: 0'-0" FINISH FLOOR
COLUMN LINE	##
REVISION	##
SHEET / KEY NOTE	##



PROJECT

FORD'S GARAGE WELLINGTON [CANOPY SET]

OWNER:
23 RESTAURANT SERVICES, LLC.

10300 FOREST HILLS BLVD, SUITE #122
WELLINGTON, FL 33414

PROJECT NUMBER: 18-23

DESIGN STUDIO

SOI

1730 EAST 7TH AVENUE
TAMPA, FLORIDA 33605
T: 813.242.4267
AA26002080

Registered Architect: Charles E. Molnar AIA Florida
Business License #: AR-0094539

This drawing is the property of SOI Design Studio, LLC and is not to be reproduced or copied in whole or in part.

DRAWINGS

CONSTRUCTION DOCUMENTS

PERMIT SET

REVISIONS

No.	Date	Description
-----	------	-------------

DRAWN BY
JC

CHECKED BY
CM

DATE
02.15.19

SHEET TITLE
EXTERIOR ELEVATIONS

SCALE
AS NOTED

SHEET NUMBER

A6.1

© 2019



1- Canopy W/ Trim Band



2 - Patio Misters



3 - Patio Roll Down Shades



4 - Patio Railing



5 - Patio Light



6 - Paint Colors (See attached paint sample board)



7 - PATIO FURNITURE
. Exteri Grade Table
. Exterior Grade Chair



8 - Car Table
. Fords Truck Prop w/ Table Top Bed
. Exterior Grade Stool

BASIS OF DESIGN

- 1 Canopy W/ Trim Band
- 2 Patio Misters
- 3 Patio Roll Down Shades
- 4 Patio Railing
- 5 Patio Light
- 6 Paint Colors:
- 7 Patio Furniture
- 8 Car Table



SOL DESIGN STUDIO
1730 EAST 7TH AVENUE
TAMPA, FLORIDA 33605
T: 813.242.4267
AA2602080

PROJECT: 18-23
FORDS GARAGE @
THE MALL AT WELLINGTON GREEN
10300 FOREST HILLS BLVD. SUITE #122
WELLINGTON, FL 33414

TITLE:
ARB REVIEW
BOARD

DATE: 03.20.2019

PAGE NUMBER

4