

K9 Resorts Exterior Elevations and Signage

STAFF REPORT

Petition Number(s)/Types:

2020-0001 ARB

Applicant/Agent:

Eli Thomasevich
 Thomasevich Construction, Inc.
 8401 Lake Worth Road
 Lake Worth, FL 33467

Property Owner:

Glen Dowler and Heather Blevins
 MSH Property Holdings
 3381 Fairlane Farms Road
 Wellington, FL 33414

Site Address:

3381 Fairlane Farms Road

PCN(s):

73-41-44-23-03-000-0440

Future Land Use Designation (FLUM): Industrial

Zoning Designation: Flexible Zoning Employment Center (FZEC)

Acreage:

1.0 Acres

Request: The agent, on behalf of the owner, is requesting Architectural Review Board (ARB) approval of exterior elevations and signage with technical deviations for the K9 Resorts located within Commerce Park East.

Project Manager:

Kelly Ferraiolo, Senior Planner
KFerraiolo@wellingtonfl.gov
 (561) 753-5268



Adjacent Property	FLUM	Zoning
North	Industrial	FZEC
South	Industrial	FZEC
East	Industrial	FZEC
West	Industrial	FZEC

Site History and Current Request:

On November 22, 1988, the Palm Beach County Board of County Commissioners approved the plat known as Commerce Park East. The plat designated 44 lots on 83 acres in a Planned Industrial Park Development. The property has since been rezoned as Flexible Zoning Employment Center (FZEC) and has a mix of various industrial and service oriented uses. The existing building was constructed in 2001 and was used as an office building for a pharmacy call center. A Site Plan Amendment (Exhibit A – Proposed Site Plan) is currently in process for the subject site (Lot 44) and is expected to be certified prior to or shortly after approval of the ARB request. The site plan amendment request is to convert the office space into a luxury commercial kennel, reconfigure the parking lot, and install outdoor runs along the side and rear of the

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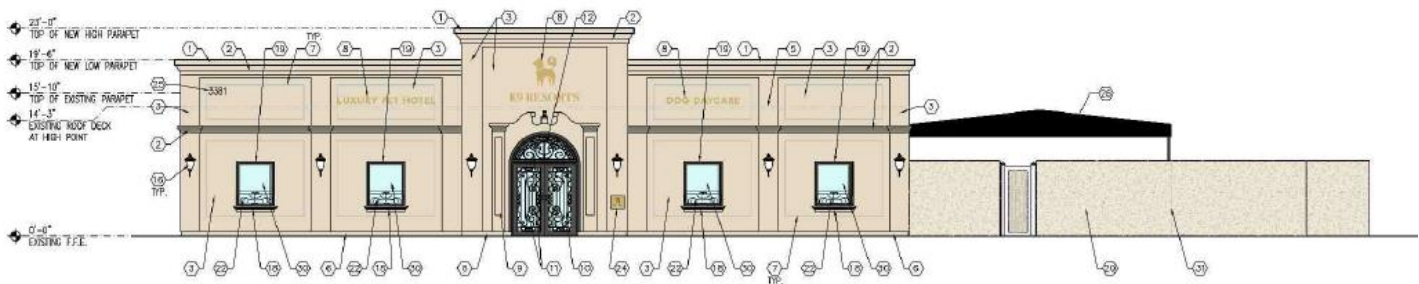
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building (Exhibit B – Floor Plan). Exhibit C – Existing Conditions shows what the site looks like today. The applicant is requesting approval of the exterior elevations, colors, and material and signage with technical deviations for K9 Resorts.

