

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35
36
37
38
39
40
41
42
43
44
45
46
47

RESOLUTION NO. R2020 – 11

A RESOLUTION OF WELLINGTON, FLORIDA'S COUNCIL, APPROVING A DEVELOPMENT ORDER (PETITION NUMBER 2019-0003-CU) TO AMEND CONDITIONS OF RESOLUTION NUMBER R2013-05 TO ALLOW A TYPE 2(B) CONGREGATE LIVING FACILITY FOR SENIOR HOUSING WITH A MAXIMUM OF 21 RESIDENTS FOR CERTAIN PROPERTY KNOWN AS NEW AGE OF SENIOR CARE, TOTALING 0.52 ACRES, MORE OR LESS, LOCATED AT 1074 HYACINTH PLACE, AS MORE SPECIFICALLY DESCRIBED HEREIN; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Council, as the governing body of Wellington, Florida, pursuant to the authority in Chapter 163 and Chapter 166, Florida Statutes, and the Land Development Regulations, as adopted by Wellington, is authorized and empowered to consider petitions related to zoning and land development orders; and

WHEREAS, the notice and hearing requirements as provided in Article 5 of the Land Development Regulations, as adopted by Wellington, have been satisfied; and

WHEREAS, Resolution Number R2013-05 conditions of approval are being amended with this resolution; and

WHEREAS, the subject site is located within a multi-family residential district of the Wellington Planned Unit Development Zoning District; and

WHEREAS, the Land Development Regulations Article 6, Section 6.4.4.30.c.iii.(a). states a Type 2(B) Congregate Living Facility located within 500 feet of a single-family residential district requires Village Council approval; and

WHEREAS, the subject site is compatible with the surrounding multi-family use and located approximately 300 feet from a single-family residential district which is separated by a road, existing multi-family dwellings, and a canal; and

WHEREAS, the subject site is designated on the Wellington Future Land Use Map as Residential "F" (8.01 -12 dwelling units per acre); and

WHEREAS, the Planning, Zoning and Adjustment Board, sitting as the Local Planning Agency, after notice and public hearing on ____, 2020, recommended ____ of the Development Order with a __ – __ vote; and

WHEREAS, the Council has considered the evidence and testimony presented by the Petitioner and other interested parties and the recommendations of the various Wellington review agencies and staff; and

WHEREAS, the Council has made the following findings of fact:

- 48
49 1. Environmental Considerations: There are no environmental issues or concerns.
50
51 2. Surrounding Use Considerations: The proposed use within approximately 300 feet
52 of a single-family residential district has been
53 found to be compatible with surrounding uses.
54
55 3. Public Facilities: The water, sanitary, sewer, and drainage systems
56 meet the code requirements. There are adequate
57 public facilities available to serve the subject site.
58
59 4. Concurrency: The project meets the Traffic Performance
60 Standards (TPS) of Wellington.
61
62 5. Comprehensive Plan: The use requested is consistent with Wellington's
63 Comprehensive Plan.
64
65 6. Land Development Regulations: The subject request is consistent with the stated
66 purposes and intent of the Land Development
67 Regulations.
68
69 7. Development Pattern: This request is for the expansion of a Congregate
70 Living Facility to a maximum of 21 residents
71 within an existing multi-family residential
72 neighborhood.
73

74 **NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF WELLINGTON,**
75 **FLORIDA, THAT:**
76

77 **SECTION 1:** The development order petition by Desert Income ALF Wellington, LLC
78 (DBA A New Age of Senior Care at Wellington, Inc.), owner, and Frogner Consulting, LLC,
79 agent, is hereby approved to allow a Type 2(B) Congregate Living Facility with a maximum
80 of 21 residents located less than 500 feet from a single-family residential district on the
81 below described real property; subject to the conditions of approval contained herein, which
82 are in addition to the general requirements otherwise provided by Ordinance. The conditions
83 of approval, previously adopted by Resolution No. R2013-05, are hereby amended and
84 restated as follows in Section 2.
85

86 **LEGAL DESCRIPTION:**

87 Lot 5, Block 46, Sugar Pond Manor of Wellington, according to the Plat thereof, as
88 recorded in Plat Book 30, Page 20, of the Public Records of Palm Beach County, Florida.

