

GUARANTEED MAXIMUM PRICE AMENDMENT NO. TWO (2)

EXHIBIT "R" TO CONSTRUCTION MANAGEMENT AGREEMENT DATED JUNE 1, 2020 BETWEEN VILLAGE OF WELLINGTON AND BURKHARDT CONSTRUCTION, INC. ("CONSTRUCTION MANAGER") FOR THE VILLAGE PARK FIELD 21, FIELDS 6 & 7 REHABILITATION ("PROJECT")

ARTICLE 1 - GUARANTEED MAXIMUM PRICE

1.1 Guaranteed Maximum Price ("GMP")

Pursuant to Section 3.2 of the Agreement, the Owner and Construction Manager hereby amend the Agreement to establish a Guaranteed Maximum Price. As agreed by the Owner and Construction Manager, the Guaranteed Maximum Price is an amount that the Contract Sum shall not exceed. The Contract Sum consists of the Construction Manager's Fee plus the Cost of the Work, as that term is defined in Article 8 of this Agreement, and the Owner's Contingency. There shall be no Fee on Owner's Contingency unless and until such time as use of the Owner's Contingency is authorized by Owner. Notwithstanding, Manager's insurance and bond costs shall not be subject to Construction Manager's Fee.

1.1.1 The Contract Sum is guaranteed by the Construction Manager not to exceed three million two hundred sixty-one thousand, one hundred fifty-nine dollars and seventy-nine cents (\$3,261,159.79), subject to additions and deductions by Change Order as provided in the Contract Documents. The GMP is subject to Construction Manager's Assumptions and Clarifications to the GMP attached as **Exhibit "R5"**. The Contract Sum is comprised of the sum of GMP 1 value of \$1,464,774.16 and GMP 2 value of \$1,796,385.63

1.1.2 Allowances included in the Guaranteed Maximum Price are attached as **Exhibit "R4"**.

1.1.3 GMP 2 includes a fixed amount for General Conditions and General Requirements of one hundred thirty-nine thousand eighty-six dollars and fifty cents, (\$139,086.50) as detailed in **Exhibit "R7"**. Construction Manager's General Conditions and General Requirements are fixed and shall not be subject to increase or decrease unless authorized by written Change Order as set forth in the Agreement.

1.1.4 GMP 2 includes an Owner's Contingency in the amount of One Hundred Thousand Dollars (\$100,000.00) to be utilized as set forth in 7.2.3 of the Agreement.

1.1.5 It is the intent and understanding of Construction Manager in providing a GMP for this Work, that the Drawings, Plans and Specifications listed in the attached **Exhibit "R1"** provide for the construction of completed Work by the Construction Manager, including all devices, fasteners, materials or other work not shown in the Drawings and Specifications but which are reasonably inferable therefrom and any and all incidental accessories necessary to make the Work complete and operable in all respects (even if not specified in the description of the Work, but necessary for proper installation and operation of the Work under the Drawings and Specifications), all of which shall be included as part of the Cost of the Work. The expression "reasonably inferable" and similar terms in the Contract Documents shall be interpreted to mean reasonably inferable by a construction manager and general contractor familiar with the Project, having performed extensive Preconstruction Services, and exercising the care, skill and diligence of the Construction Manager by the Contract Documents. Notwithstanding, the foregoing shall not be construed to impose any design responsibility or liability on Construction Manager except where such design responsibility is an existing requirement of Florida law or the Contract Documents.

1.2 Schedule of Values. The Schedule of Values allocating the Contract Sum to the various portions of the Work is attached as **Exhibit "R2"**. The Construction Manager shall not imbalance its Schedule of Values nor artificially inflate any element thereof. Any violation of this provision by the Construction Manager shall constitute a material breach of this Construction Management Agreement. The Schedule of Values shall allocate the entire Guaranteed Maximum Price among the various portions of the Work, except that the Construction Manager's Fee shall be shown as a single separate item.

ARTICLE 2 – CONTRACT TIME

2.1 Date of Commencement. The Work to be performed under this Construction Management Agreement shall be commenced upon the issuance of a Notice to Proceed from Owner (“Date of Commencement”).

2.2 Contract Time. Construction Manager shall meet all Milestones outlined in **Exhibit “R3”** and the entire Project shall reach Substantial Completion no later than one hundred thirty-six (136) calendar days from the Date of Commencement. Construction Manager shall reach Final Completion no later than sixty (60) days from the delivery of the Punch List as outlined in Paragraph 14.4(G) of the General Conditions, subject to any authorized extensions of time as set forth in the Contract Documents. All Work shall be performed in an expeditious manner.

2.2.1 Liquidated Damages. The parties to this Agreement agree that time is of the essence in the performance of this Agreement. Substantial Completion of the Work under this Agreement, as defined in Article 1 of the General Conditions shall be no later than the Substantial Completion date set forth in Section 2.2 of this GMP Amendment, subject to authorized extensions of time as set forth in the Article 12 of the General Conditions. In the event the Work is not substantially completed by the completion date stated above, and has not been extended by Change Order, the Owner shall be entitled to collect liquidated damages. Construction Manager and Owner agree that, because of the nature of the Work, the inability of the parties to precisely calculate actual damages for delay and the difficulty of determining these damages, the Construction Manager shall pay the Owner the sum of \$500.00 per day for each calendar day in achieving Substantial Completion of the Work. Further, Construction Manager and Owner agree that, because of the nature of the Work, the inability of the parties to precisely calculate actual damages for delay and the difficulty of determining these damages, the Construction Manager shall pay the Owner the sum of 25% of the per diem rate set forth in the preceding sentence as liquidated damages for each and every calendar day of unexcused delay for failure to achieve Final Completion. It is hereby agreed that the amount of the per diem assessment for liquidated damages for the Construction Manager’s failure to achieve Substantial Completion of the Work or Final Completion of the Work within the time specified in this Agreement is not a penalty and not excessive in light of the circumstances known to the parties at the time this Agreement is executed. The Owner’s exercise of its right to terminate this Agreement shall not release the Construction Manager from its obligation to pay liquidated damages in the amount set forth herein. Such assessments shall be immediately due and payable to the Owner or, at the Owner’s option, may be deducted from future payments that may be due and owing to Construction Manager. Any sums due and payable hereunder by the Construction Manager shall be payable, not as a penalty, but as liquidated damages representing an estimate of delay damages likely to be sustained by the Owner, estimated at or before the time of executing this Agreement. Construction Manager’s liability for liquidated damages shall survive completion and termination of the Agreement and are in addition to Owner’s other remedies available under the Contract Documents and by law.

ARTICLE 3 - MISCELLANEOUS

3.1 In addition to Construction Manager’s and Subcontractor’s warranty set forth in 6.19 of the General Conditions, Construction Manager shall be responsible for providing the Extended Warranties as set forth in **Exhibit “R6”**.

3.2 The GMP Amendment incorporates the following exhibits:

- 1.** Drawings, plans and specifications listed in the attached List of Drawings attached hereto as **Exhibit “R1”**;
- 2.** Construction Manager’s Schedule of Values to be attached as **Exhibit “R2”**;
- 3.** Construction Schedule to be attached as **Exhibit “R3”**;
- 4.** Construction Manager’s Allowances to be attached as **Exhibit “R4”**;
- 5.** Construction Manager’s Assumptions and Clarifications to the GMP, if any, to be attached as **Exhibit “R5”**;
- 6.** List of extended warranties to be attached as **Exhibit “R6”**;

7. Construction Manager's Stipulated General Conditions and General Requirements to be attached as **Exhibit "R7"**.
8. Submittal Schedule to be attached as **Exhibit "R8"**.

This GMP Amendment and all Exhibits are hereby incorporated as part of the Contract Documents as defined in the Agreement.

3.3 Construction Manager shall deliver Payment and Performance Bonds in accordance with Fla. Stat. §255.05 and the forms set forth as **Exhibit "E"** from a surety registered in Florida and acceptable to Owner for the full value of the Guaranteed Maximum Price, plus all change orders.

3.4 Other than as modified herein, the terms and conditions set forth in the Agreement, General Conditions and other Contract Documents remain in full force and effect.

IN WITNESS WHEREOF, Owner and Construction Manager have signed this GMP Amendment. One counterpart each has been delivered to Owner, Construction Manager, and the Engineer. All portions of the Contract Documents have been signed or identified by Owner and Construction Manager or by the Engineer on their behalf.

OWNER:

CONSTRUCTION MANAGER

VILLAGE OF WELLINGTON

BURKHARDT CONSTRUCTION, INC.

By _____

By _____

Anne Gerwig, Mayor

Printed Name/Title _____

Attest: _____

Attest: _____

Chevelle Addie, Wellington's Clerk

Printed Name

(SEAL)

(CORPORATE SEAL)

APPROVED AS TO FORM AND
LEGAL SUFFICIENCY

License No. _____

Laurie Cohen, Attorney for Wellington



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Detail by Entity Name

Florida Profit Corporation
BURKHARDT CONSTRUCTION, INC.

Filing Information

| | |
|------------------------|------------|
| Document Number | 484922 |
| FEI/EIN Number | 59-1622522 |
| Date Filed | 09/24/1975 |
| State | FL |
| Status | ACTIVE |

Principal Address

1400 ALABAMA AVENUE #20
WEST PALM BEACH, FL 33401

Changed: 05/20/1998

Mailing Address

1400 ALABAMA AVENUE #20
WEST PALM BEACH, FL 33401

Changed: 05/20/1998

Registered Agent Name & Address

BURKHARDT, VINCENT G
1400 ALABAMA AVENUE #20
WEST PALM BEACH,,FL, FL 33401

Address Changed: 03/18/2009

Officer/Director Detail

Name & Address

Title PTD

BURKHARDT, VINCENT G
1400 ALABAMA AVE.#20
W. PALM BCH., FL 33401

Title VDS

BURKHARDT, SHARON H
1400 ALABAMA AVE., #20
W.PALM BCH., FL 33401

Title VD

HAYNES, DENNIS E
1400 ALABAMA AVE #20
W PALM BEACH, FL 33401

Title VD

KLEISLEY, MARC R
1400 ALABAMA AVE #20
WEST PALM BEACH, FL 33401

Annual Reports

| Report Year | Filed Date |
|-------------|------------|
| 2018 | 01/11/2018 |
| 2019 | 02/12/2019 |
| 2020 | 02/13/2020 |

Document Images

| | |
|---|--|
| 02/13/2020 -- ANNUAL REPORT | View image in PDF format |
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| 01/15/2004 -- ANNUAL REPORT | View image in PDF format |
| 03/07/2003 -- ANNUAL REPORT | View image in PDF format |
| 01/29/2002 -- ANNUAL REPORT | View image in PDF format |
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| 05/09/2000 -- ANNUAL REPORT | View image in PDF format |
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| 04/14/1997 -- ANNUAL REPORT | View image in PDF format |
| 04/01/1996 -- ANNUAL REPORT | View image in PDF format |
| 04/03/1995 -- ANNUAL REPORT | View image in PDF format |

Florida Department of State, Division of Corporations

EXHIBIT R1

DRAWINGS, PLANS AND SPECIFICATIONS

| Fields 6 & 7 Rehabilitation - Natural Turf | | | |
|--|------------------------------------|------------|-----------|
| PLAN LOG | | | |
| SHEET NO. | DRAWING TITLE | DWG DATE | RCVD DATE |
| COV | COVER | 12/10/2019 | 5/6/2020 |
| C.1 | GENERAL NOTES | 12/10/2019 | 5/6/2020 |
| C.2 | EXISTING SITE CONDITIONS/DEMO PLAN | 12/10/2019 | 5/6/2020 |
| C.3 | SITE LAYOUT PLAN | 12/10/2019 | 5/6/2020 |
| C.4 | GRADING AND DRAINAGE PLAN | 12/10/2019 | 5/6/2020 |
| C.5 | DETAILS | 12/10/2019 | 5/6/2020 |
| C.6 | CONCEPTUAL IRRIGATION PLAN | 12/12/2019 | 5/6/2020 |
| C.7 | CONCEPTUAL IRRIGATION DETAILS | 12/12/2019 | 5/6/2020 |

CONSTRUCTION PLANS FOR VILLAGE PARK FIELD 6&7 REHABILITATION

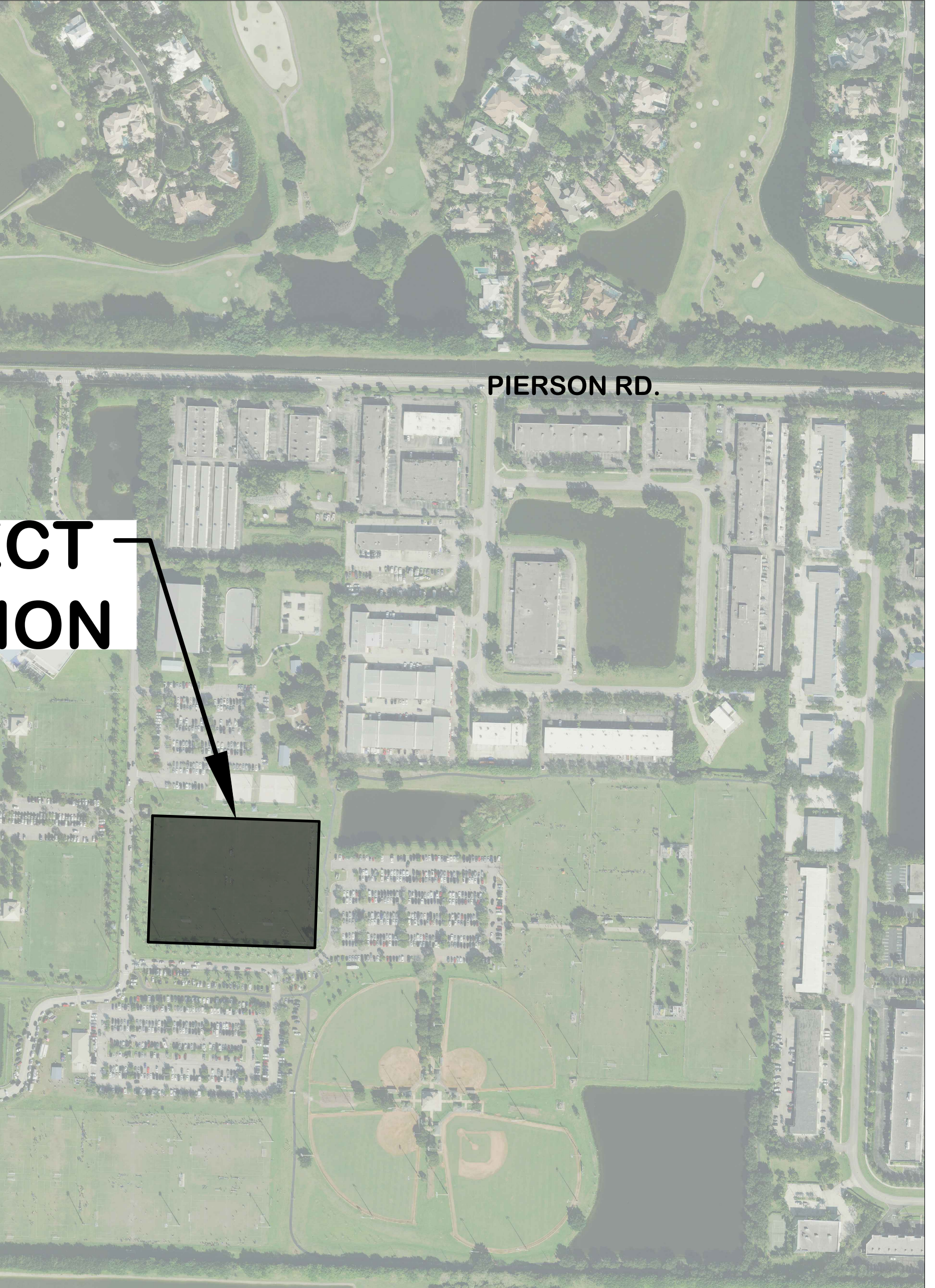
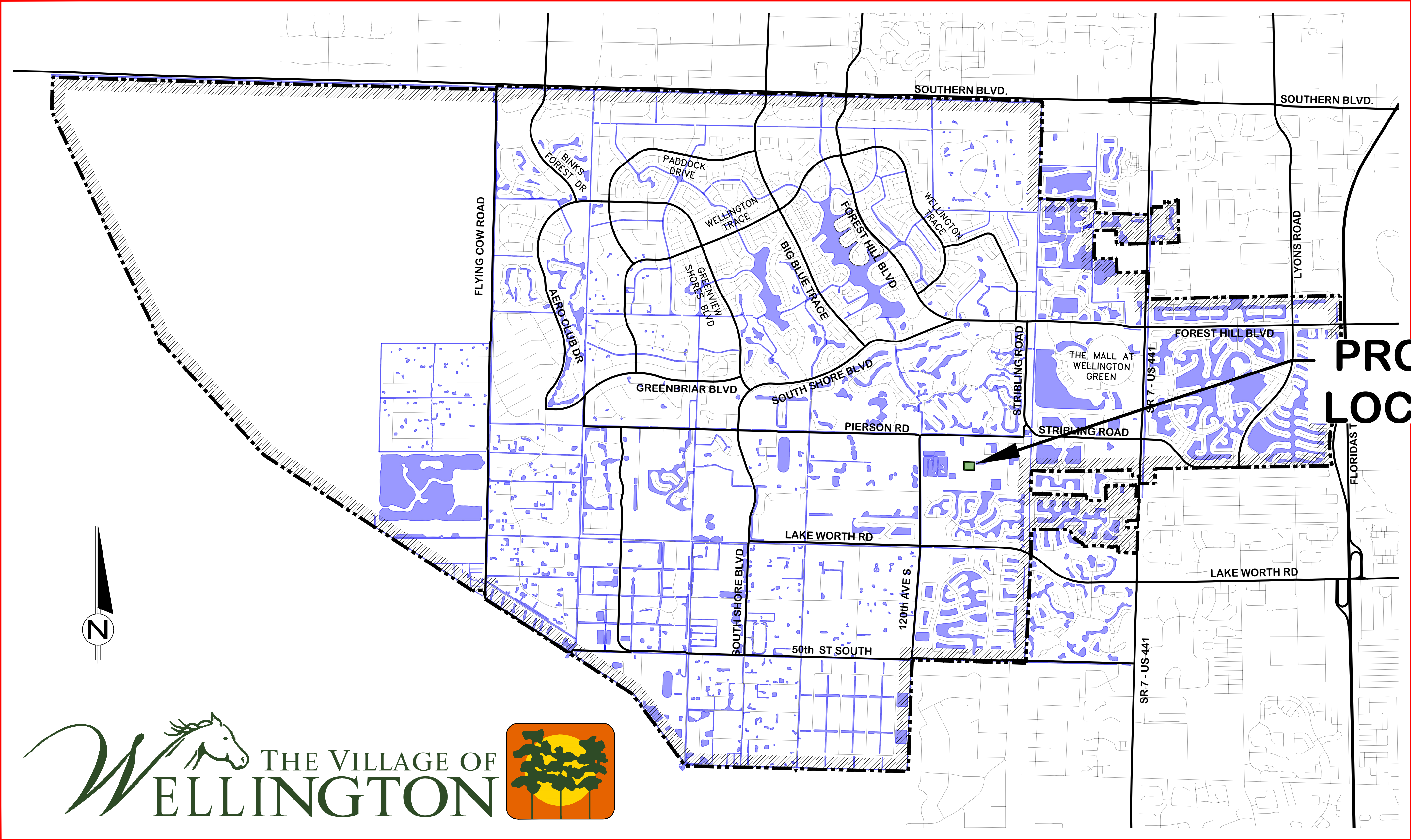
VILLAGE COUNCIL
ANNE GERWIG - MAYOR
MICHAEL J. DRAHOS - VICE MAYOR
JOHN McGOVERN - COUNCILMAN
MICHAEL NAPOLEONE - COUNCILMAN
TANYA SISKIND - COUNCILWOMAN