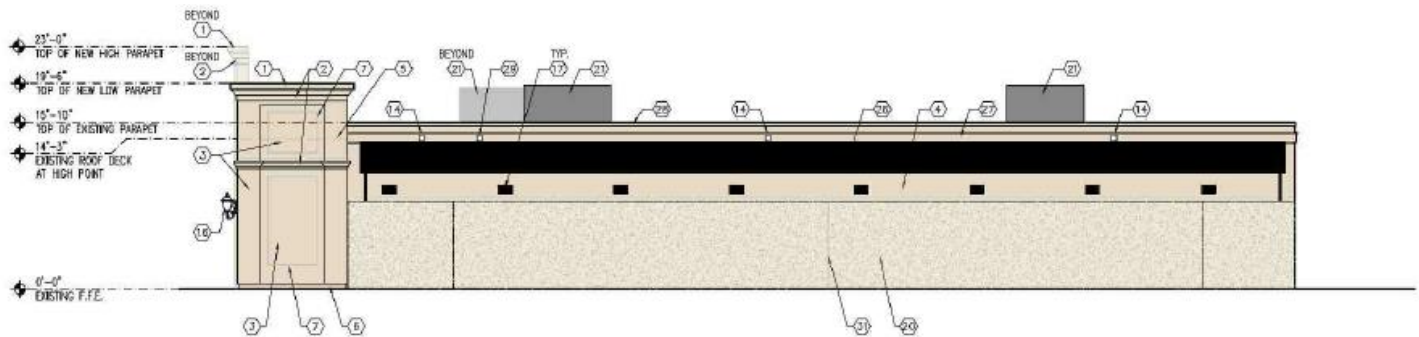
Staff Analysis – Exterior Elevations:

The exterior elevations prepared by RHJ Associates, received on August 20, 2020, were reviewed for consistency with Wellington's Land Development Regulations (LDR) Section 6.4.3., Design Standards, and the Land Use Element of the Comprehensive Plan. The intent of the design standards is to provide buildings and structures that reflect good design, utilize proper design concepts, and are appropriate to the Village of Wellington.



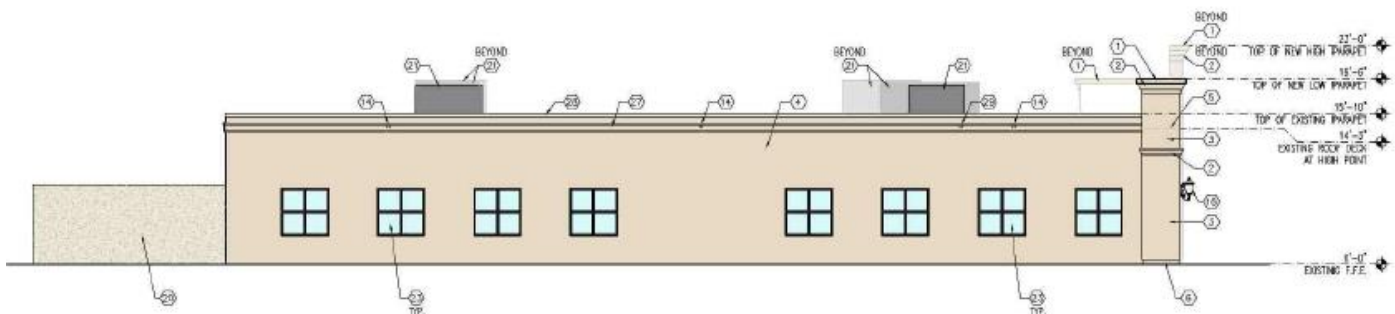
1 - FRONT ELEVATION

SCALE: 1/8" = 1'-0"



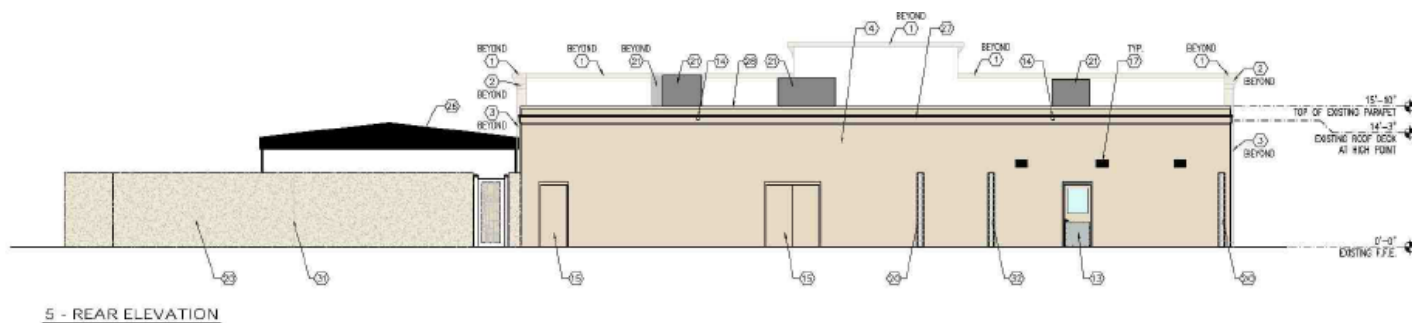
3 - EXTERIOR SIDE YARD ELEVATION

SCALE: 1/8" = 1'-0"



4 - SIDE ELEVATION

SCALE: 1/8" = 1'-0"



Section 6.4.3.A of LDR The architectural character and building design of uses shall conform to and be compatible with the general architectural character of the development, project, neighborhood or surrounding uses.