89 **SECTION 2.** The Conditional Use for a Type 2(B) Congregate Living Facility with
90 a maximum of 21 residents is approved with the following restated and amended
91 Conditions of Approval:
92

1. This approval is based on the site plan (Exhibit 1) prepared by Debra L. Northsea, Landscape Architect (Dated 2.26.20) and the floor plan (Exhibit 2) prepared by ~~New Line Drafting & Design~~ dated stamped July 30, ~~2012~~ Tyson Craven, P.E. (Dated 2/21/20).
2. The entire lot and building (Units "A," "B," "C" and "D") shall be utilized for a Type 2 ~~(A)-(B)~~ CLF use only. The use of this entire site/facility shall be limited to a maximum of 21 residents. The owner and/or operator shall provide one designated single occupancy room for residents requiring short term additional care. The additional single occupancy room may only be used by a resident of the facility requiring additional care or when it's required to transfer another resident of the facility from a double occupancy room to the single occupancy room to provide short term additional care. The short term care room may be used by staff or for storage when not occupied by a resident of the facility but at no time shall this site/facility occupancy exceed the maximum of 21 residents. Unit "A" shall be utilized for the ongoing support operation of the CLF which shall be limited to owner or staff living quarters or for storage or office use. The rental/leasing of Unit "A" shall be limited to staff (as required by the Agency for Health Care Administration) members of this CLF and the CLF residents shall only occupy Units "B," "C" and "D."
3. The CLF residents shall be limited to senior housing for elderly persons 65 years of age or older who are capable of otherwise living independently. Any change in use or occupancy type shall be considered an amendment to the ~~requested~~ conditional use requiring a separate review and approval. Conversion from a Type 2 (B) Congregate Living Facility will require compliance with Wellington's Comprehensive Plan and the Land Development Regulations (LDR).
4. The owner and/or operator shall reduce on-site parking demand by prohibiting the parking of personal vehicles used and/or owned by the CLF residents on-site, encouraging staff to car-pool and stagger the arrival and departure time of visitors.
5. Wellington Local Business Tax Receipt is required prior to operation of the Type 2 ~~(B) CLF. (A) CLF and/or rental of Unit "A."~~ The owner and/or operator shall obtain all appropriate federal, state and local permits / licenses for the Type 2 ~~(A)~~ (B) Congregate Living Facility and submit a copy with the required Wellington Local Business Tax Receipt application within one year of this approval and maintain the Local Business Tax Receipt while in operation.
6. The continuation of this ~~requested~~ conditional use is contingent upon the owner or operator retention of all appropriate federal, state and local permits / licenses and compliance with the Land Development Regulations as it relates to the operation of the Type 2 ~~(A)~~ (B) Congregate Living Facility.
7. The owner and/or operator shall provide an inspection report on the CLF from the Florida Agency for Health Care Administration (AHCA) or the licensing agency, to the Planning and Zoning Division biennially or when an inspection is completed by the agency beginning ~~December 31, 2013.~~

- 140
141 8. The owner shall record a declaration of restriction, as required by the LDR, which
142 shall include the above conditions to run with the land. A copy of the recorded
143 declaration shall be provided to the Planning and Zoning Division within 30 days of
144 this approval (Resolution No. R2020-11).
145

146 **SECTION 3:** This Resolution shall become effective immediately upon adoption.
147

148 (Remainder of page intentionally left blank)

149 **PASSED AND ADOPTED** this _____ day of _____, 2020.