RECEIVED

**BURKHARDT
CONSTRUCTION, INC.**

By Marc at 9:13:18 AM, 5/6/2020

| SHEET NO. | DESCRIPTION |
|-----------|------------------------------------|
| COV | COVER |
| C.1 | GENERAL NOTES |
| C.2 | EXISTING SITE CONDITIONS/DEMO PLAN |
| C.3 | SITE LAYOUT PLAN |
| C.4 | GRADING AND DRAINAGE PLAN |
| C.5 | SITE DETAILS |
| C.6 | CONCEPTUAL IRRIGATION PLAN |
| C.7 | CONCEPTUAL IRRIGATION DETAILS |



**PROJECT
LOCATION**



VILLAGE MAP
1:3,000 SCALE

PAUL SCHOFIELD - VILLAGE MANAGER
THOMAS J. LUNDEEN, P.E. - VILLAGE ENGINEER
ERIC JUCKETT - PARKS AND RECREATION DIRECTOR
JONATHAN REINSVOLD, P.E. - PROJECT MANAGER/EOR

REPRODUCTION:
ATTENTION IS DIRECTED TO THE FACT THAT THESE
PLANS MAY HAVE BEEN REDUCED IN SIZE BY
REPRODUCTION. THIS MUST BE CONSIDERED WHEN
OBTAINING SCALED DATA.



W:\Departments\Engineering\0_CAD\0_Projects\FY2020\ENG20-002 VP FIELD 6&7\CONSTRUCTION PLANS\FIELD 6&7 REHABILITATION COVER.dwg 12/12/2019 4:30 PM
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JONATHAN R. REINSVOLD
FLORIDA LICENSE
No. 74033

THE VILLAGE OF WELLINGTON
Engineering Department
12300 Forest Hill Boulevard, Wellington, Florida 33414

| | | | |
|------------------|--------------------|---------|-----------|
| START DATE | 12/10/2019 | SHEET | COV |
| DRAWN | JONATHAN REINSVOLD | | |
| PROJECT ENGINEER | JONATHAN REINSVOLD | | |
| PROJECT MANAGER | JONATHAN REINSVOLD | | |
| CHECKED | THOMAS LUNDEEN | JOB NO. | ENG20-002 |

100% BID PLANS
05 / 01 / 2020

1. ALL WORK SHALL CONFORM TO THESE SPECIFICATIONS OR OTHERWISE REFERENCED SPECIFICATIONS.
2. WORK INCLUDED
 - a. THE CONTRACTOR SHALL FURNISH ALL LABOR, SUPERINTENDENCE, QUALITY CONTROL, MATERIALS, PLANT, POWER, LIGHT, HEAT, FUEL, WATER, TOOLS, APPLIANCES, EQUIPMENT, SUPPLIES, AND OTHER MEANS OF CONSTRUCTION NECESSARY AND PROPER FOR PERFORMING AND COMPLETING THE WORK. CONTRACTOR SHALL PERFORM AND COMPLETE THE WORK IN THE MOST EFFICIENT MANNER BEST ADAPTED TO PROMOTE THE SAFETY, ECONOMY AND PROTECTION OF THE LIFE AND PROPERTY OF THE OWNER AND TO THE SATISFACTION OF THE OWNER, AND IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL CLEAN UP THE WORK, MAINTAIN IT DURING CONSTRUCTION, AND PAY ALL COSTS INCIDENTAL THERETO. CONTRACTOR SHALL REPAIR OR RESTORE ALL STRUCTURES AND PROPERTY THAT MAY BE DAMAGED OR DISTURBED DURING PERFORMANCE OF THE WORK.
 - b. THE COST OF INCIDENTAL WORK DESCRIBED IN THESE GENERAL REQUIREMENTS, FOR WHICH THERE ARE NO SPECIFIC CONTRACT ITEMS, SHALL BE CONSIDERED AS PART OF THE GENERAL COST OF DOING THE WORK AND SHALL BE INCLUDED IN THE UNIT PRICES FOR THE CONTRACT ITEMS. NO ADDITIONAL PAYMENT WILL BE MADE THEREFOR.
 - c. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SUCH MODERN PLANT, TOOLS, AND EQUIPMENT AS MAY BE NECESSARY IN THE OPINION OF THE ENGINEER, TO PERFORM IN A SATISFACTORY AND ACCEPTABLE MANNER ALL THE WORK REQUIRED BY THE CONTRACT. ONLY EQUIPMENT OF ESTABLISHED REPUTATION AND PROVEN EFFICIENCY SHALL BE USED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE ADEQUACY OF WORKMANSHIP, MATERIALS AND EQUIPMENT, PRIOR TO APPROVAL OF THE ENGINEER NOTWITHSTANDING
3. SHOP DRAWINGS, PRODUCT DATA AND SAMPLES
 - a. SUBMIT AT LEAST FIVE (5) COPIES OF ALL REQUIRED SHOP DRAWINGS, PRODUCT DATA AND SAMPLES FOR ENGINEER'S REVIEW.
 - b. SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND TRANSMITTAL LETTERS PERTAINING THERETO SHALL BE IDENTIFIED WITH THE TITLE OF THE PROJECT, SUBMISSION DATE, AND THE CONTRACTOR'S ACKNOWLEDGEMENT THAT HE HAS REVIEWED THEM AND FOUND THEM ACCEPTABLE.
 - c. NOTIFY ENGINEER IN WRITING, AT THE TIME OF SUBMITTAL, OF ANY DEVIATIONS IN THE SUBMITTALS FROM THE REQUIREMENTS OF THE CONTACT DOCUMENTS.
 - d. THE REVIEW AND APPROVAL OF SHOP DRAWINGS, SAMPLES OR PRODUCT DATA BY THE ENGINEER SHALL NOT RELIEVE THE CONTRACTOR FROM HIS/HER RESPONSIBILITY WITH REGARD TO THE FULFILLMENT OF THE TERMS OF THE CONTRACT DOCUMENTS. ANY ERROR OR OMISSION ASSUMED BY THE CONTRACTOR AND THE ENGINEER WILL HAVE NO RESPONSIBILITY THEREFORE.
4. THE LOCATION OF ALL EXISTING UTILITIES SHOWN IN THE PLANS ARE PROXIMATE ONLY AND ARE BASED ON AS BUILT SURVEY INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ANY AND ALL KNOWN CONFLICTS WITH EXISTING UTILITIES SHALL BE REPORTED TO THE CONSULTANT. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED. THE APPROPRIATE UTILITY COMPANY SHALL BE ADVISED OF ANY EXCAVATION INVOLVING ANY UTILITIES THAT A COMPANY'S REPRESENTATIVE CAN BE PRESENT. DETERMINATION OF THE EXACT LOCATION OF ANY/ALL UTILITIES WHICH MAY BE INVOLVED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING UTILITY LOCATION PRIOR TO SUBMITTING SHOP DRAWINGS OF PRECAST COMPLEX STRUCTURES FOR APPROVAL.

| UTILITY OWNERS & CONTACT: | TELEPHONE NO. |
|---|----------------|
| AT&T | |
| SANDRA EMERT | (561) 357-6616 |
| COMCAST CABLEVISION | |
| JEANNINE MCENROE | (561) 881-3255 |
| FLORIDA POWER & LIGHT | |
| ALAN BOAZ | (561) 575-6346 |
| FLORIDA PUBLIC UTILITIES | |
| VINCE KREPPS | (561) 684-4030 |
| VILLAGE OF WELLINGTON | |
| COREY ROBINSON | (561) 753-2464 |
| PALM BEACH COUNTY TRAFFIC COMMUNICATION | |
| SUPERINTENDENT | (561) 533-3900 |

5. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY COMPANY AT LEAST 48 HOURS IN ADVANCE OF ANY EXCAVATION NEAR OR AROUND THEIR FACILITY SO THAT A COMPANY REPRESENTATIVE CAN BE PRESENT.
6. THE CONTRACTOR IS TO USE EXTREME CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES AND UNDERGROUND UTILITIES.
7. THE CONTRACTOR IS TO PROTECT UNDERGROUND UTILITIES DURING CONSTRUCTION AT ALL TIMES.
8. FOR UTILITY ADJUSTMENT SYMBOLS, SEE FDOT STANDARD INDEX 002.
9. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED THE PROJECT ENGINEER SHALL NOTIFY THE COUNTY SURVEYOR WITHOUT THE WAY BY TELEPHONE.
10. ALL ELEVATIONS ARE REFERENCED TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929 IN FEET.
11. TOPOGRAPHIC SURVEY PERFORMED BY ENGENUITY ON 10/14.
12. ANY NGVD 29 MONUMENT WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED.
13. ALL EXISTING TREES & SHRUBS IN CONFLICT WITH PROPOSED PATHWAYS WITHIN R/W SHALL BE REMOVED.
14. NEATLY REMOVE OR PRUNE ALL EXIST. TREES, HEDGES AND OTHER VEGETATION (INCLUDING THOSE NOT SHOWN HEREON) AS NECESSARY TO PROVIDE MINIMUM CLEARANCES OF 1FT HORIZONTAL AND 10FT VERTICAL FROM THE PROPOSED PATH.
15. ALL PEDESTRIAN ROUTES SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT. CROSS SLOPES SHALL NOT EXCEED 2% AND LONGITUDINAL SLOPES SHALL NOT EXCEED 5%.
16. EXISTING DRAINAGE STRUCTURES AND PIPES WITHIN THE LIMITS OF CONSTRUCTION SHALL REMAIN UNLESS OTHERWISE NOTED.
17. ALL EXISTING PIPES THAT ARE TO REMAIN ARE TO BE CLEANED OUT (DESILED) AS DIRECTED BY THE ENGINEER.
18. ALL STATIONS AND OFFSETS ARE FROM THE CENTERLINE OF CONSTRUCTION TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
19. RADII, DIMENSIONS AND ELEVATIONS ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
20. PROPOSED GRADES SHOWN OUR FINISH GRADES.
21. FOR DETAILS OF CURB CUT RAMPS SEE FDOT STANDARD INDEX NO. 304.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING LANDSCAPING AND IRRIGATION SYSTEMS LOCATED ON PRIVATE PROPERTY. REPAIR OR REPLACEMENT OF SYSTEMS DAMAGE BY THE CONTRACTOR SHALL BE MADE AT THE EXPENSE OF THE CONTRACTOR.
23. THE CONTRACTOR AND/OR HIS SUBCONTRACTORS SHALL BE IN COMPLIANCE WITH CURRENT OSHA, STATE, COUNTY AND LOCAL REGULATIONS, WHICH INCLUDE BUT ARE NOT LIMITED TO 54 CFR 45894 AND 29 CFR 1926.650 & 651 AND THE FLORIDA TRENCH SAFETY ACT.
24. CONTRACTOR SHALL OBTAIN A "DEWATERING GENERAL WATER USE PERMIT" FROM THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT PRIOR TO COMMENCING DEWATERING UNLESS THE WORK QUALIFIES FOR A "NO-NOTICE" AUTHORIZATION AS DESCRIBED IN RULE 40E-20.302(3) OF THE FLORIDA ADMINISTRATIVE CODE AND APPROVE SET OF CONSTRUCTION PLANS AND CONTRACT DOCUMENTS SHALL BE MAINTAINED BY THE CONTRACTOR ON SITE AT ALL TIMES DURING CONSTRUCTION OPERATIONS.
25. SALVAGE MATERIAL
 - a. ALL SALVAGEABLE MATERIAL AND EQUIPMENT REMOVED FROM THE EXISTING CONSTRUCTION FOR WHICH SPECIFIC USE, RELOCATION OR OTHER DISPOSAL IS NOT SPECIFICALLY NOTED ON THE DRAWINGS OR OTHERWISE SPECIFIED, SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE TURNED OVER TO HIM. ALL MATERIAL AND EQUIPMENT NOT IN SALVAGEABLE CONDITION AS DETERMINED BY THE ENGINEER, SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER AT THE CONTRACTOR'S EXPENSE. THE ACTUAL STORAGE SITE FOR SALVAGEABLE MATERIAL WILL BE DESIGNATED BY THE OWNER.
28. CLEANING
 - a. DURING CONSTRUCTION OF THE WORK, THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE SITE OF THE WORK AND ADJACENT PREMISES AS FREE FROM MATERIAL, DEBRIS AND RUBBISH AS IS PRACTICABLE AND SHALL REMOVE THE SAME FROM ANY PORTION OF THE SITE IF, IN THE OPINION OF THE ENGINEER, SUCH MATERIAL, DEBRIS, OR RUBBISH CONSTITUTES A NUISANCE OR IS OBJECTIONAL.
 - b. AT THE CONCLUSION OF THE WORK, ALL TOOLS, TEMPORARY STRUCTURES AND MATERIALS BELONGING TO THE CONTRACTOR SHALL BE PROMPTLY TAKEN AWAY AND CONTRACTOR SHALL REMOVE AND PROMPTLY DISPOSE OF ALL RUBBISH OR ANY OTHER FOREIGN MATERIALS. THE CONTRACTOR SHALL THOROUGHLY CLEAN ALL MATERIAL INSTALLED AND SHALL DELIVER SUCH MATERIALS UNDamaged IN A CLEAN AND NEW CONDITION.