Response: The 8,000 square foot building is an existing building that will be altering the color and the architectural details of the exterior façade. Based on the elevations (Exhibit D – Exterior Elevations) and the color palette (Exhibit E – Color and Material Palette) provided, the proposed building will be appropriate to the character of the existing industrial park and its existing structures. The proposed elevations utilize materials, design, and architecture that are compatible with the design, character, and style of the adjacent development. The materials proposed for the building are textured stucco with decorative scoring around the building. The front façade incorporates columns and arched aluminum doors/windows with anodized grille systems attached for a more appealing entrance. The front windows have a similar anodized grille system attached to match the front doors which allows for an upscale appearance, rather than the existing industrial aesthetic. Wall mounted light sconces are evenly distributed along the façade. The front elevation is unique to the industrial park as a commercial kennel is a unique use, but is also complements the existing development.

Section 6.4.3.B of LDR All exterior finishes, colors, and materials shall be consistent with the material schedule and color charts adopted by the ARB, or shall be approved as part of an overall design by the ARB during the review of elevations and design details. The ARB may approve alternative materials and design provided they find the proposed design is compatible with the approved materials and color schemes.

Response: The exterior colors shown in Exhibit E – Color and Material Palette and listed below are consistent with the materials schedule and color chart adopted by the ARB.

Exterior Materials/Colors:

Body:	K9 Resorts Custom Beige
Stucco and EIFS:	K9 Resorts Custom Cream Color with a Sand Pebble Fine Texture Finish
Paint Finish:	Non-Glossy – owner is proposing semi-gloss, but will need to change to a finish that is non-glossy.
Door/Window Frames:	Black Anodized Aluminum
Walls:	Eight (8) foot CBS walls
Awning:	Black or Cobalt Blue (to match signage) fabric
Lighting:	Black and/or bronze finish

The applicant is proposing an eight (8) foot tall CBS wall used for the outdoor play yards located on the side and rear of the building. The eight (8) foot walls are permitted per Section 6.4.1.5.i. as the maximum height of walls for a non-residential use is 10 feet. The height of these walls is so they are

tall enough that the larger dogs do not climb and escape. The walls will be screened from view with a continuous hedge material as shown in Exhibit F – Landscape Plan.

Staff does recommend incorporating another color into the front elevation either lighter or darker along the banding, columns, or within the sign area to break up the elevation.

Section 6.4.4.B.1 Buildings within the Flex zoning district, due to the industrial nature of buildings, are only required to provide architectural detailing on the front façade, along with any façade visible from a public or private roadway or adjacent residential properties. Blank wall areas shall not exceed 10 feet in a vertical direction nor 20 feet in a horizontal direction on any primary façade or façade adjacent to a roadway.

Response: Based on Section 6.4.4.B.1 above, architectural detail was only required on the front (east) façade. The north façade is buffered by a landscape buffer, mature trees, and foundation planting, and the south and east facades are adjacent to other industrial land uses. The east and south also incorporate play yards with eight (8) foot walls and required hedging that will break up the facades. The existing front façade has very minimal architectural detail. Scoring, banding, windows, columns, and signage break up the front façade so that there is limited blank wall space. They also incorporated decorative black anodized grilles in front of the arched front door and windows making a unique entrance.

Section 6.4.4.B.4 Buildings shall be designed in a manner that is compatible with the character, mass, bulk, and scale of the surrounding area. When a new project is proposed that will have a height more than twice the height of the tallest building on an adjacent parcel, transitional massing elements shall be required to mitigate the change in height and elevation.

Response: The one story building is 19 feet 6 inches to the top of the low parapet and 23 feet to the top of the high parapet. The building is not out of scale and is compatible to the surrounding buildings as there are various size buildings within Commerce Park East. In addition, there is mature landscape buffers that line all property lines that could mitigate any massing issues.

Section 6.4.4.B.5 Accessory buildings and structures shall conform to the design, materials, colors, and style of the principal structures.