150

151 **ATTEST:**

WELLINGTON, FLORIDA

152

153 BY: _____

BY: _____

154 Chevelle D. Addie, Clerk

Anne Gerwig, Mayor

155

156 **APPROVED AS TO FORM AND**

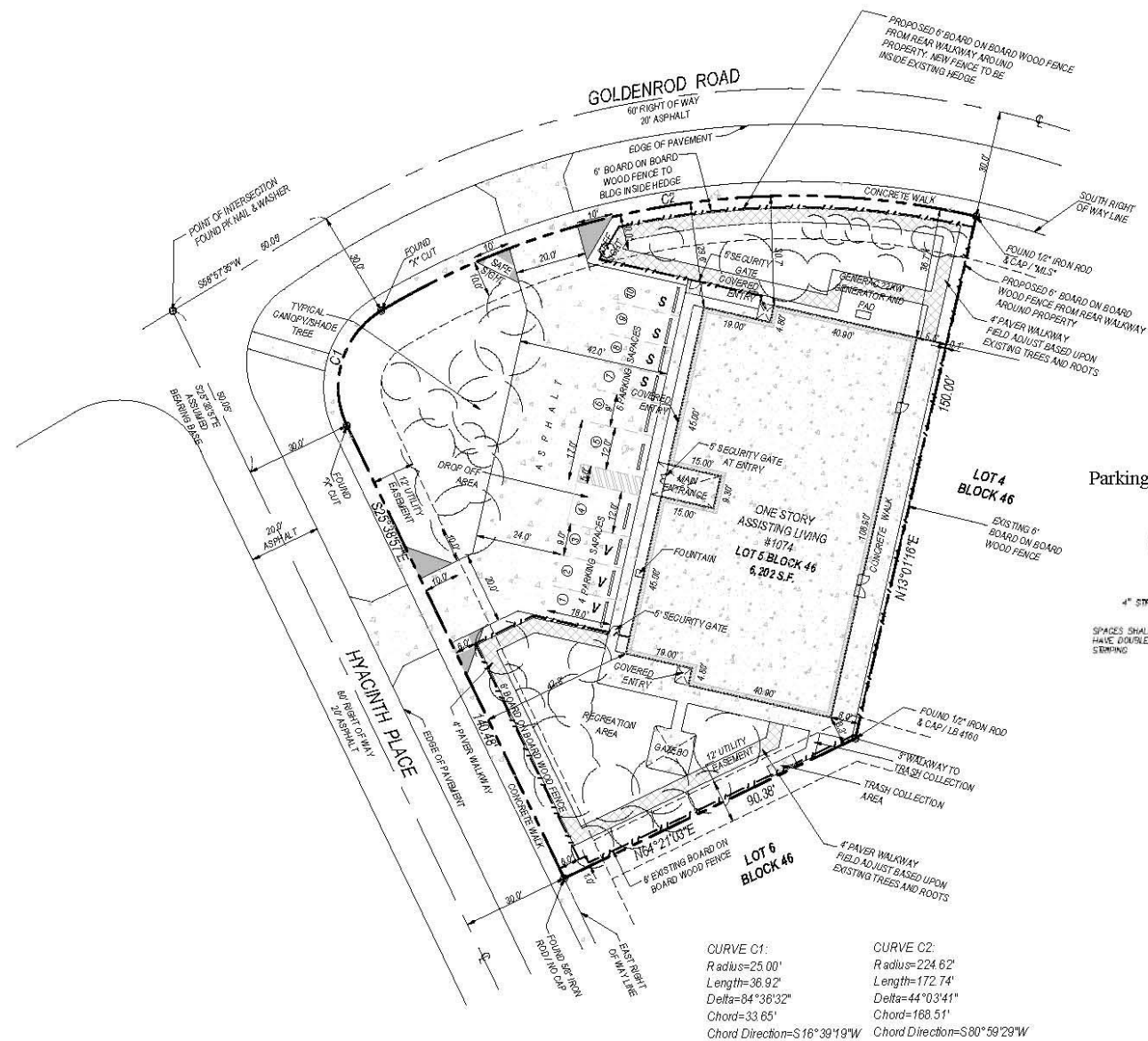
157 **LEGAL SUFFICIENCY**

158

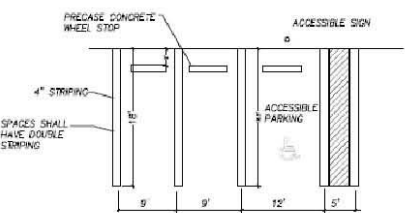
159

160 BY: _____

161 Laurie Cohen, Village Attorney



Parking Lot Striping

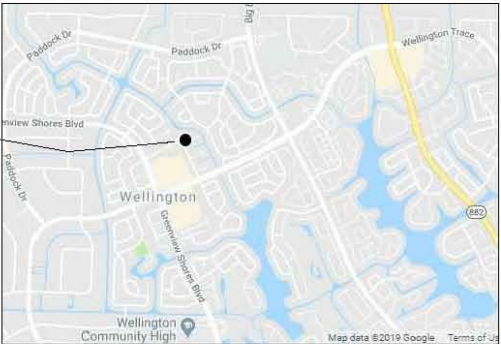


CURVE C1:
Radius=25.00'
Length=36.92'
Delta=84°36'32"
Chord=33.65'
Chord Direction=S16°39'19"W