1. NOTIFY ENGINEER OF FIELD CONFLICTS OR DESIGN DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
2. EXISTING WATER, SEWER AND DRAINAGE SYSTEMS ARE REPRESENTED AS DASHED LINES AND SHALL BE VERIFIED BY CONTRACTOR.
3. CONTRACTOR SHALL PROTECT ALL UTILITIES AND PUBLIC IMPROVEMENTS AND SHALL BE RESPONSIBLE FOR ALL DAMAGES CAUSED DURING CONSTRUCTION AND SHALL REPAIR SAID DAMAGES AT HIS EXPENSE. CONTRACTOR TO RESTORE ALL AREAS DISTURBED DURING CONSTRUCTION TO ORIGINAL OR BETTER CONDITION.
4. SUPPORT OR THE RELOCATION OF EXISTING STREETLIGHT POLES POWER OR TELEPHONE POLES, EXISTING UTILITIES, IRRIGATION SYSTEMS, SIDEWALKS, WALLS, ETC., NECESSARY FOR COMPLETION OF THIS WORK ARE THE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
5. INFORMATION SHOWN ON THESE DRAWINGS AS TO THE LOCATION OF EXISTING UTILITIES HAS BEEN PREPARED FROM THE LATEST AND MOST RELIABLE DATA AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT TO BE GUARANTEED, HOWEVER, AND IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE LOCATION, CHARACTER AND DEPTH OF ANY EXISTING UTILITIES. ALL "AS-BUILT" INFORMATION INCLUDING LOCATION AND ELEVATION OF UTILITY STUB OUTS TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION OR ORDERING OF STRUCTURES. NOTIFY ENGINEER OF DISCREPANCIES/CONFLICTS.
6. ALL DRAINAGE CONSTRUCTION SHALL CONFORM TO FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST ADDITION) AND THE VILLAGE OF WELLINGTON REQUIREMENTS.
7. ALL DRAINAGE PIPE SHOWN AS RCP SHELBY REINFORCED CONCRETE PIPE CLASS III, WALL "B" AND CONFORMING TO THE FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
8. CONTRACTOR SHALL PROVIDE ADEQUATE EQUIPMENT FOR THE REMOVAL OF STORM, SURFACE AND/OR SUBSURFACE WATER WHICH MAY ACCUMULATE IN THE EXCAVATION AREAS SO THAT IT WILL BE SUITABLY DRIVE FOR WORK REQUIRED.
9. NO OFF-SITE DISCHARGE FROM DEWATERING OPERATION SHALL BE PERMITTED UNLESS THE CONTRACTOR SECURES WRITTEN PERMISSION FROM THE GOVERNING AUTHORITIES.
10. WHERE ENCOUNTERED, MARK SHALL BE COMPLETELY REMOVED FROM THE PAVED AREAS AND TO BE ON THE EDGE OF PAVEMENT EACH SIDE.
11. CONTRACTOR TO PROVIDE TEST REPORTS FROM AN INDEPENDENT LABORATORY FOR PROCTORS AND DENSITIES ON BASE UPGRADING PIPE BACKFILL.
12. CONTRACTOR IS RESPONSIBLE FOR PROVIDING COMPLETE PAVING AND DRAINAGE, WATER AND SEWER CONSTRUCTION RECORD INFORMATION TO THE ENGINEER.
13. CONTRACTOR SHALL ARRANGE FOR THE ENGINEER TO OBSERVE:
 - a. STORM SEWER AFTER GROUTING AND WHEN BACKFILL IS COMPLETED TO THE MIDPOINT OF THE PIPE.
 - b. STRINGLINING OF SUBGRADE.
 - c. STRINGLINING /BOARDING OF BASE.
14. THE CONTRACTOR SHALL FILL AND FIND GRADE ALL PLANTING AREAS, LEAVING THE FINISH GRADE SMOOTH AND READY TO RECEIVE SOD OR OTHER PLANTING MATERIAL. WHERE SODS DESIRED, THE FINISH GRADE SHALL BE 2 INCHES LOWER TO ALLOW FOR THICKNESS OF THE GRASS. SPECIAL ATTENTION SHALL BE GIVEN ALONG THE EDGE OF PAVEMENT AND SIDEWALKS SO AS NOT TO TRAP WATER.
15. ALL SWELL RIGHT-OF-WAY AREAS AND YARD AREAS SHALL BE GRADED AND SEATED OR SODDED IN ACCORDANCE WITH GOVERNING AGENCY STANDARDS. NO AREAS SHALL BE LEFT BARREN OR SUBJECT TO EROSION.
16. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO IT HERE TO ALL OSHA RULES AND FLORIDA LAWS RELATED TO TRENCH SAFETY.
17. CONTRACTOR SHALL ENSURE NO SETTLEMENT OR DEBRIS LEAVE THE SITE OR CONSTRUCTION IN ACCORDANCE WITH NPDES REQUIREMENTS (SILK FENCE, HAYBALE'S OR SOUGHT APRONS ORNAMENTS, WASH ROCK EXIT, ETC. MAY BE REQUIRED TO MEET SAID REQUIREMENTS). CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION IMPLEMENTATION AND CERTIFICATION OF ALL NPDES POLLUTION PREVENTION RELATED MEASURES (IE FILING OF AN AND OI POLLUTION PREVENTION PLAN MONITORING REPORTS, ETC.)

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BURKHARDT
CONSTRUCTION, INC.



100% BID PLANS
05 / 01 / 2020

JOB NO.
ENG20-002

| | | | |
|-----|------------------|--------|------------|
| C.1 | DRAWN BY: | J.R.R. | 12/10/2019 |
| | PROJECT ENGINEER | J.R.R. | |
| | PROJECT MANAGER | J.R.R. | |
| | CHECKED | T.J.L. | |



 THE VILLAGE OF
WELLINGTON
Engineering Department
12300 Forest Hill Boulevard, Wellington, Florida 33414

12300 Forest Hill Boulevard, Wellington, Florida 33414

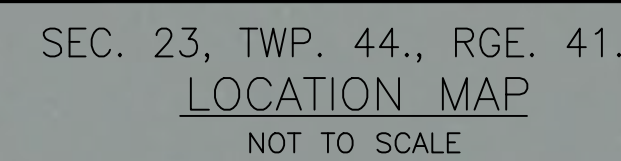
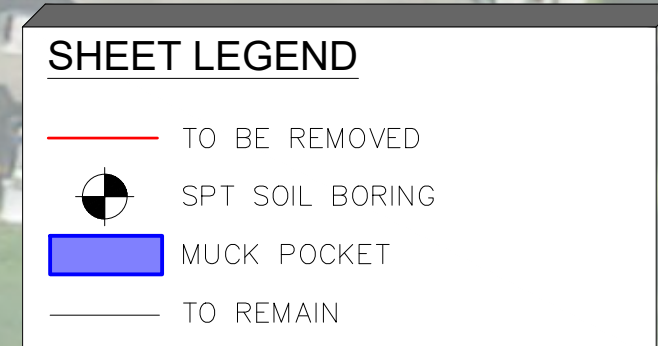
GENERAL NOTES
FOR
VILLAGE PARK FIELDS 6&7
REHABILITATION

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ONATHAN ROGER
REINSVOLD, P.E.
FLORIDA LICENSE
No. 74033

| REVISIONS | | | |
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BURKHARDT
CONSTRUCTION, INC.

| REVISIONS | | | | | | |
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JONATHAN ROGER
REINSVOLD, P.E.
FLORIDA LICENSE
No. 74033

PLANS.DWG

EXISTING SITE CONDITIONS/DEMO PLAN
FOR
VILLAGE PARK FIELDS 6&7
REHABILITATION

| STRUCTURE TABLE | | | |
|---------------------|-------|-------------------------------------|-----------|
| STRUCTURE NAME: | RIM: | PIPES IN: | PIPES OUT |
| YD-01 | 15.06 | | (E) 14.00 |
| YD-02 | 15.99 | (W) 13.00 (E) 12.00 | (S) 13.00 |
| EX-PARKING YD-03 | 16.36 | | (W) 13.00 |
| YD-04 | 15.13 | (N) 12.00 (W) 13.00 (S) 11.00 | (E) 12.00 |
| YD-05 | 15.99 | | (N) 12.00 |


THE VILLAGE OF
WELLINGTON
Engineering Department
 12300 Forest Hill Boulevard, Wellington, Florida 33414

| | | | | |
|-----------------------------|-----|------------------|--------|------------|
| JOB NO. ENG20-002 | C.2 | DRAWN BY: | J.R.R. | 12/10/2019 |
| | | PROJECT ENGINEER | J.R.R. | |
| | | PROJECT MANAGER | J.R.R. | |
| | | CHECKED | T.J.L. | |
| | | | | |



Know what's below.
Call before you dig.

100% BID PLANS
05 / 01 / 2020

EX. LEGEND

MEASURED ELEVATION

TEMPORARY BENCHMARK

CONCRETE

CHAIN LINK FENCE

ELECTRIC WIRE PULLBOX

CONCRETE LIGHT POLE

IRRIGATION CONTROL VALVE

UNDERGROUND STORM PIPE

TEMPORARY BENCHMARK

INVERT

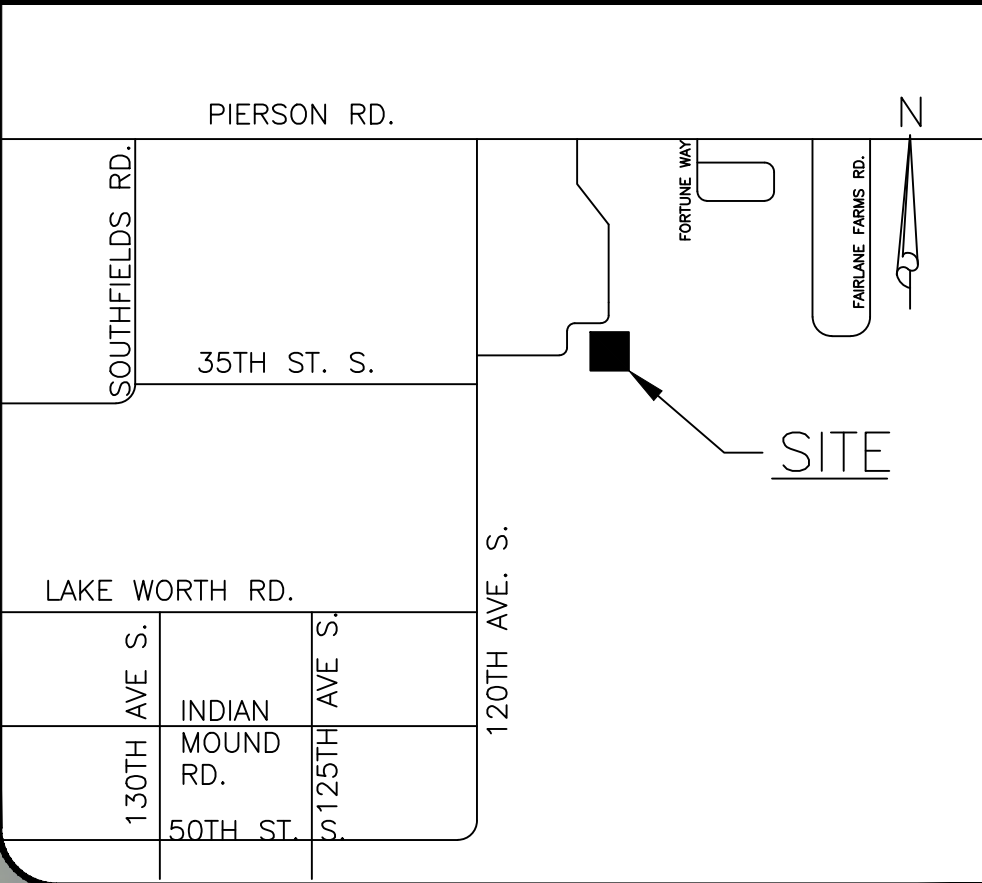
CORRUGATED METAL PIPE

EX. TREE LEGEND

UNKNOWN TREE & DIAMETER

PALM & DIAMETER

MAHOGANY TREE & DIAMETER



SEC. 23, TWP. 44., RGE. 41.
LOCATION MAP
NOT TO SCALE

| REVISIONS | | NO. | DATE | REMARKS | BY |
|-----------|--|-----|------|---------|----|
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JONATHAN ROGER
REGISTERED PROFESSIONAL ENGINEER
FLORIDA LICENSE
No. 74033

RECEIVED

BURKHARDT
CONSTRUCTION, INC.

By Marc at 9:13:33 AM, 5/6/2020

SITE LAYOUT PLAN
FOR
VILLAGE PARK FIELDS 6&7
REHABILITATION

THE VILLAGE OF
WELLINGTON
Engineering Department
12300 Forest Hill Boulevard, Wellington, Florida 33414

| STRUCTURE TABLE | | | |
|-----------------|-------|-------------------------------------|-----------|
| STRUCTURE NAME: | RIM: | PIPES IN: | PIPES OUT |
| YD-01 | 15.06 | | (E) 14.00 |
| YD-02 | 15.99 | (W) 13.00 (E) 12.00 | (S) 13.00 |
| YD-03 | 16.36 | | (W) 13.00 |
| YD-04 | 15.13 | (N) 12.00 (W) 13.00 (S) 11.00 | (E) 12.00 |
| YD-05 | 15.99 | | (N) 12.00 |

NOTE: FIELD DIMENSIONS TO CLOSELY MATCH EX. FIELD DIMENSIONS. PERFORMANCE TURF AREA TO BE CONSTRUCTED NO SMALLER THAN THE EXISTING FIELD AREA.

PERFORMANCE TURF FIELD
(SEE TYPICAL SECTION, SHEET C.5)

491' ± EX. FIELD DIMENSIONS

372' ± EX. FIELD DIMENSIONS

ELEVATIONS SHOWN IN NGVD

100% BID PLANS
05 / 01 / 2020

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| | |
|------------------|------------|
| DATE | 12/10/2019 |
| DRAWN BY: | J.R.R. |
| PROJECT ENGINEER | J.R.R. |
| PROJECT MANAGER | J.R.R. |
| CHECKED | T.J.L. |
| JOB NO. | ENG20-002 |

C.3

EX. LEGEND

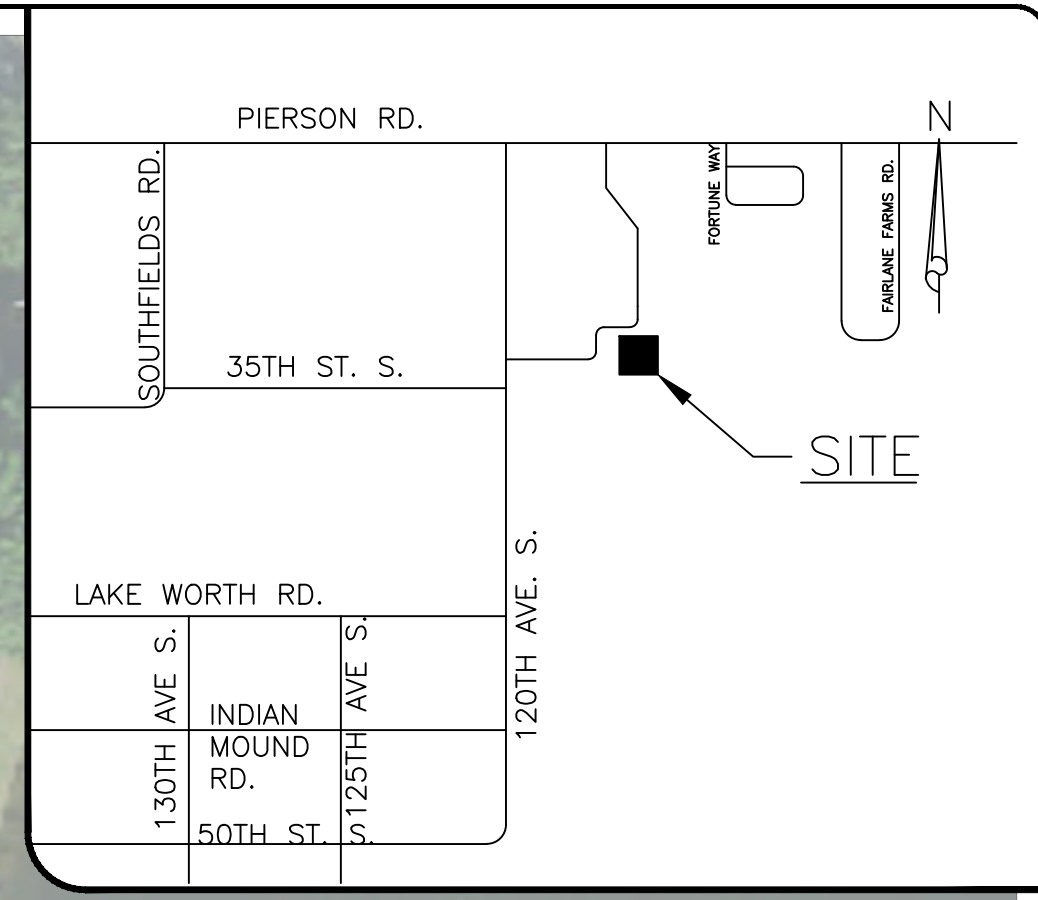
- MEASURED ELEVATION
- TEMPORARY BENCHMARK
- CONCRETE
- CHAIN LINK FENCE
- ELECTRIC WIRE PULLBOX
- CONCRETE LIGHT POLE
- IRRIGATION CONTROL VALVE
- UNDERGROUND STORM PIPE
- TEMPORARY BENCHMARK
- INVERT
- CORRUGATED METAL PIPE

EX. TREE LEGEND

- UNKNOWN TREE & DIAMETER
- PALM & DIAMETER
- MAHOGANY TREE & DIAMETER

SHEET LEGEND

- PROPOSED ELEVATION
- PROPOSED ELEVATION CONTOUR
- DRAIN PIPE
- YARD DRAIN



SEC. 23, TWP. 44., RGE. 41.
LOCATION MAP
NOT TO SCALE

| REVISIONS | | NO. | DATE | REMARKS | BY |
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GRADING AND DRAINAGE PLAN FOR VILLAGE PARK FIELDS 6&7 REHABILITATION



| DATE | DRAWN BY | PROJECT ENGINEER | PROJECT MANAGER | CHECKED | T.J.L. |
|------------|----------|------------------|-----------------|---------|--------|
| 12/10/2019 | J.R.R. | J.R.R. | J.R.R. | | |
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JOB NO. ENG20-002