Response: The only freestanding accessory structure will be a dumpster enclosure located to the rear of the building. As shown in Exhibit C – Proposed Site Plan, it will be constructed of CMU material with a stucco finish painted to match the principal structure with gates to screen the dumpster from view. The gates shall be painted white, black, or any of the colors listed in the above material section to compliment the building.

Section 6.4.4.B.7 Projections and recesses on multi-family and non-residential building facades shall have a minimum depth of three (3) feet with 25% percent of these having a varied length with a minimum differential of one (1) foot.

Response: This building is existing and exempt from this portion. When constructed in 2001, this portion of the code did not apply to small commercial projects and did not require any variations in the front façade as shown in Exhibit B – Existing Conditions. The proposed elevation incorporates a pronounced front entryway that projects approximately 10 feet that breaks up the 80 foot long front façade.

Section 6.4.4.B.9 All non-residential buildings shall provide a minimum of five (5) of the following building design treatments: Canopies or portico, integrated with the building's massing and style; Overhangs, minimum of three (3) feet; Arcades, minimum of eight (8) feet clear in width; Sculptured



artwork; Raised cornice or building banding with a minimum of two (2) reliefs; Peaked roof forms; Arches; Display windows; Ornamental/structural architectural details; Clock/Bell towers or other roof treatments; Projected and covered entry (five (5) foot minimum); Additional roof articulation above the minimum standards; or Metal or tile roof as the dominant roof material.

Response: The exterior façade as it exists today meets only one of the design treatments above – providing canopies. The proposed elevations provides a side canopy, raised cornice and banding, arches, display windows, ornamental/structural architectural details, and a projected and covered entry.

Section 6.4.4.B.10 Building facades shall include a repeating pattern and shall include no less than three (3) of the design elements listed below. At least one (1) of these design elements shall repeat horizontally. All design elements shall repeat at intervals of no more than 50 feet, horizontally and a maximum of 15 feet vertically: Color Change; Texture Change; Material Module Change; Expression of architectural or structural bays, through a change in plane of no less than 12 inches in width, such as a reveal, an offset, or a projecting rib; Architectural Banding; Building setbacks or projections, a minimum of three (3) feet in width on upper level(s); or Pattern Change.

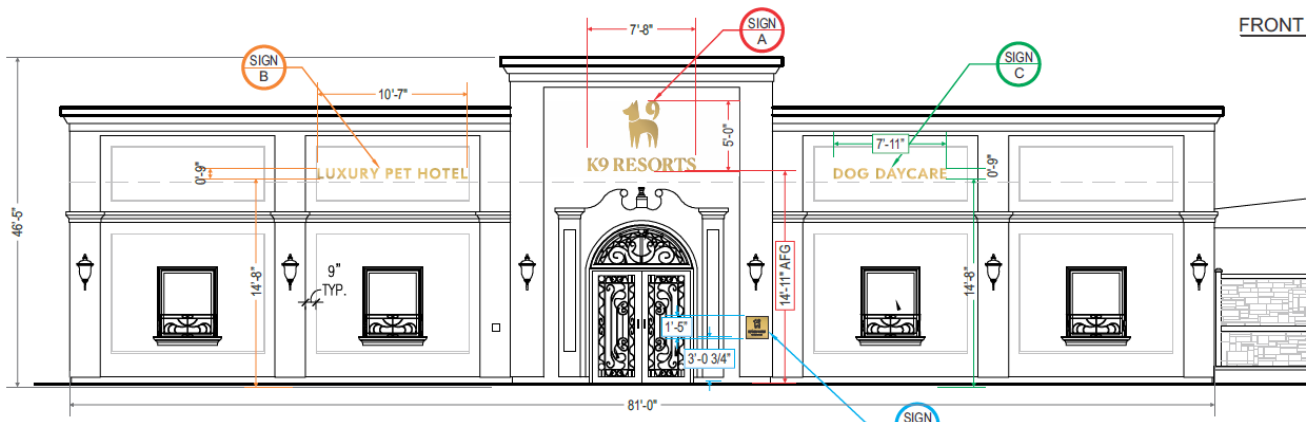
Response: Being that this building was built prior to the regulation above, this does not apply to the retrofit of this building. However, the elevations do incorporate texture change, architectural bandings, and projections of the front entrance way.