CURVE C2:
Radius=224.62'
Length=172.74'
Delta=44°03'41"
Chord=168.51'
Chord Direction=S80°59'29"W

NOTE: STAFF SPACES DEPICTED BY "S"
VISITOR SPACES DEPICTED BY "V"

SITE



Location Map
NTS

Site Data

APPLICATION NAME	1074 HYACINTH PLACE		
APPLICATION NUMBER	2019-0003 CU		
EXISTING LAND USE	CONGREGATED LIVING FACILITIES, TYPE 2A		
PROPOSED LAND USE	CONGREGATED LIVING FACILITIES, TYPE 2B		
LOCATION:	1074 HYACINTH PLACE, VILLAGE OF WELLINGTON FL 33414		
FUTURE LAND USE:	F 8.01 DU/A 12 DU/AC		
PROPERTY CONTROL NO	73-41-44-09-12-000-0010		
FACILITY TYPE	RESIDENTIAL CARE		
CARE TYPE	CLF		
TYPE	TYPE 2B		
	ACRES	S.F.	PERCENTAGE
GROSS SITE AREA:	.52 ACRES	22,684 S.F.	100%
TOTAL IMPERVIOUS AREA:	.28 ACRES	12,365.26 S.F.	54.5%
BUILDING COVERAGE:	.14 ACRES	6,202.0 S.F.	27.3%
PAVEMENT AND SIDEWALK:	.14 ACRES	6,163.26 S.F.	27.2%
TOTAL PERVIOUS AREA:	.24 ACRES	10,318.74 S.F.	45.5%
GROSS FLOOR AREA:	6,202.0 S.F.		
FAR:	.27		
EXISTING RECREATION AREA:	6,320.7 S.F.		
SIDE YARD W/GAZEBO	3,052.1 S.F.		
SIDE YARD LAWN	3,268.6 S.F.		

EXISTING NUMBER OF BEDS: 14
PROPOSED NUMBER OF BEDS: 21
REQUIRED VISITOR PARKING: 1 SPACE PER 7 RESIDENTS / 3 SPACES / LABELED "V"
REQUIRED STAFF PARKING: 1 SPACE PER EMPLOYEE / 4 SPACES / LABELED "S"
REQUIRED HANDICAP PARKING: 1 SPACE
REQUIRED DROP OFF AREA PARKING: 1 SPACE
TOTAL REQUIRED PARKING: 8 SPACES

TOTAL PROVIDED PARKING: 9 SPACES AND ONE DROP OFF

PER SECTION 6.4.4.30, MINIMUM STAFF STANDARDS
4 STAFF ON DUTY 7AM - 7PM
2 STAFF ON DUTY 7PM - 7AM

NOTE: RESIDENT PERSONAL VEHICLE PARKING PROHIBITED

EXISTING BUILDING HEIGHT: 15' / ONE STORY

Frogner Consulting, Inc.
3402 SE Club House Place
Stuart, Florida 34997
Phone: (561-386-3035)
Email: jfrogner@comcast.net