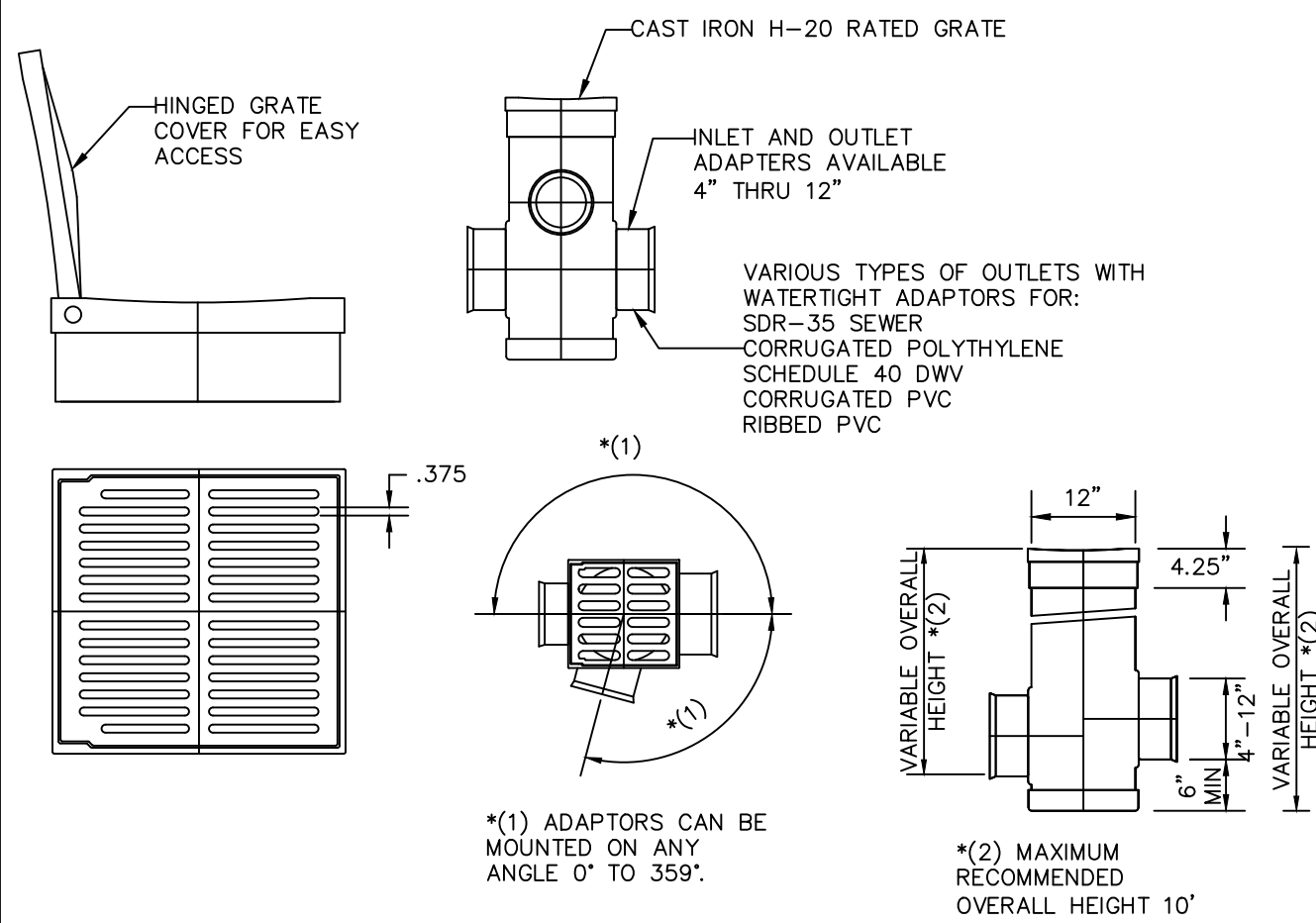
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By Marc at 9:13:37 AM, 5/6/2020

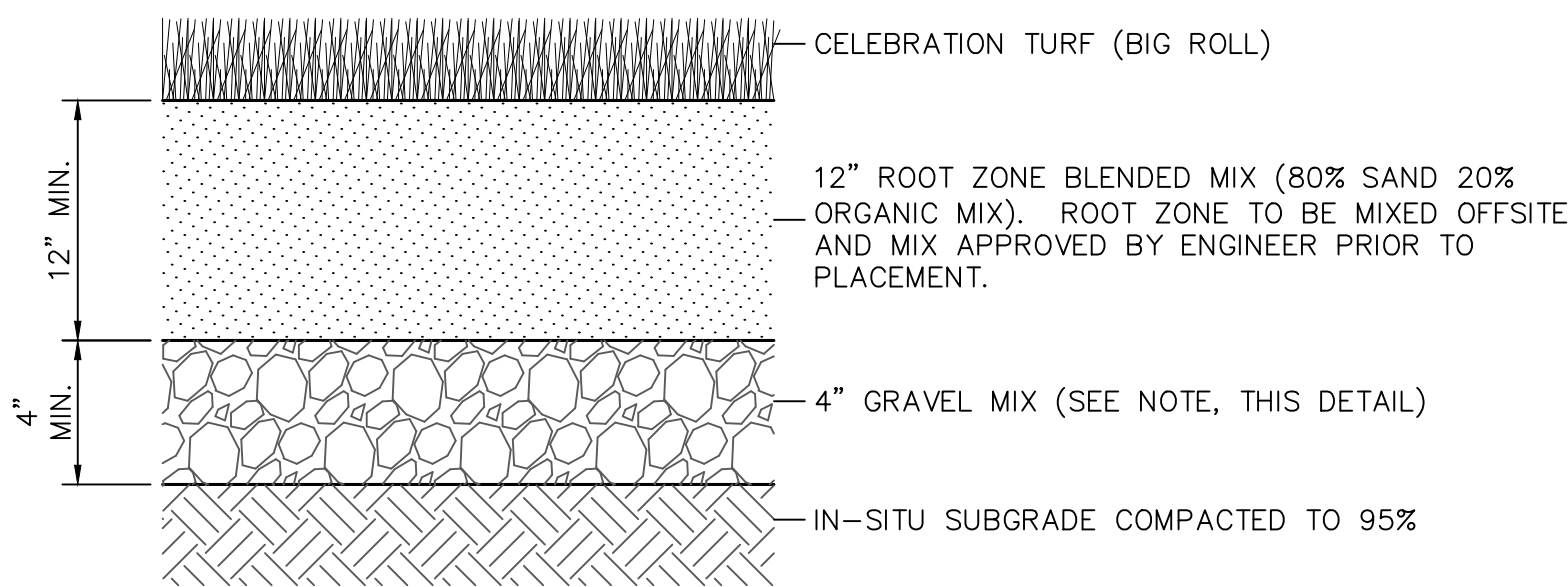


100% BID PLANS
05 / 01 / 2020

ELEVATIONS SHOWN IN NGVD

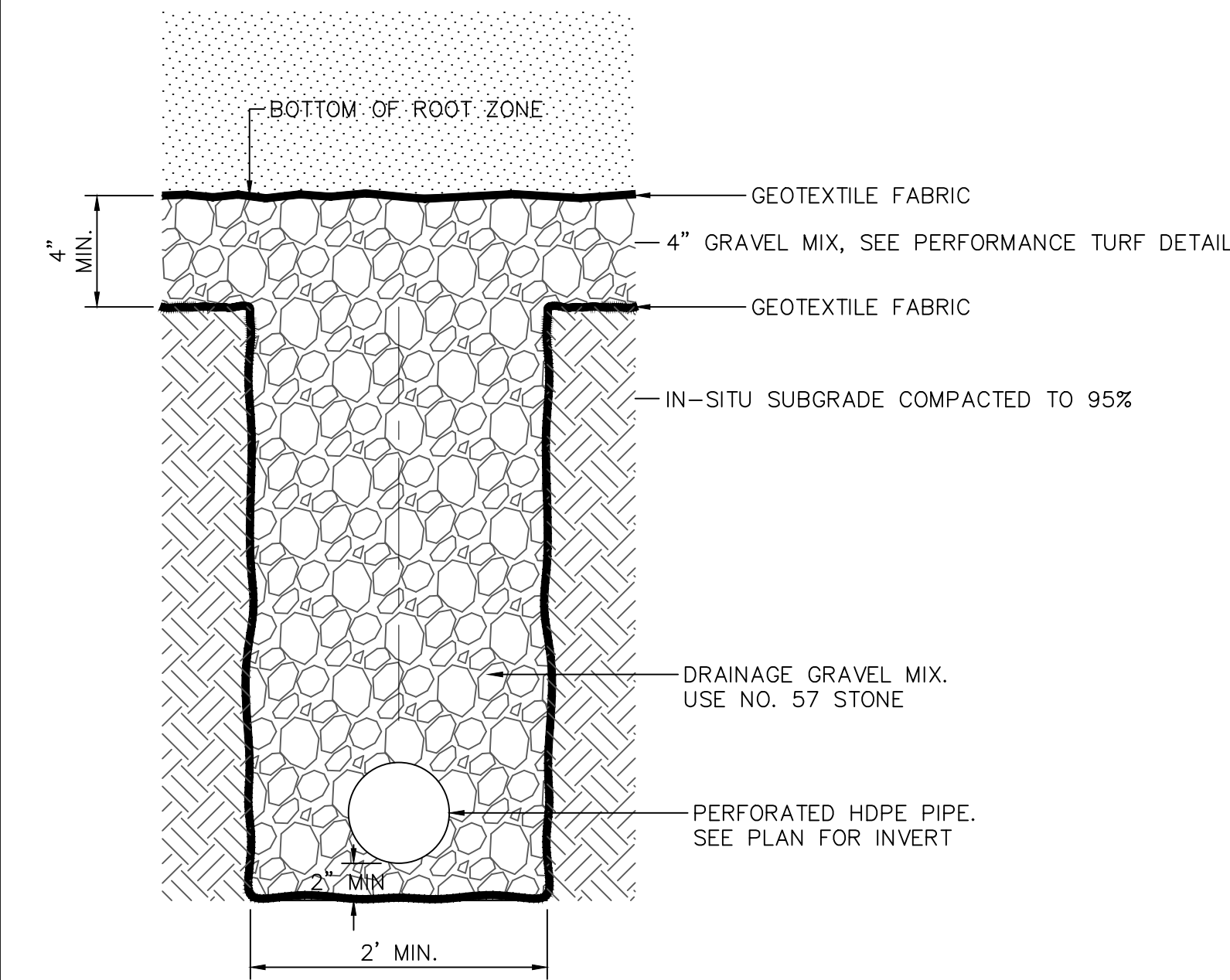


12" YARD DRAIN

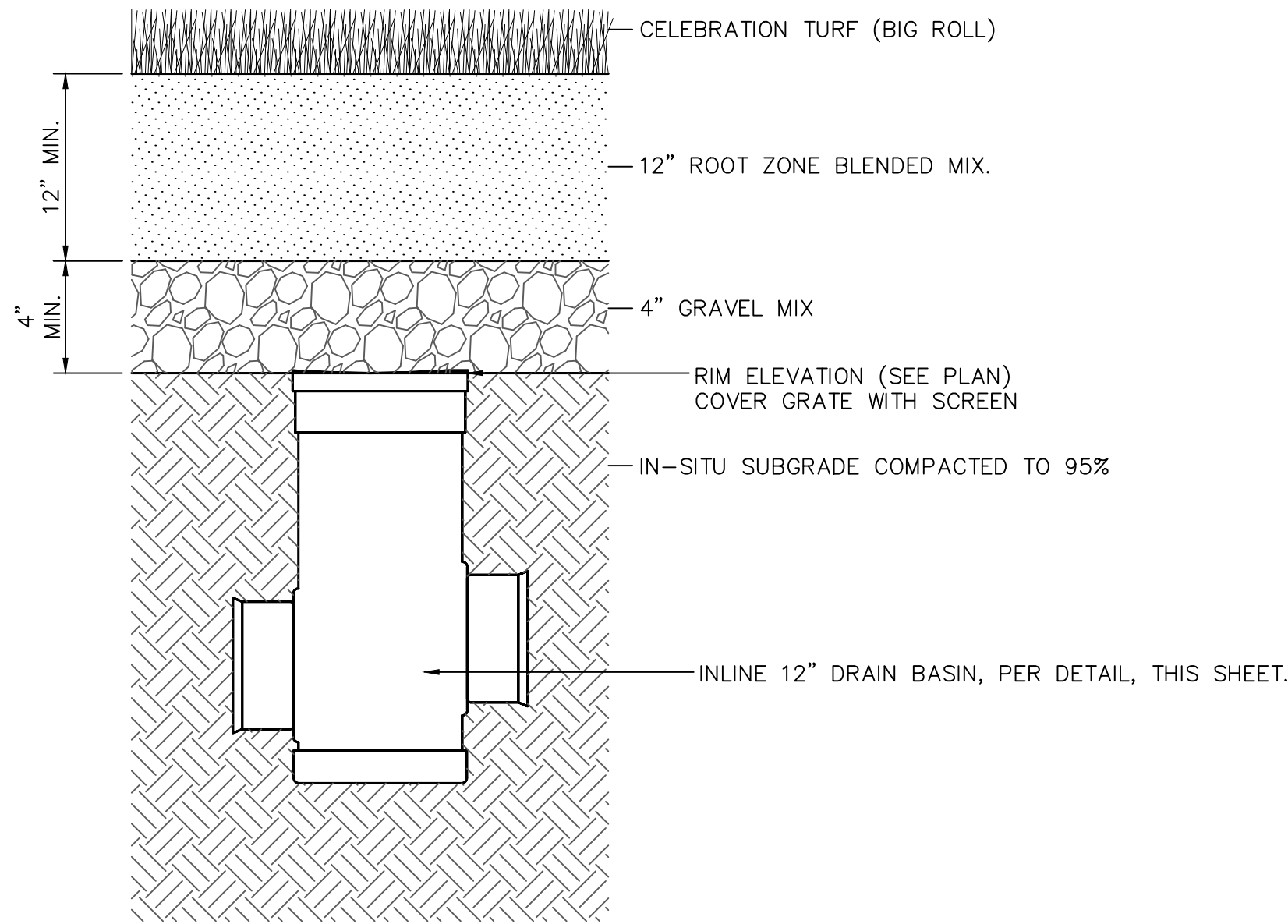


- NOTES:
1. ROOTZONE MIX: 80% SAND 20% ORGANIC MIX.
 2. GRAVEL GRADATION SHALL MEET THE FOLLOWING SPECIFICATIONS:
 - 2.1. NOT MORE THAN 10% OF THE PARTICLES GREATER THAN 1/2" (12MM).
 - 2.2. NOT MORE THAN 65% OF THE PARTICLES BETWEEN 1/4" (6MM) AND 3/8" (9MM)
 - 2.3. NOT MORE THAN 10% OF THE PARTICLES LESS THAN 2MM

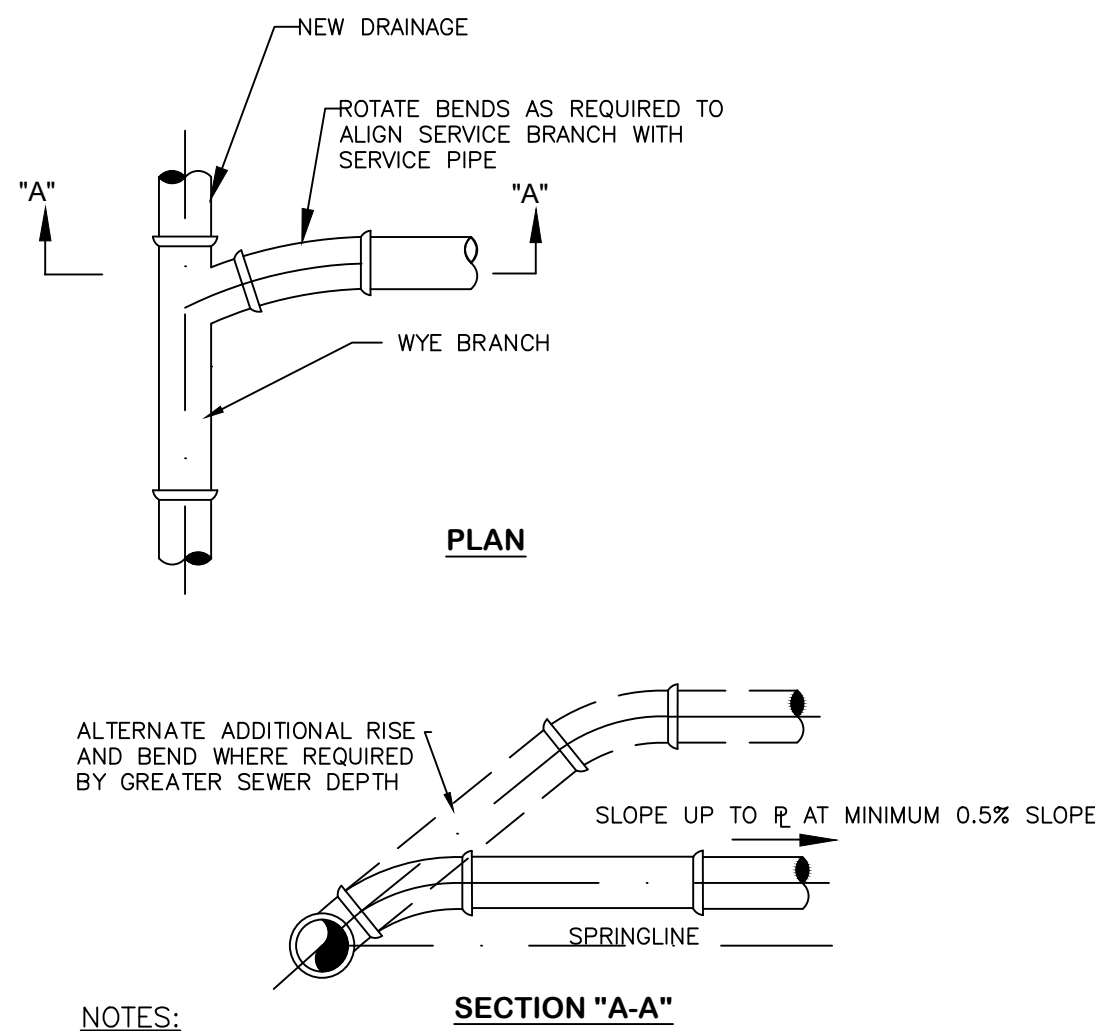
PERFORMANCE TURF DETAIL



SUBSURFACE DRAINAGE DETAIL



YARD DRAIN INSTALLATION DETAIL
FOR SUBSURFACE INFIELD DRAINS.