Section 6.4.4.B.13 At a minimum of two (2) locations, the roof edge and/or parapet shall have a vertical change from the dominant roof condition, a minimum of three (3) feet. At least one (1) such change shall be located on a primary facade adjacent to a collector or arterial right-of-way. One (1) additional roof change must be provided for every 25,000 square foot increment over 50,000 square feet of ground floor space.

Response: Being that this building was built prior to the regulation above, this does not apply to the retrofit of this building. However, this retrofit added a parapet that is 3 ½ feet above the dominant roof condition. There is no additional room on the 80 foot front façade to incorporate another roof change as the other sides of the building do not have to follow the above regulation.

Staff Analysis - Signage:

The applicant is requesting various signage including four (4) primary wall signs on the front façade and a monument sign (Exhibit G – Proposed Signage).



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Major Tenant Primary Wall Signs:

Per Section 7.9.1, a Major Tenant is a tenant that occupies more than 5,000 square feet of indoor space. According to the site plan, the single use building is 8,000 square feet and meets the definitions of a Major Tenant.

Per Section 7.9.7.A.1.b and c, institutional uses shall only have one (1) primary wall sign (Sign A) a maximum of 66 inches in height, length not to exceed 80% of the primary façade, and a maximum sign area of two (2) feet per foot of the primary façade length. The applicant is requesting a technical deviation to allow two (2) additional primary wall signs (Sign B and C) on the west façade. All wall signs are pin-mounted, halo lit illuminated in brushed brass. See technical deviation justification below.



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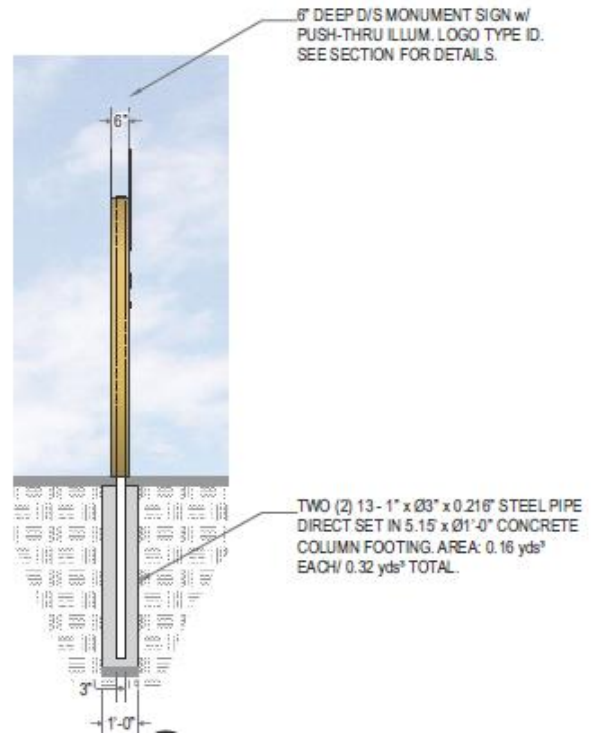
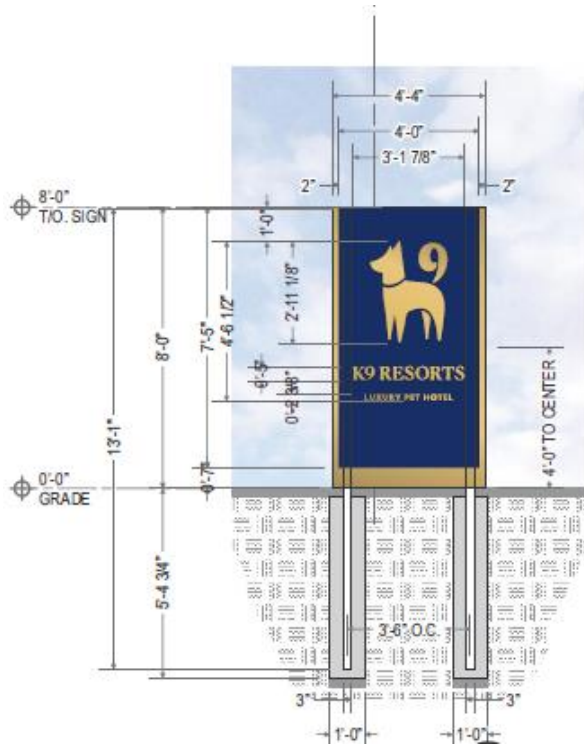
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Monument Sign:

Per Section 7.9.7.B.2, an industrial use may have one (1) small monument sign for a single tenant. The monument sign shall be a maximum of eight (8) feet tall in height, copy not to exceed 36 inches in height, two (2) lines of copy, and sign area not to exceed 32 square feet. The proposed monument sign meets height requirements but exceeds the sign area, copy height, and lines of copy and requires a technical deviation. See technical deviation justification below.