1074 Hyacinth Place
Village of Wellington
Site Plan

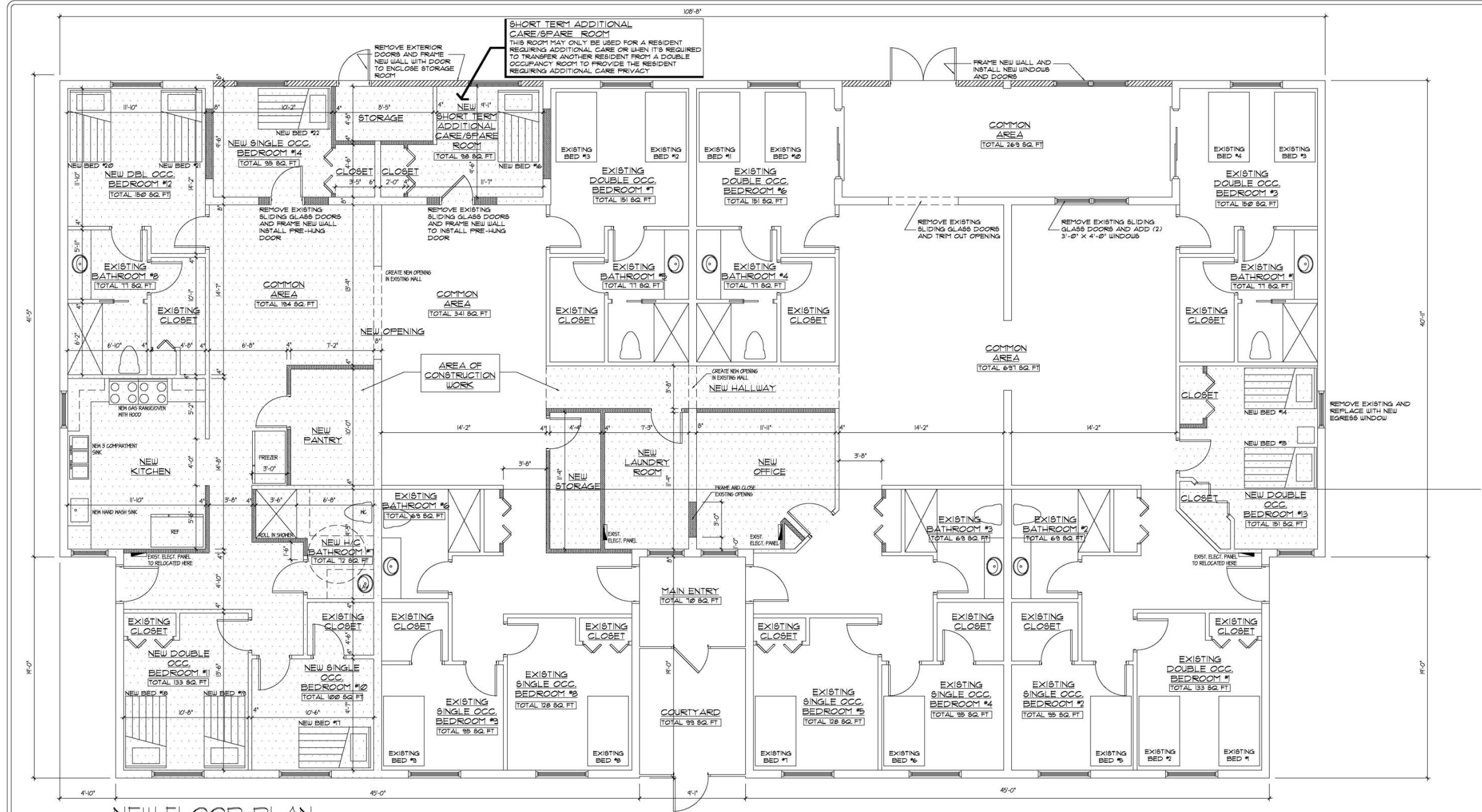
Job Name:	1074 Hyacinth	
CADD File:	1074 Hyacinth SP19.18.19.dwg	
Date	Drawn By	Comments
08/01/19	DLN	Preliminary Site Plan
08/24/19	DLN	Preliminary Site Plan
12/18/19	DLN	Final Site Plan
01/22/20	DLN	Final Site Plan
02/22/20	DLN	Final Site Plan
02/26/20	DLN	Final Site Plan

In Conjunction with:
Debra L. Northsea
Landscape Architect
6008 Eagles Nest Drive
Jupiter, Florida 33458
Phone: (561-738-6739)
Fla. Registration #1521
Email: DLNLADESIGN@aol.com



Scale: 1"=20'-0"
0' 10' 20' 40'

Exhibit 2
Floor Plan



REVISIONS	BY

SIGNATURE DESIGNS, INC.
16800 ORANGE BLVD.
LOXAHATCHEE, FL 33470
PHONE (561) 918-3200
FAX (561) 753-2692

TYSON CRAVEN, P.E.
REGISTERED ENGINEER, P.E. # 40592
5616 AVOCADO BLVD.
ROYAL PALM BEACH, FLORIDA 33411
(561) 752-4041

A RENOVATION FOR
DESERT INCOME
ALF WELLINGTON, LLC
1074 HYACINTH PLACE
WELLINGTON, FL. 33414

DRAWN BY
S.A.S.
CHECKED BY
T.S.C.
DATE
2/2/2020
SCALE
AS NOTED
JOB NO.
19-041
SHEET
A-2
NEW
FLOOR PLAN
OF 2 SHEETS