WYE DRAINAGE CONNECTION DETAIL

RECEIVED

BURKHARDT
CONSTRUCTION, INC.

By Marc at 9:13:40 AM, 5/6/2020

ELEVATIONS SHOWN IN NGVD

100% BID PLANS
05 / 01 / 2020

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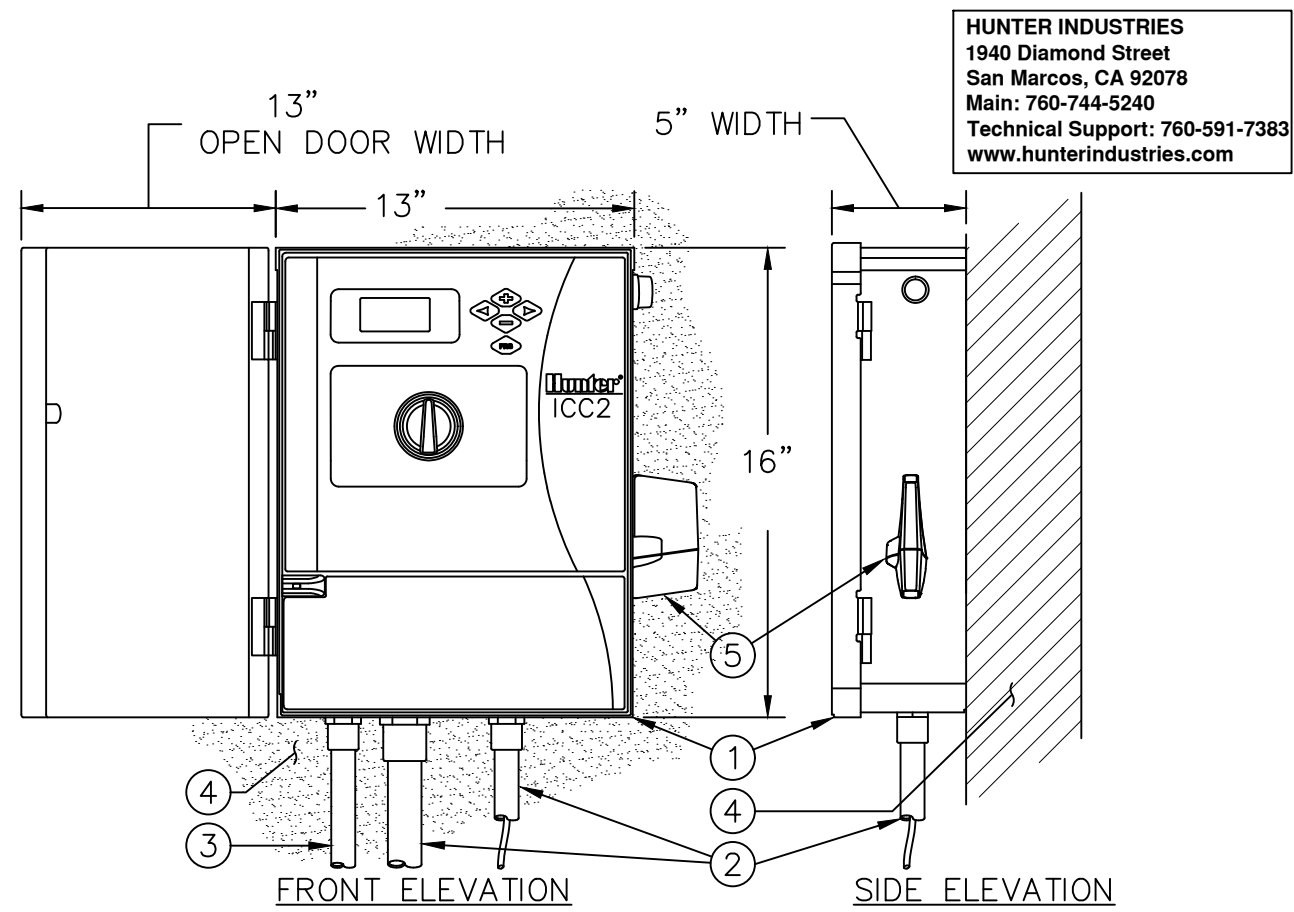
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JONATHAN ROGER
REGISTERED PROFESSIONAL ENGINEER
FLORIDA LICENSE
No. 74033

DETAILS
FOR
VILLAGE PARK FIELDS 6&7
REHABILITATION

THE VILLAGE OF
WELLINGTON
Engineering Department
12300 Forest Hill Boulevard, Wellington, Florida 33414

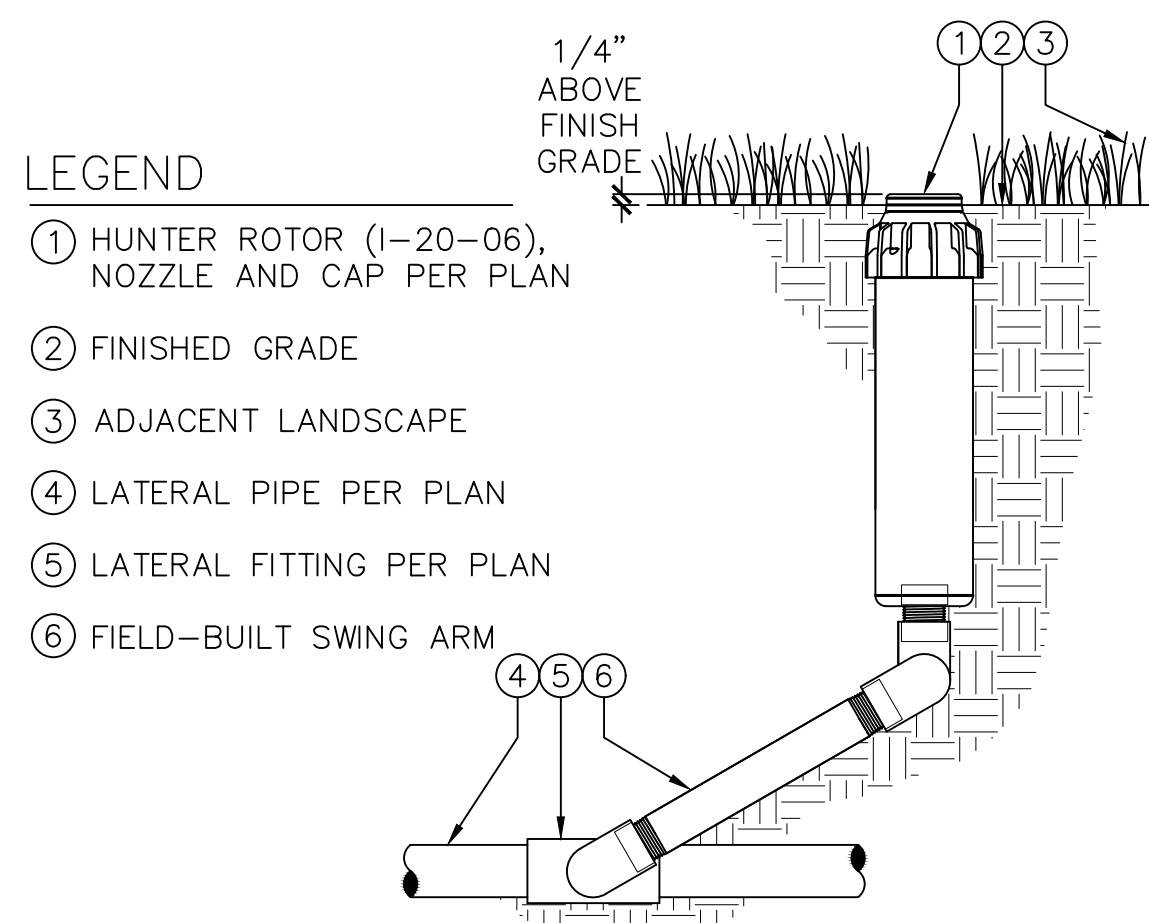
| | |
|------------------|------------|
| DATE | 12/10/2019 |
| DRAWN BY: | J.R.R. |
| PROJECT ENGINEER | J.R.R. |
| PROJECT MANAGER | J.R.R. |
| CHECKED | T.J.L. |
| JOB NO. | ENG20-002 |



1. IRRIGATION CONTROLLER (I2C-800-M) PER PLAN
2. IRRIGATION CONTROL WIRE IN CONDUIT - SIZE AND TYPE PER LOCAL CODES
3. ELECTRICAL SUPPLY CONDUIT - CONNECT TO POWER SOURCE, J-BOX INSIDE CONTROLLER
4. ADJACENT SURFACE TO MOUNT CONTROLLER PER PLAN
5. WIFI OR LAN UNIT (HUNTER WIFIKIT OR LANKIT)

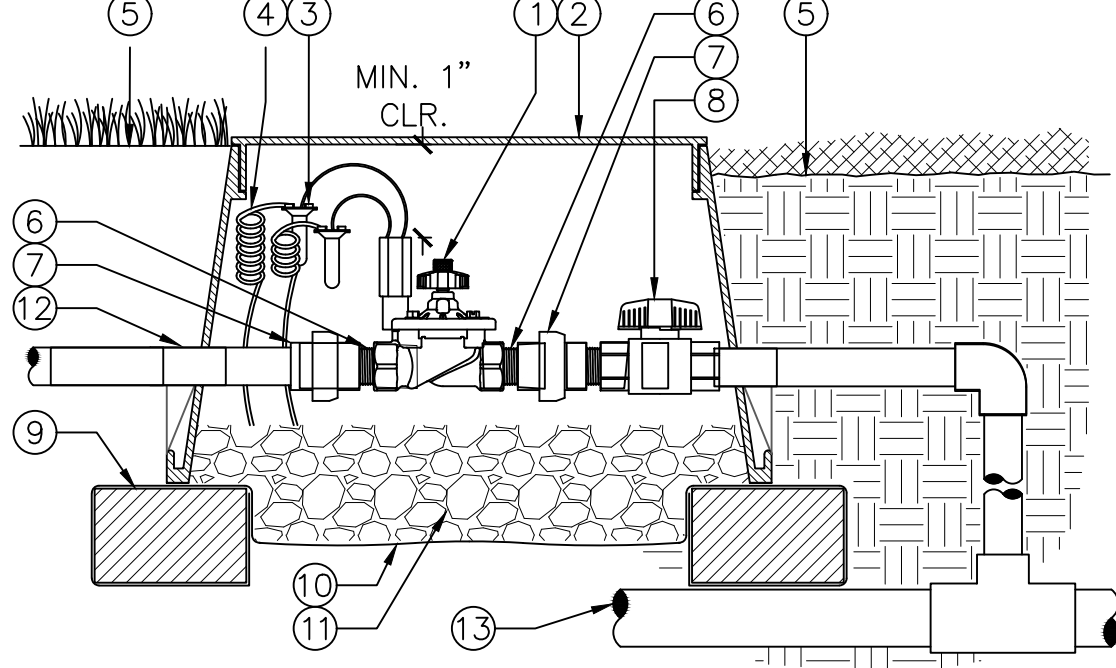
NOTES:
1. CONTROLLER ACCEPTS 120 VOLTS A.C. OR 230 VOLTS A.C. (INTERNATIONAL MODEL).
2. MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUND 110 VAC POWER SOURCE.
3. REFER TO THE HUNTER HCC INSTALLATION GUIDE FOR FURTHER INSTRUCTIONS.

IRRIGATION CONTROLLER – GRAY METAL ENCLOSURE, WALL MOUNT (I2C-800-M)

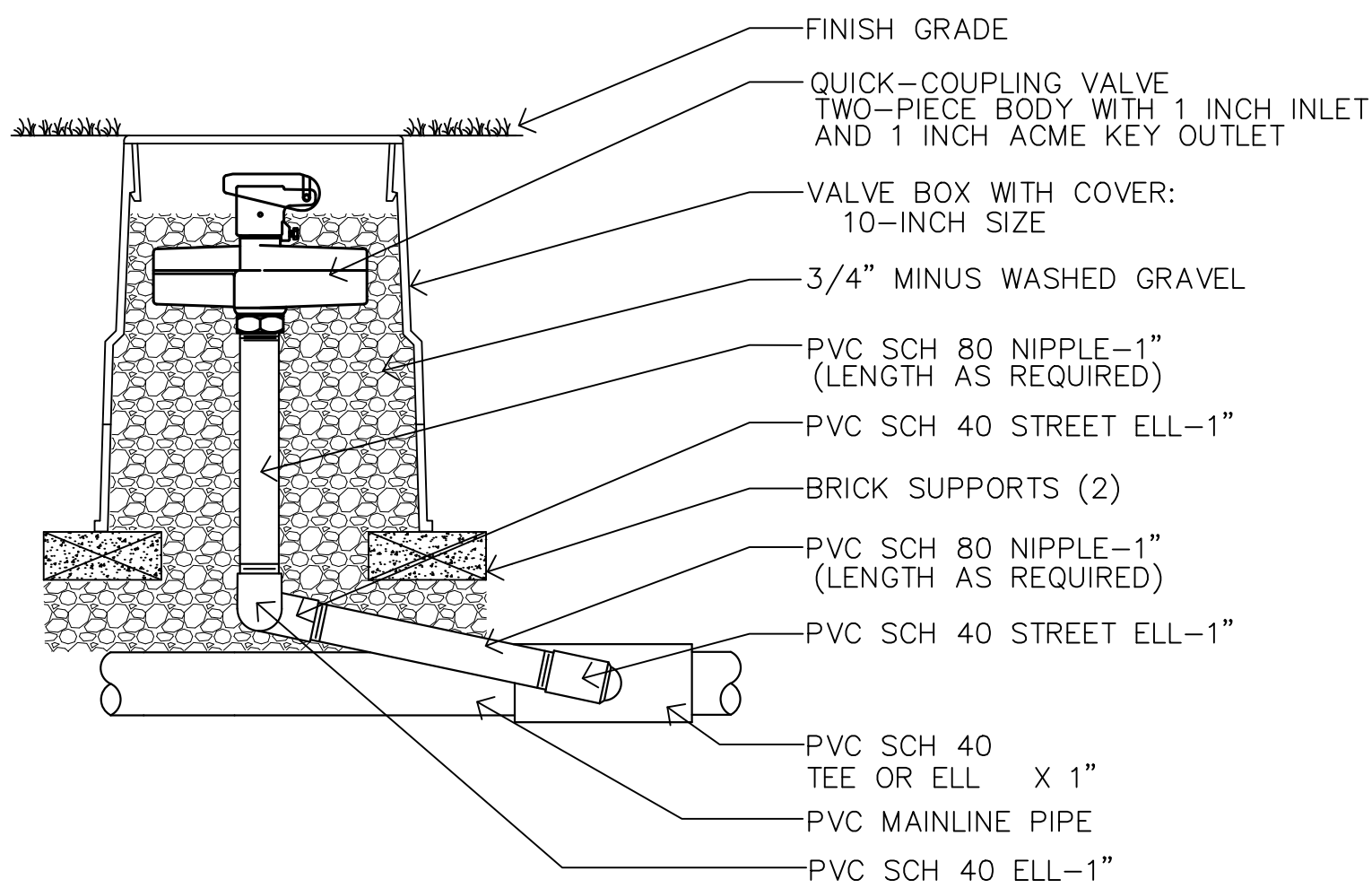


POP-UP ROTOR (I-20-06-PRB) WITH RIGID SWING ARM

1. HUNTER REMOTE CONTROL VALVE (IBV) WITH FLOW CONTROL
2. IRRIGATION VALVE BOX: HEAT STAMP LID WITH 'RCV' IN 2" LETTERS
3. WATERPROOF CONNECTORS (2)
4. 18"-24" COILED WIRE TO CONTROLLER
5. FINISH GRADE AT ADJACENT SURFACE (TURF OR MULCH)
6. SCH. 80 CLOSE NIPPLE, MATCH SIZE TO VALVE
7. PVC SLIP (OR FPT) X FPT UNION
8. 3" ISOLATION VALVE
9. BRICK SUPPORTS (4)
10. FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS
11. 3/4" WASHED GRAVEL - 4" MIN. DEPTH
12. IRRIGATION LATERAL
13. MAINLINE AND FITTINGS