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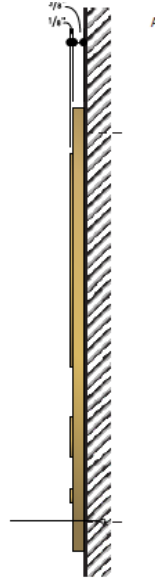
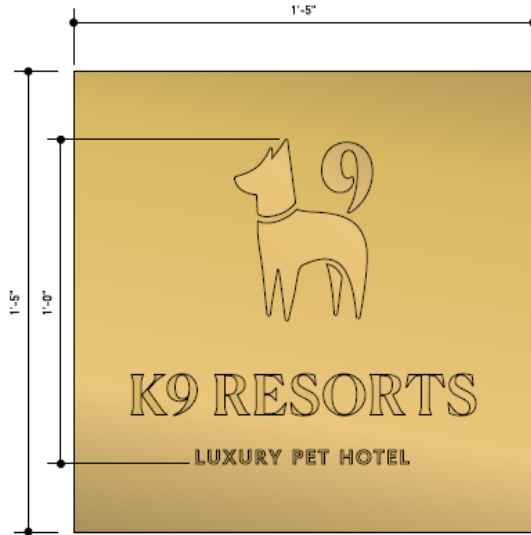
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Auxiliary Wall Sign:

Per Section 7.9.7.A.3., an auxiliary wall sign is permitted on a façade located within 20 feet of the principal entrance with a maximum sign area of 12 square feet. The applicant is requesting a wall plate which will display the hours of operation located near the front entrance. The wall plate is 2.25 square feet in sign area and meets the requirement of the code. No technical deviation is required.



Technical Deviation:

1. Describe in detail the Technical Deviation.
 - a. Wall Signs – the applicant is requesting two (2) additional primary wall signs on the front/west façade. Per Section 7.9.7.A.1.b, major tenants are permitted one (1) primary wall sign. Per Section 7.9.7.A.1.d.i, tenants are also permitted to have two (2) additional secondary wall signs located on the rear, end, and/or tower facades with only one (1) sign on each façade. Secondary wall signs shall not exceed 50% of the maximum sign area of the associated principal wall sign. The proposed wall signs, on the same elevation, are the following sizes:

Sign	Height	Length	Sign Area
A	5 feet	7 feet 8 inches	38.33 square feet
B	9 inches	10 feet 7 inches	7.94 square feet
C	9 inches	7 feet 11 inches	5.94 square feet
			52.21 square feet

The maximum sign area permitted for the one (1) primary wall is two (2) square feet per foot of the principal façade length not to exceed 150 square feet. The façade length is 81 feet which means the maximum sign area of the one (1) principal wall sign can be 150 square feet. The total sign area of the three wall signs together equals 52.21 square feet which is 1/3 the size of what is permitted.

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- b. Monument Wall Sign – The sign copy exceeds the maximum height, sign area, and lines of copy permitted.

Wall Height: 8 feet
Sign Copy Height: 4 feet 6.5 inches
Lines of Copy: 3
Sign Area: 34.66 square feet

Per Section 7.9.7.B.2.b., the maximum sign copy height is 36 inches. The majority of the copy is taken up by the logo and large spacing between each line of copy. Without spacing in between each line, the copy would only be 3 feet 7 inches in height. The sign exceeds the sign area by 2.66 square feet. Staff recommends the sign stay within the 32 square feet which means reducing the width of the sign 4 inches.

2. No deviation may be granted which has the effect of permitting any sign which is specifically prohibited by these regulations.

Both the wall signs and monuments signs are permitted sign types.

3. The deviation must enhance the aesthetic result of the overall sign program or mitigate a unique feature of a user, structure, or location that warrants a technical deviation from the code in the opinion of the ARB.

The walls and monument signs utilize unique colors and materials that enhance the aesthetic look of the building. The building is surrounded by mature vegetation and other industrial type buildings which does not allow for installation of secondary wall signs that will be visible from the right-of way. The monument sign requires more lines of copy and larger sign height because the logo and line spacing takes up the majority of the copy. The actual sign copy height without spacing is 3 feet 7 inches.

4. Approval of the deviation must not negatively impact another tenant or building shown on the Master Sign Plan.

There are no other buildings or tenants within this property it has a single building with one (1) tenant. There are monument signs and tenants that have large primary wall signs located all throughout the commerce parks.

5. The technical deviation must not cause any negative off-site impacts.

No negative off site impacts are expected to occur as the property is surrounded by other industrial type uses that are able to request a technical deviation if needed.

Staff Analysis – Mechanical Equipment:

Per Section 6.4.1.6, equipment located on a roof shall be screened with a parapet or enclosure that aesthetically blends the equipment with the building. Based on the elevations shown in Exhibit D – Proposed Elevations, the equipment is only being screened from view from the front façade. The applicant is requesting not to install screening as they are surrounded by other industrial uses and a lake. Staff is recommending the applicant submit a roof plan showing that equipment is screened from view at 10 feet above grade 200 feet from the building. If the equipment is visible, screening to match the color of the building will be required. This standard applies to all structures throughout the Village.

Recommendation:

Based on the analysis noted above and the plans date stamped August 20, 2020, staff recommends approval of the following:

1. The exterior elevations, materials, and color palette shall be consistent with Exhibit D – Exterior Elevations and Exhibit E – Color and Material Palette:

Body:	K9 Resorts Custom Beige
Stucco and EIFS:	<u>A more contrasting color from the body, either lighter or darker, then the proposed cream color.</u>
Paint Finish:	Non-Glossy – owner is proposing semi-gloss, but will need to change to a finish that is non-glossy.
Door/Window Frames:	Black Anodized Aluminum
Walls:	Eight (8) foot CBS walls
Awning:	Black or Cobalt Blue (to match signage) fabric
Lighting:	Black and/or bronze finish

2. The primary wall sign (Sign A) shall comply with the proposed sign shown in Exhibit G – Proposed Signage and meet the following requirements:
 - a. Maximum Total Sign Area – 38.33 square feet
 - b. Maximum Height – 5 feet
 - c. Maximum Length – 7 feet 8 inches
3. The secondary wall sign (Sign B) shall comply with the proposed sign shown in Exhibit G – Proposed Signage and meet the following requirements:
 - a. Maximum Total Sign Area – 7.94 square feet
 - b. Maximum Height – 9 inches
 - c. Maximum Length – 10 feet 7 inches
4. The secondary wall sign (Sign C) shall comply with the proposed sign shown in Exhibit G – Proposed Signage and meet the following requirements:
 - a. Maximum Total Sign Area – 5.94 square feet
 - b. Maximum Height – 9 inches
 - c. Maximum Length – 7 feet 11 inches

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5. The monument sign shall meet the following requirements:
 - a. Maximum Height – 8 feet
 - b. Maximum Length – 4 feet (proposed sign reduced by 4 inches)
 - c. Maximum Sign Copy Height – 36 inches
 - d. Maximum Lines of Copy – 3
 - e. Sign Area – 32 feet
6. The address identification/numbering height for the building shall comply with the Palm Beach County Fire Code minimum requirements and shall not exceed the LDR maximums.
7. All roof top mechanical equipment shall be screened from view on all sides. The equipment shall not be visibly seen at 10 feet above grade 200 feet from the structure. A roof plan shall be submitted to ensure the roof equipment is not visible prior to submitting for building permit. If visible, screening must be installed.
8. Building permits required prior to construction of the building and installation of signage.
9. Any modifications to this approval during permitting and/or construction shall require ARB approval.
10. Prior to issuance of a Certificate of Occupancy, an inspection by Planning and Zoning Division is required to ensure compliance with all approvals and all equipment, etc., on the roof is completely screened from public view.



Exhibits:

Exhibit A	Proposed Site Plan
Exhibit B	Floor Plan
Exhibit C	Existing Conditions
Exhibit D	Exterior Elevations
Exhibit E	Color and Material Palette
Exhibit F	Landscape Plan
Exhibit G	Proposed Signage
Exhibit H	Justification Statement