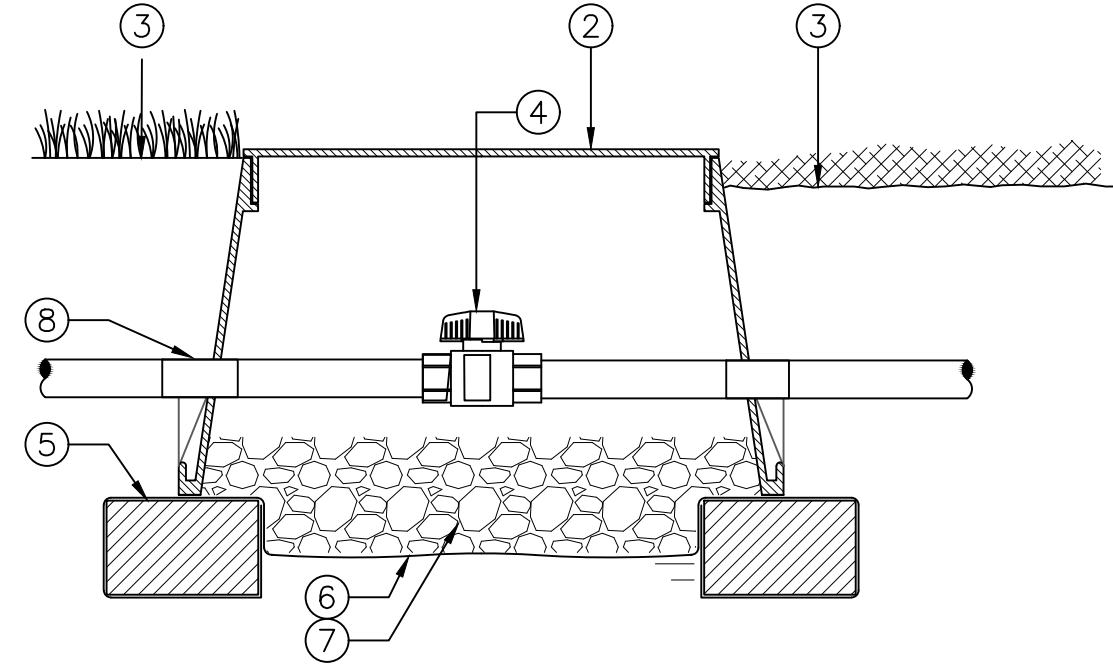


IN-LINE VALVE WITH UNIONS AND ISOLATION VALVE

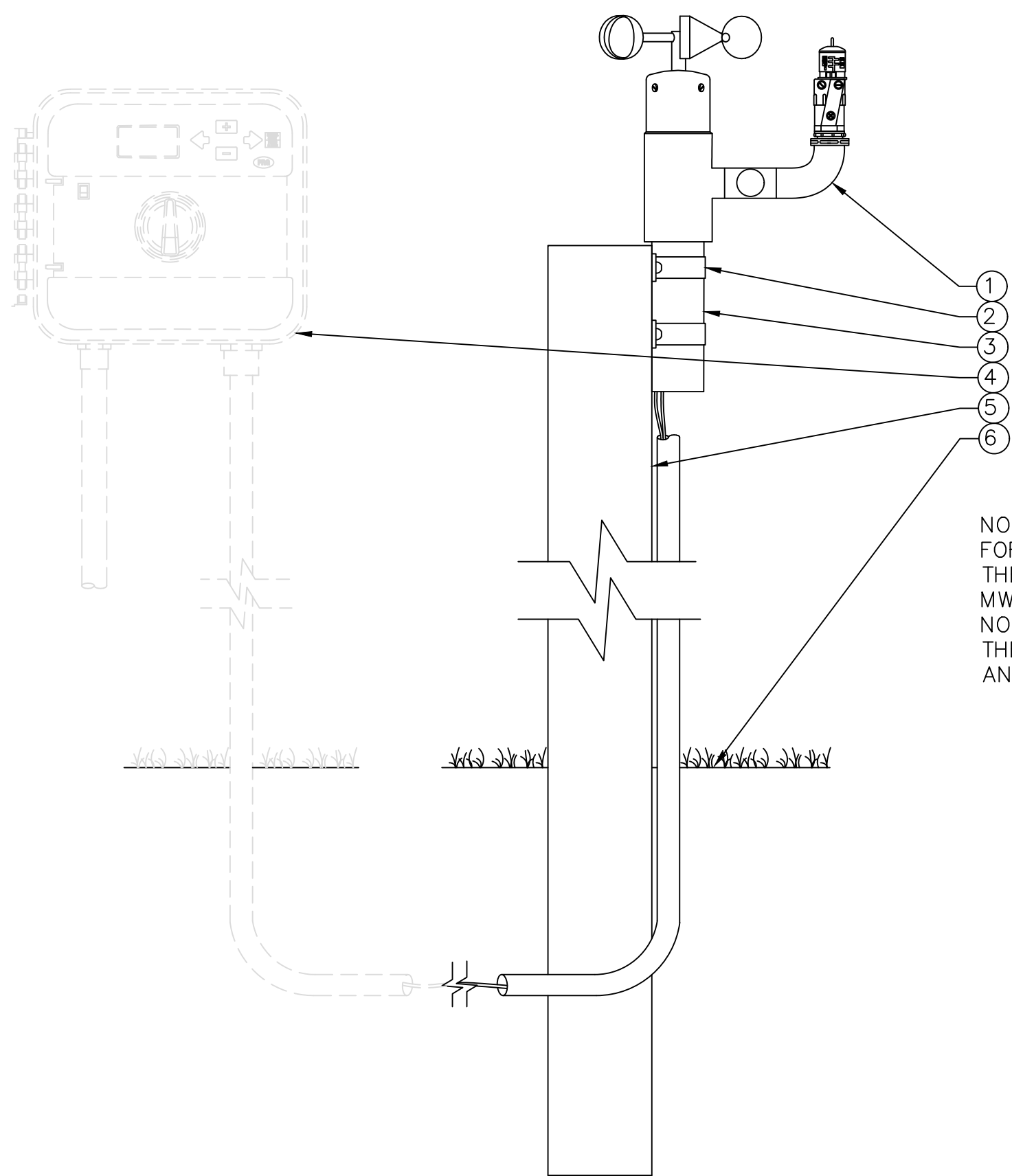


HQ44AW QUICK COUPLING VALVE

1. HUNTER REMOTE CONTROL VALVE (IBV) WITH FLOW CONTROL
2. IRRIGATION VALVE BOX: HEAT STAMP LID WITH 'ISO VALVE' IN 2" LETTERS
3. FINISH GRADE AT ADJACENT SURFACE (TURF OR MULCH)
4. 3" ISOLATION VALVE
5. BRICK SUPPORTS (4)
6. FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS
7. 3/4" WASHED GRAVEL - 4" MIN. DEPTH
8. IRRIGATION MAIN



ISOLATION VALVE



MINI WEATHER STATION WITH GENERIC WALL MOUNT CONTROLLER S.MWS.01

RECEIVED

BURKHARDT
CONSTRUCTION, INC.

By Marc at 9:13:45 AM, 5/6/2020

LEGEND:

1. MINI WEATHER STATION
2. CONDUIT CLAMPS
3. 2" PIPE
4. WALL MOUNT CONTROLLER
5. POST OR SUITABLE MOUNTING SURFACE
6. FINISHED GRADE

NOTE:
FOR MOST ACCURATE TEMPERATURE SENSING, ROTATE THE MWS SO THAT THE THERMOSTAT PORTION POINTS NORTH.
THE MWS IS DESIGNED TO MOUNT ON A POST OF 2" PIPE. ANY COMBINATION OF PIPE AND FITTINGS MAY BE USED.

| REVISIONS | | NO. | DATE | REMARKS | BY |
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JONATHAN ROGER REINSVOLD
FLORIDA LICENSE
No. 74033

CONCEPTUAL IRRIGATION DETAILS
FOR
VILLAGE PARK FIELD 6&7
REHABILITATION

THE VILLAGE OF
WELLINGTON
Engineering Department
12300 Forest Hill Boulevard, Wellington, Florida 33414

| | |
|------------------|--------------------|
| START DATE | 12/12/2019 |
| DRAWN | JONATHAN REINSVOLD |
| PROJECT ENGINEER | JONATHAN REINSVOLD |
| PROJECT MANAGER | JONATHAN REINSVOLD |
| CHECKED | THOMAS LUNDEEN |

C.7
JOB NO.
ENG20-002

July 24, 2019



The Village of Wellington
12300 Forest Hill Boulevard
Village of Wellington, FL 33414

Attention: Mr. Jonathan Reinsvold, P.E.

Re: Surface Investigation
Village Park Fields 6 & 7 and Field 21
Village of Wellington, Florida
TSF File No. 7111-19-208

Dear Jonathan:

As requested, TIERRA SOUTH FLORIDA, Inc. (TSF) has completed thirty (30) Standard Penetration Test (SPT) soil borings to a depth of 10 feet below existing grade at fields 6 & 7, twenty (20) SPT borings to a depth of 10 feet below existing grade at field 21, and three (3) Borehole Permeability (BHP) tests, 10 feet deep at the above-referenced site.

The SPT borings were drilled using a truck mounted CME-55 drill rig (equipped with an automatic hammer), and mud rotary and casing procedures. Samples of the in-place materials were recovered at frequent intervals using a standard split spoon driven with a 140-pound hammer freely falling 30 inches (the SPT after ASTM D 1586). Samples of the in-place soils were returned to our laboratory for classification by a geotechnical engineer, in general accordance with the Unified Soil Classification System (ASTM D 2487). The approximate SPT borings and BHP's locations are shown on the Boring Location Plan, Sheet 1 in the Appendix. The soil test boring profiles are presented on Sheet 2 thru 5 in the Appendix.

The BHP tests performed were conducted in accordance with South Florida Water Management Standards (SFWMD). The BHP tests were performed using the usual open-hole, constant head methodology. The holes were advanced to 10 feet deep. The borings were completed as open well with gravel pack (6-20 silica sand). The well screen slot widths were 0.020 inches. Water from the drill rig tank was then pumped into the open well, and the amount of water required maintaining constant head was recorded. Results of our field permeability tests are attached.

If you have any questions pertaining to this report, or if we may be of further service, please contact our office.

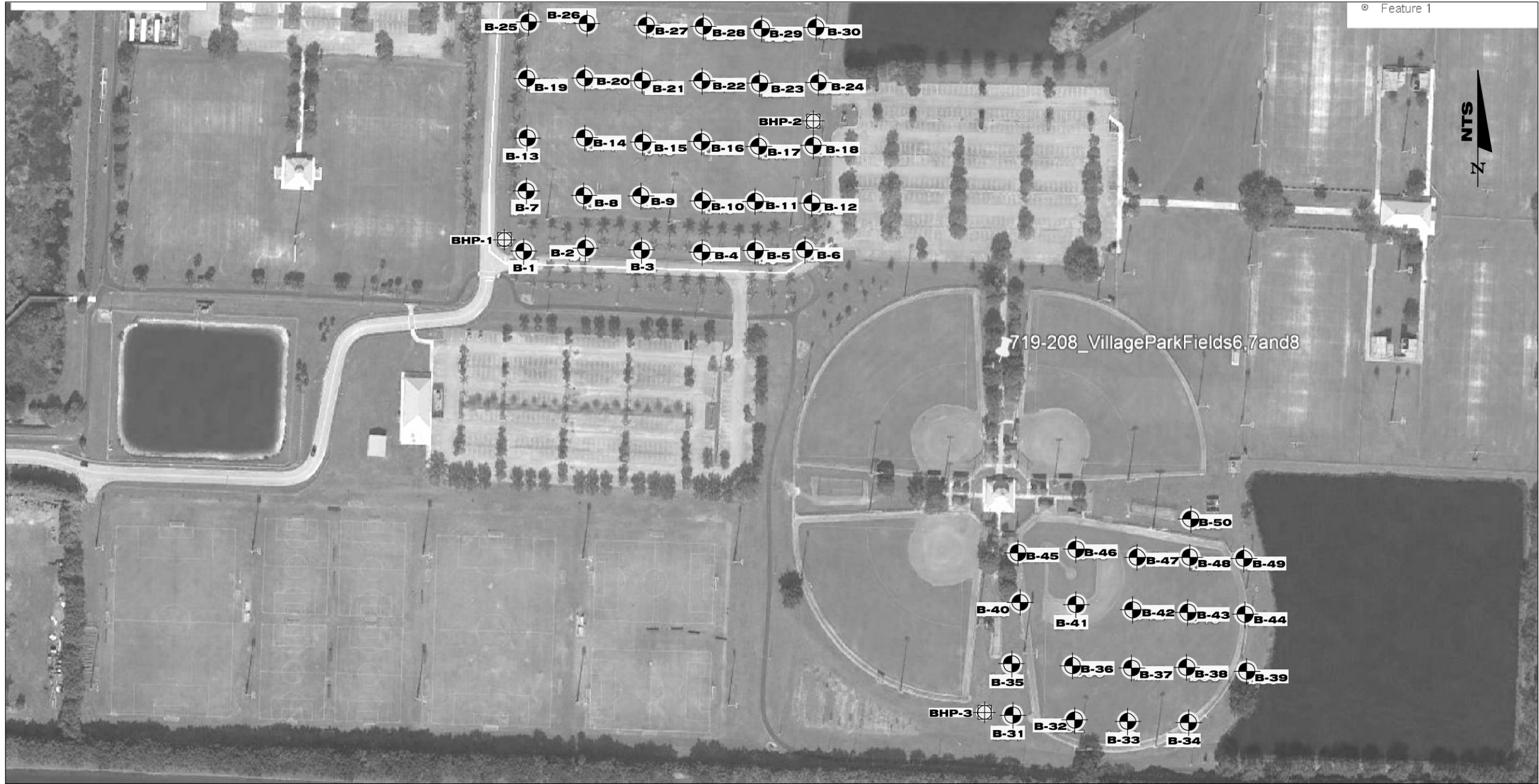
Very truly yours,

TIERRA SOUTH FLORIDA, INC.

Maximo Peralta Alvarez, P.E.
Geotechnical Engineer
FL. Registration No. 84213


Ramakumar Vedula, P.E.
Principal Engineer
FL. Registration No. 54873

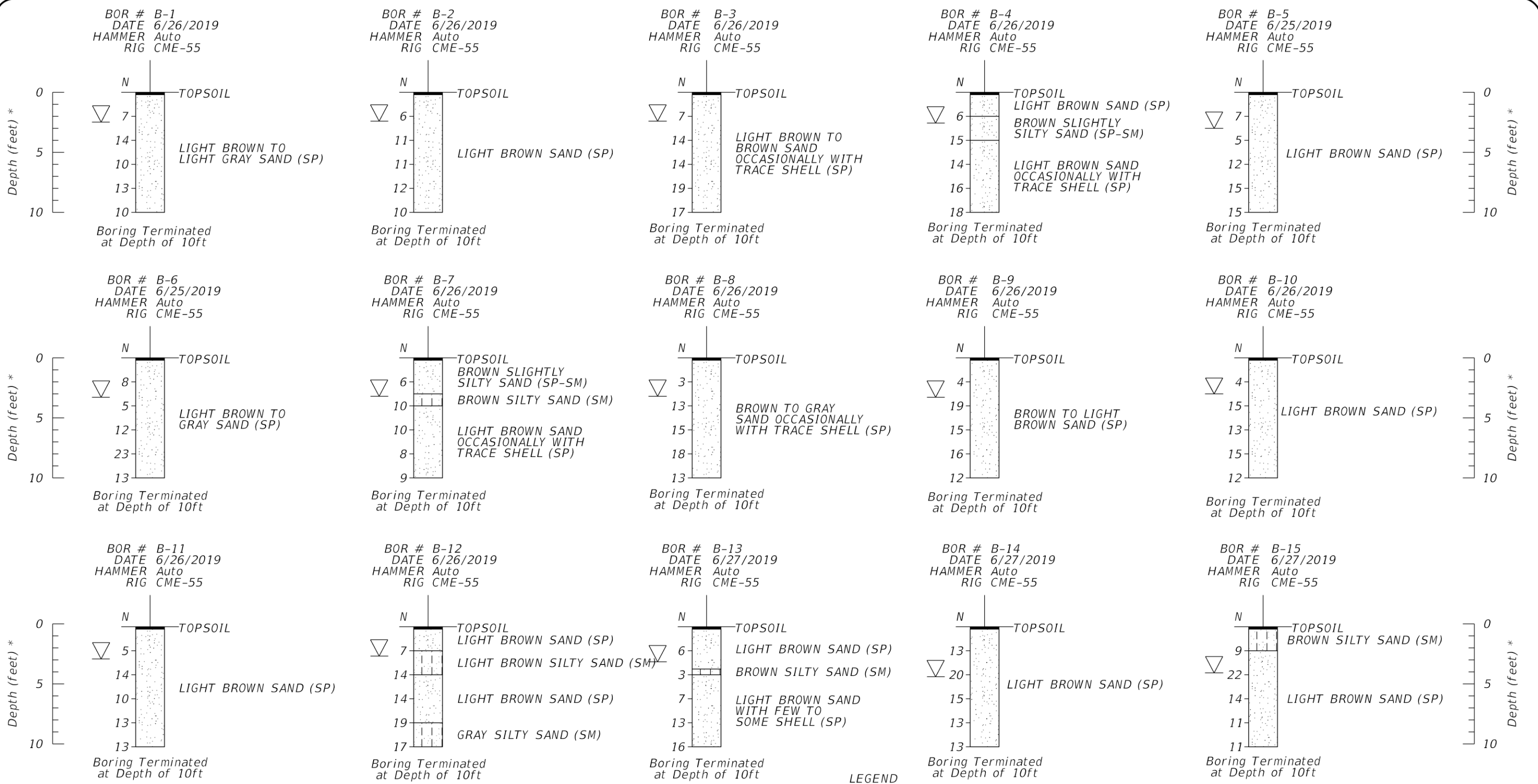
Attachment: Location Plan
Soil Profiles
BHP Test Results
Summary of Laboratory Test Results



BORING LOCATION PLAN

- Approximate Location of SPT Boring
- Approximate Location of BHP Test

| | | | | | | | |
|-----------------|--------------------|---|---|-------------------|------------------------------------|--|-----------------|
| DRAWN BY: NG | APPROVED BY: RK | ENGINEER OF RECORD: RAJ KRISHNASAMY, P.E. FLORIDA LICENSE NO.: 53567 |  RAJ KRISHNASAMY, P.E. P.E. LICENSE NUMBER 53567 TIERRA SOUTH FLORIDA 2765 VISTA PARKWAY, S-10 WEST PALM BEACH, FL 33411 CERTIFICATE OF AUTHORIZATION 28073 | SCALE: NTS | PROJECT NUMBER: 7111-19-208 | BORING LOCATION PLAN VILLAGE PARK FIELDS 6, 7 AND 21 WELLINGTON, FLORIDA | Sheet: 1 |
|-----------------|--------------------|---|---|-------------------|------------------------------------|--|-----------------|



LEGEND

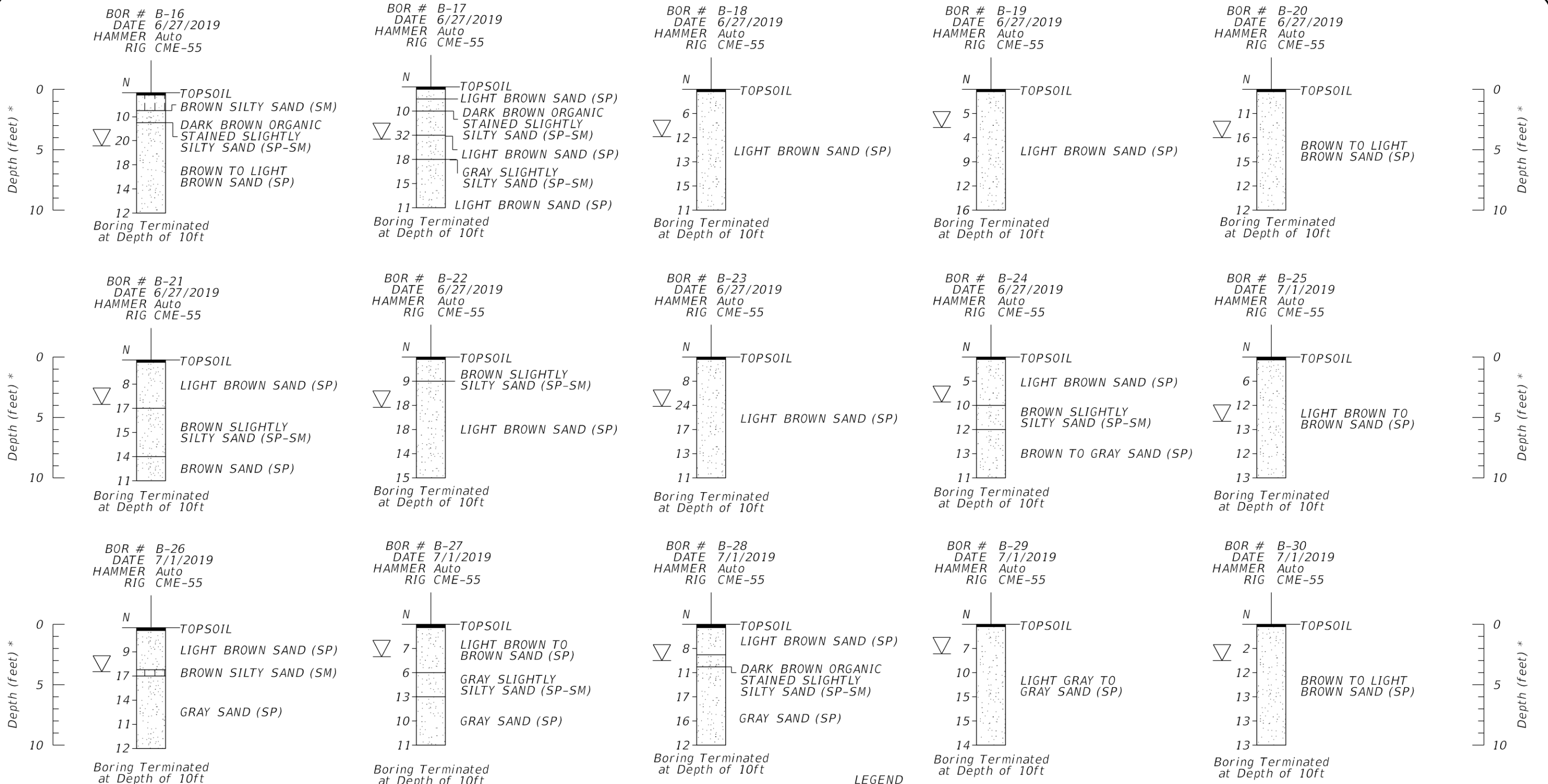
| | |
|------------|-------------|
| Topsoil | Limestone |
| Sand | Shelly Sand |
| Silty Sand | |

NOTES

▽ ENCOUNTERED GROUNDWATER TABLE

* DENOTES DEPTH IN FEET FROM EXISTING GROUND SURFACE

N NUMBERS TO THE LEFT OF BORINGS INDICATE SPT VALUE FOR 12" PENETRATION AND THEY WERE OBTAINED USING AN AUTOMATIC HAMMER. (UNLESS OTHERWISE NOTED.)



LEGEND

| | |
|------------|-------------|
| Topsoil | Limestone |
| Sand | Shelly Sand |
| Silty Sand | |

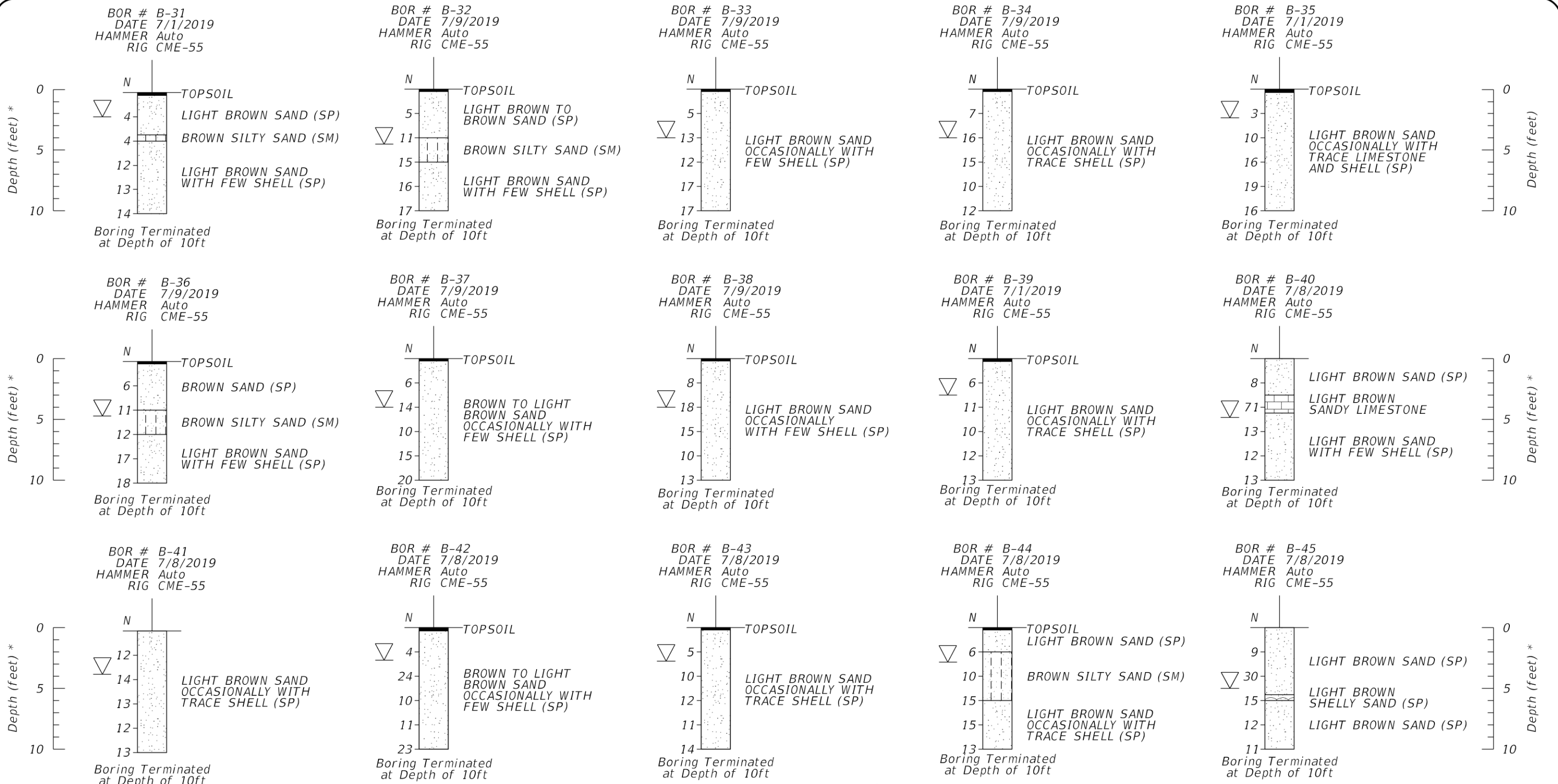
NOTES

▽ ENCOUNTERED GROUNDWATER TABLE

* DENOTES DEPTH IN FEET FROM EXISTING GROUND SURFACE

NUMBERS TO THE LEFT OF BORINGS INDICATE SPT VALUE FOR 12" PENETRATION AND THEY WERE OBTAINED USING AN AUTOMATIC HAMMER. (UNLESS OTHERWISE NOTED.)

| | | | | | | | |
|--------------------------|----------------------------|--|--|----------------------|---------------------------------------|--|-------------------------------|
| DRAWN BY: NG | APPROVED BY: RK | ENGINEER OF RECORD: RAJ KRISHNASAMY, P.E. FLORIDA LICENSE NO.: 53567 | RAJ KRISHNASAMY, P.E. P.E. LICENSE NUMBER 53567 TIERRA SOUTH FLORIDA 2765 VISTA PARKWAY, S-10 WEST PALM BEACH, FL 33411 CERTIFICATE OF AUTHORIZATION 28073 | SCALE: NTS | PROJECT NUMBER: 7111-19-208 | SOIL PROFILES VILLAGE PARK FIELDS 6, 7 AND 21 WELLINGTON, FLORIDA | Sheet: 3 |
| CHECKED BY: JO | DATE: 07-15-2019 | | | | | | |



LEGEND

Topsoil

Sand

Silty Sand

Limestone

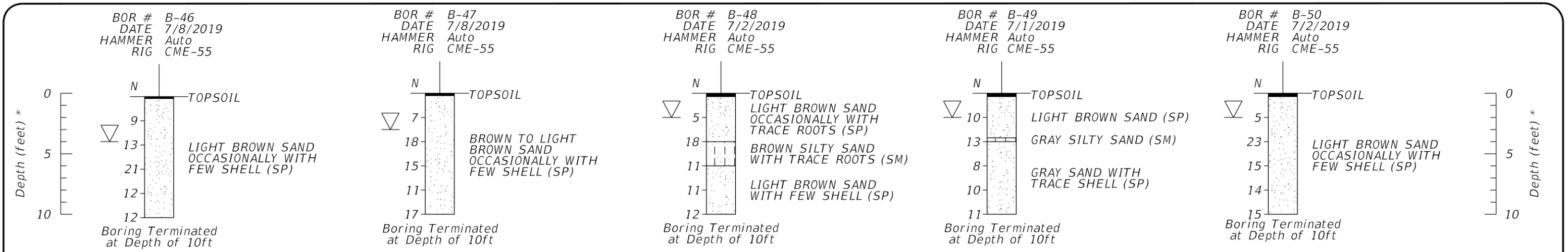
Shelly Sand

NOTES

▽ ENCOUNTERED GROUNDWATER TABLE

* DENOTES DEPTH IN FEET FROM EXISTING GROUND SURFACE

N NUMBERS TO THE LEFT OF BORINGS INDICATE SPT VALUE FOR 12" PENETRATION AND THEY WERE OBTAINED USING AN AUTOMATIC HAMMER. (UNLESS OTHERWISE NOTED.)





Summary of Borehole Permeability Test Results
Village Park Fields 6, 7 and 21
Wellington, Florida

TSF Project No. 7111-19-208

| Test Location | Date Performed | Diameter | | Depth of Hole (Feet) | Depth to Groundwater Level Below Ground Surface (Feet) | | Hydraulic Head, H ₂ (Feet) | Saturated Hole Depth, D _s (Feet) | Average Flow Rate, Q (gpm) | Hydraulic Conductivity (K) |
|---------------|----------------|---------------|-----------------|----------------------|--|-------------|---------------------------------------|---|----------------------------|---|
| | | Hole (Inches) | Casing (Inches) | | Prior to Test | During Test | | | | (ft ³ /sec/ft ² -ft Head) |
| BHP-1 | 7/9/2019 | 6 | 4 | 10.0 | 5.0 | 0.0 | 5.0 | 5.0 | 7.0 | 3.93E-04 |
| BHP-2 | 7/9/2019 | 6 | 4 | 10.0 | 4.5 | 0.0 | 4.5 | 5.5 | 7.0 | 4.23E-04 |
| BHP-3 | 7/9/2019 | 6 | 4 | 10.0 | 4.5 | 0.0 | 4.5 | 5.5 | 6.0 | 3.62E-04 |

Note:

- (1) The above hydraulic conductivity values represent an ultimate value. The designer should decide on the required factor of safety
- (2) The hydraulic conductivity values were calculated based on the South Florida Water Management District's USUAL OPEN HOLE CONSTANT HEAD percolation test procedure.
- (3) Casing diameter was used for the calculation of hydraulic conductivity values.

**Summary of Laboratory Test Results
Village Park Fields 6,7 and 21
Wellington, Florida**

TSF Project No. 7111-19-208

| Boring Number | Sample Depth (ft) | USCS Symbol | Sieve Analysis, Percentage Passing | | | | | | | | Atterberg Limits | | | Organic Content (%) | Natural Moisture Content (%) |
|------------------|----------------------|----------------|------------------------------------|------|-----|-----|-----|-----|------|------|------------------|------------------|---------------------|---------------------------|---------------------------------------|
| | | | 3/4" | 3/8" | #4 | #10 | #40 | #60 | #100 | #200 | Liquid Limit | Plastic Limit | Plasticity Index | | |
| B-4 | 2.0-4.0 | SP-SM | 100 | 100 | 100 | 100 | 92 | 62 | 24 | 11 | | | | 0.7 | 17.3 |
| B-7 | 2.0-4.0 | SM | 100 | 100 | 100 | 100 | 91 | 62 | 29 | 17 | | | | 1.2 | 20.1 |
| B-12 | 2.0-4.0 | SM | 100 | 100 | 100 | 100 | 91 | 61 | 25 | 13 | | | | 0.2 | 19.4 |
| B-13 | 3.5-4.0 | SM | 100 | 100 | 100 | 100 | 92 | 65 | 32 | 20 | | | | 0.9 | 21.7 |
| B-15 | 0.0-2.0 | SM | 100 | 98 | 97 | 96 | 86 | 60 | 28 | 15 | | | | 0.7 | 13.1 |
| B-16 | 1.5-2.0 | SP-SM | 100 | 98 | 98 | 97 | 88 | 59 | 22 | 8 | | | | 5.2 | 18.9 |
| B-22 | 0.0-2.0 | SP-SM | 100 | 100 | 99 | 98 | 90 | 61 | 26 | 12 | | | | 1.4 | 10.9 |
| B-28 | 2.5-3.5 | SP-SM | 100 | 100 | 99 | 98 | 88 | 59 | 23 | 9 | | | | 6.4 | 34.7 |
| B-31 | 3.5-4.0 | SM | 100 | 100 | 100 | 100 | 92 | 64 | 32 | 20 | | | | 2.2 | 23.6 |
| B-48 | 4.0-6.0 | SM | 100 | 100 | 100 | 100 | 91 | 63 | 28 | 14 | | | | 1.3 | 21.9 |
| | | | | | | | | | | | | | | | |

EXHIBIT R2

SCHEDULE OF VALUES (GMP)

Village of Wellington

Fields 6 & 7 Rehabilitation - Natural Turf

90% Guaranteed Maximum Price
Based on Drawings Rec'd From the Village of Wellington
Received: May 6, 2020

From: **Burkhardt Construction, Inc.**

Attn: Marc R. Kleisley
1400 Alabama Ave., Suite #20
West Palm Beach, FL 33401
Tel: (561) 659-1400
Fax: (561) 659-1402

Owner: **Village of Wellington**

Attn: Mr. Jonathan Reinsvold, PE
12300 Forest Hill Blvd.
Wellington, FL 33414
Tel: (561) 791-4052

Designer: **Village of Wellington**

Attn: Mr. Jonathan Reinsvold, PE
12300 Forest Hill Blvd.
Wellington, FL 33414
Tel: (561) 791-4052

Plans: Village Park Field 6 & 7 Rehabilitation Plan Set rec'd 5/6/2020

Location: 11700 Pierson Road
Wellington, FL 33414

Proposal

Date: September 9, 2020



EXHIBIT R2 - SCHEDULE OF VALUES (GMP)

| | | |
|--|-----------|---------------------|
| Direct Construction Costs (Exhibit "A") | \$ | 1,396,305.89 |
| General Conditions / General Requirements (Exhibit "B") | \$ | 88,114.74 |
| | \$ | 94,965.00 |
| Construction Management Fee | \$ | 117,000.00 |
| Owner Contingency | \$ | 100,000.00 |
| Exceptions & Clarifications (Exhibit "D") | | |
| Plan Log (Exhibit "E") | | |
| TOTAL GUARANTEED MAXIMUM PRICE | \$ | 1,796,385.63 |



Fields 6 & 7 Rehabilitation - Natural Turf

90% Guaranteed Maximum Price

Direct Construction Costs
9/9/2020

Prepared by Burkhardt Construction, Inc.

LEGEND FOR ABBREVIATIONS

EA - Each
E/D - Each Day
DAY - Daily
LS - Lump Sum
ROL - Rolls
LF - Lineal Foot
SF - Square Foot
SY - Square Yard
TCY - Truck Cubic Yard
ALL - Allowance

| Item Description | Quantity | U/M | Unit Price | Amount | Labor | Equipment | Material | Subcontractor | General/Rental | Subtotal |
|---|----------------|-----|--------------|----------------|---------|-----------|-----------|---------------|----------------|------------|
| MAINTENANCE OF TRAFFIC | | | | \$12,478.18 | | | | | | |
| MOT PLAN | 0 | EA | | | | | | | | 0.00 |
| WORK ZONE SIGNS | 2400 | E/D | \$0.30 | \$ 720.00 | | | | BOB'S | 720.00 | 720.00 |
| BARRICADE TEMP. TYPE I, II, VP & DRUM | 3600 | E/D | \$0.20 | \$ 720.00 | | | | BOB'S | 720.00 | 720.00 |
| SAFETY FENCE / POSTS | 2000 | LF | \$2.50 | \$ 5,000.00 | | | | BCI | 5000.00 | 5000.00 |
| SALES TAX FOR MOT DEVICES | 1 | LS | \$100.80 | \$ 100.80 | | | | BOB'S | 100.80 | 100.80 |
| MOT / SAFETY DEVICE SET-UP & MAINTENANCE | 1 | LS | \$4,257.38 | \$ 4,257.38 | 3556.13 | 701.25 | | | | 4257.38 |
| DANGER RIBBON | 12 | ROL | \$15.00 | \$ 180.00 | | | 180.00 | | | 180.00 |
| ALLOWANCE FOR SPECIALTY SIGNAGE | 1 | ALL | \$1,500.00 | \$ 1,500.00 | | | | ALLOWANCE | 1500.00 | 1500.00 |
| ALLOWANCE FOR PARKING LOT RESTORATION | NOT APPLICABLE | | | | | | | | | |
| TEMPORARY ROADWAY STRIPING | NOT APPLICABLE | | | | | | | | | |
| LIGHT BANKS FOR NIGHT WORK | NOT APPLICABLE | | | | | | | | | |
| OFF DUTY POLICE OFFICERS | NOT APPLICABLE | | | | | | | | | |
| POST MOUNTING FOR ADVANCE WARNING SIGNS | NOT APPLICABLE | | | | | | | | | |
| GENERAL REQUIREMENTS | | | | \$36,765.71 | | | | | | |
| NPDES FILING AND REPORTING | 1 | LS | \$7,350.00 | \$ 7,350.00 | | | BCI | 7350.00 | | 7350.00 |
| FURNISH AND INSTALL SILT FENCE | 2,000 | LF | \$4.00 | \$ 8,000.00 | | | BCI | 8000.00 | | 8000.00 |
| FURNISH AND INSTALL INLET PROTECTION | 3 | EA | \$175.00 | \$ 525.00 | | | | 525.00 | | 525.00 |
| GRAVEL TRACKING PAD AT CONSTRUCTION ENTRANCES | 1 | EA | \$7,500.00 | \$ 7,500.00 | | | | 7500.00 | | 7500.00 |
| FIELD 6/7 SURVEYING & AS-BUILT RECORD DOCUMENTS | 1 | LS | \$13,390.71 | \$ 13,390.71 | | | LTGST1 | 13390.71 | | 13390.71 |
| FIELD 6/7 | | | | \$1,347,062.00 | | | | | | |
| DEMOLITION | | | | | | | | | | |
| REMOVE/DISPOSE OF EXISTING SOD, IRRIGATION AND DRAINAGE | 1 | LS | \$94,097.96 | \$ 94,097.96 | | | LTGST1 | 94097.96 | | 94097.96 |
| EARTHWORK | | | | | | | | | | |
| MASS EXCAVATION TO ACHIEVE A STD. 14" SUBGRADE. REM/DISPOSE OF SPOILS OFF SITE. PROVIDE GRADING TO BACKFILL & BLEND FIELD TO EXISTING. GRADE / COMPACT SUBGRADE | 1 | LS | \$197,013.14 | \$ 197,013.14 | | | LTGST1 | 197013.14 | | 197013.14 |
| GEOGRID ALLOWANCE - FURNISH & INSTALL TENAX 3D-GEO GRIDS; GEOTEXTILE-NO-80 | 3,000 | SY | \$15.10 | \$ 45,303.42 | | | ALLOWANCE | 45303.42 | | 45303.42 |
| DRAINAGE | | | | | | | | | | |
| FURNISH & INSTALL ALL INFIELD 4" PIPING IN GRAVEL LINED TRENCHES, 12" HDPE SOLID PIPE, DRAINAGE BASINS, CONNECT TO EXISTING STORM DRAINAGE AND RE-GRADING OF SWALE. SWALE SOD REPAIRS, PROVIDE 4" GRAVEL LAYER TO FIELD LIMITS. FILTER FABRIC FOR DRAINAGE TRENCHES ONLY. | 1 | LS | \$338,767.78 | \$ 338,767.78 | | | LTGST1 | 338767.78 | | 338767.78 |
| IRRIGATION | | | | | | | | | | |
| IRRIGATION PIPING, WIRING & VALVES & SPRINKLERS, FULL CIRCLE SPRINKLER HEADS (20) AND PARTIAL CIRCLE SPRINKLER HEADS (22) | 1 | LS | \$78,717.97 | \$ 78,717.97 | | | LTGST1 | 78717.97 | | 78717.97 |
| PERFORMANCE TURF & SOIL MIX | | | | | | | | | | |
| FURNISH & INSTALL ALL 10" 80/20 SPORTSFIELD ROOTZONE, LASER GRADING, SOIL AMENDMENTS TO ADJUST SOIL Ph, PRE-PLANT FERTILIZER, BIG ROLL CELEBRATION BERMUDA SOD. ROLL SOD WITH SOD ROLLER. 60 DAYS MAINTENANCE OF NEW SOD. | 1 | LS | \$569,071.67 | \$ 569,071.67 | | | LTGST3 | 569071.67 | | 569071.67 |
| SITE RESTORATION | | | | | | | | | | |
| CLEAN UP STAGING AREAS, REPAIR DAMAGED TURF OR LANDSCAPE, PERFORM PUNCH OUT ITEMS | 1 | LS | \$22,590.06 | \$ 22,590.06 | | | LTGST3 | 22590.06 | | 22590.06 |
| FINAL CONSTRUCTION CLEAN | 1 | LS | \$1,500.00 | \$ 1,500.00 | | | BCI | 1500.00 | | 1500.00 |
| Fields 6 & 7 Rehabilitation - Natural Turf Direct Construction Costs Total | | | | \$1,396,305.89 | 3556.13 | 701.25 | 180.00 | 1383827.71 | 8040.80 | 1396305.89 |



Village of Wellington

Fields 6 & 7 Rehabilitation - Natural Turf

90% Guaranteed Maximum Price

GENERAL CONDITIONS / GENERAL REQUIREMENTS

From: Burkhardt Construction, Inc.
Attn: Marc R. Kleisley
1400 Alabama Ave., Suite #20
West Palm Beach, FL 33401
Tel: (561) 659-1400
Fax: (561) 659-1402

Owner: Village of Wellington
Attn: Mr. Jonathan Reinsvold, PE
12300 Forest Hill Blvd.
Wellington, FL 33414
Tel: (561) 791-4052

Designer: Village of Wellington
Attn: Mr. Jonathan Reinsvold, PE
12300 Forest Hill Blvd.
Wellington, FL 33414
Tel: (561) 791-4052

Plans: Village Park Field 6 & 7 Rehabilitation Plan Set rec'd 5/6/2020

Location: 11700 Pierson Road
Wellington, FL 33414

Proposal Due Date: September 9, 2020

| Item Description | | | | | | Amount |
|---|--------------------|-----|---|-----|--|---------------------|
| MOBILIZATION (move-in, move-out) | | | | | | \$0.00 |
| TRANSPORT | \$65.00 / | Hr | x | 0 | | \$0.00 |
| EQUIPMENT | \$35.00 / | Hr. | x | 0 | | \$0.00 |
| SUBCONTRACTOR MOBILIZATIONS | | | | | | INCL IN DIRECT COST |
| PROJECT FIELD OFFICE | | | | | | \$19,307.50 |
| OFFICE &/or CONSTRUCTION TRAILER | FURNISHED BY OWNER | | | | | |
| YARD | FURNISHED BY OWNER | | | | | |
| EMPLOYEE PARKING FEES | \$0.00 / | mo. | x | 0 | | \$0.00 |
| WORK PLATFORM FOR YARD | \$500.00 / | mo. | x | 0 | | \$0.00 |
| TEMPORARY FENCING FOR YARD | SEE DIRECT COSTS | | | | | |
| CONSTRUCTION YARD LIGHTING | \$0.00 / | mo. | x | 0 | | \$0.00 |
| OFFICE FURNISHINGS | \$500.00 / | mo. | x | 0 | | \$0.00 |
| COMPUTERS | \$300.00 / | mo. | x | 4.5 | | \$1,350.00 |
| SCHEDULING SOFTWARE | \$100.00 / | mo. | x | 4.5 | | \$450.00 |
| PROCORE MANAGEMENT SOFTWARE | \$2,500.00 / | ls | x | 1 | | \$2,500.00 |



EXHIBIT R2 - SCHEDULE OF VALUES (GMP)

EXHIBIT "B"

| | | | | | |
|----------------------------|--------------------|-----|-----|-----|------------|
| COPY MACHINE | \$200.00 / | mo. | x | 0 | \$0.00 |
| FAX MACHINE | NOT REQUIRED | / | mo. | x | |
| INTERNET SERVICE | \$150.00 / | mo. | x | 0 | \$0.00 |
| CELLULAR TELEPHONE | \$150.00 / | mo. | x | 4.5 | \$675.00 |
| TELEPHONE | \$150.00 / | mo. | x | 0 | \$0.00 |
| FEDERAL EXPRESS MAILINGS | \$100.00 / | mo. | x | 0 | \$0.00 |
| POSTAGE | \$50.00 / | mo. | x | 0 | \$0.00 |
| PHOTOGRAPHS | | | | | |
| VIDEO CAMERA - LIVE STREAM | \$1,750.00 / | mo. | x | 4.5 | \$7,875.00 |
| AERIAL PHOTOS | \$110.00 / | mo. | x | 4.5 | \$495.00 |
| JOB PHOTOS | \$100.00 / | mo. | x | 4.5 | \$450.00 |
| PRE-CONSTRUCTION VIDEO | \$850.00 / | ls | x | 1 | \$850.00 |
| PRINTING COSTS | \$500.00 / | ls | x | 1 | \$500.00 |
| OFFICE SUPPLIES | \$100.00 / | mo. | x | 4.5 | \$450.00 |
| FIRST AID SUPPLIES | \$50.00 / | mo. | x | 4.5 | \$225.00 |
| WATER SERVICE | FURNISHED BY OWNER | | | | |
| SANITARY SERVICE | FURNISHED BY OWNER | | | | |
| ELECTRIC SERVICE | FURNISHED BY OWNER | | | | |
| GARBAGE SERVICE | FURNISHED BY OWNER | | | | |
| CONSTRUCTION WATER | \$500.00 / | mo. | x | 4.5 | \$2,250.00 |
| JOHN DEERE GATOR | \$500.00 / | mo. | x | 0 | \$0.00 |
| ICE | \$275.00 / | mo. | x | 4.5 | \$1,237.50 |

BONDS

| | | | | |
|----------------------|----------------|---|-------|--------------|
| GENERAL BOND | \$1,796,385.00 | x | 1.15% | \$20,658.43 |
| SUBCONTRACTORS BONDS | \$3.00 | | | NOT INCLUDED |

PARTNERING INITIATIVES

| | |
|--|------------|
| NOTICES, LETTERS, INFORMATION MEETINGS | \$1,500.00 |
|--|------------|

INSURANCE

| | | | | |
|---|--------------------------------|---|-------|-------------|
| GENERAL INSURANCE | \$1,796,385.00 | x | 1.90% | \$34,131.32 |
| Commercial General Liability | | | | |
| Comprehensive Automobile Liability | | | | |
| Owner Indemnification | | | | |
| Professional (Errors/Omissions) Liability | | | | |
| Excess/Umbrella Liability | | | | |
| ADD'L INSURED | \$0.00 / ea. | x | 0 | \$0.00 |
| ADDED INSURANCES REQUIRED | \$0.00 | x | 0 | \$0.00 |
| Project Specific policy | Not Included | | | |
| Builders Risk Insurance | By Owner | | | |
| Installation Floater | Not Included | | | |
| Flood Insurance | Not Required | | | |
| SUBCONTRACTORS' INSURANCE | Included in their direct costs | | | |

SANITARY SERVICES

| | | | | | |
|---------------------------|------------|-----|---|-----|------------|
| JOB TOILET (1ea.)/PROJECT | \$475.00 / | mo. | x | 4.5 | \$2,137.50 |
|---------------------------|------------|-----|---|-----|------------|

TESTING COSTS

| | | | | | |
|---|--------------|------|---|----|------------|
| DENSITIES | \$48.00 / | HR | x | 20 | \$960.00 |
| PROCTORS | \$85.00 / | TEST | | 2 | \$170.00 |
| LIMEROCK BEARING RATIO | \$250.00 / | TEST | | 5 | \$1,250.00 |
| SIEVE ANALYSIS | \$50.00 / | TEST | | 0 | \$0.00 |
| ORGANIC CONTENT | \$48.00 / | TEST | | 0 | \$0.00 |
| CONCRETE CYLINDERS | \$15.00 / | CYL. | | 0 | \$0.00 |
| PARTICLE SHAPE TEST (ASTM S 2488) | \$125.00 / | TEST | | 0 | \$0.00 |
| ENGINEERING & REPORTING | \$7,500.00 / | LS | | 1 | \$7,500.00 |
| PRE/POST CONST. SURVEY/VIBRATION MONITORING | | | | | EXCLUDED |



| | | | | | | |
|-------------------------------------|--|--|--|--|--|------------------|
| FEES | | | | | | None Anticipated |
| PERMIT FEES | | | | | | |
| SFWMD DEWATERING PERMIT | | | | | | EXCLUDED |
| PALM BEACH COUNTY HEALTH DEPARTMENT | | | | | | EXCLUDED |
| SURVEYING | | | | | | \$0.00 |
| LAYOUT & ASBUILTS | | | | | | \$0.00 |
| ALLOWANCE FOR RESTAKING | | | | | | \$0.00 |
| & DRAFTING | | | | | | \$0.00 |
| SMALL HAND TOOLS/EQUIPMENT RENTAL | | | | | | \$500.00 |
| ALLOWANCE (GENERAL) | | | | | | \$500.00 |
| GENERAL CONDITIONS TOTAL | | | | | | \$88,114.74 |



Village of Wellington

Fields 6 & 7 Rehabilitation - Natural Turf

90% Guaranteed Maximum Price

GENERAL CONDITIONS / GENERAL REQUIREMENTS

From: Burkhardt Construction, Inc.
Attn: Marc R. Kleisley
1400 Alabama Ave., Suite #20
West Palm Beach, FL 33401
Tel: (561) 659-1400
Fax: (561) 659-1402

Owner: Village of Wellington
Attn: Mr. Jonathan Reinsvold, PE
12300 Forest Hill Blvd.
Wellington, FL 33414
Tel: (561) 791-4052

Designer: Village of Wellington
Attn: Mr. Jonathan Reinsvold, PE
12300 Forest Hill Blvd.
Wellington, FL 33414
Tel: (561) 791-4052

Plans: Village Park Field 6 & 7 Rehabilitation Plan Set rec'd 5/6/2020

Location: 11700 Pierson Road
Wellington, FL 33414

Proposal Due Date: September 9, 2020

| MANAGEMENT TEAM | | | | | |
|--------------------------------------|----------|-------------|------|-----------|---------------------|
| Item Description | Quantity | (Hrs./Week) | Wks. | Rate/Hr. | Amount |
| Project Principal | 6 | Hrs./Wk. | 19.5 | \$ 175.00 | \$ 20,475.00 |
| Senior Project Manager | 0 | Hrs./Wk. | 19.5 | \$ 150.00 | \$ - |
| Vertical Project Manager | 0 | Hrs./Wk. | 19.5 | \$ 120.00 | \$ - |
| Project Manager | 8 | Hrs./Wk. | 19.5 | \$ 120.00 | \$ 18,720.00 |
| Assistant Project Manager | 0 | Hrs./Wk. | 19.5 | \$ 75.00 | \$ - |
| Hardscape Construction Field Manager | 24 | Hrs./Wk. | 19.5 | \$ 100.00 | \$ 46,800.00 |
| Assistant Construction Field Manager | 0 | Hrs./Wk. | 19.5 | \$ 65.00 | \$ - |
| Project Accountant | 4 | Hrs./Wk. | 19.5 | \$ 90.00 | \$ 7,020.00 |
| Administrative Assistant | 2 | Hrs./Wk. | 19.5 | \$ 50.00 | \$ 1,950.00 |
| Field Office Clerk | 0 | Hrs./Wk. | 19.5 | \$ 30.00 | \$ - |
| Total Construction Management | | | | | \$ 94,965.00 |



EXHIBIT R3
CONSTRUCTION / PROGRESS SCHEDULE

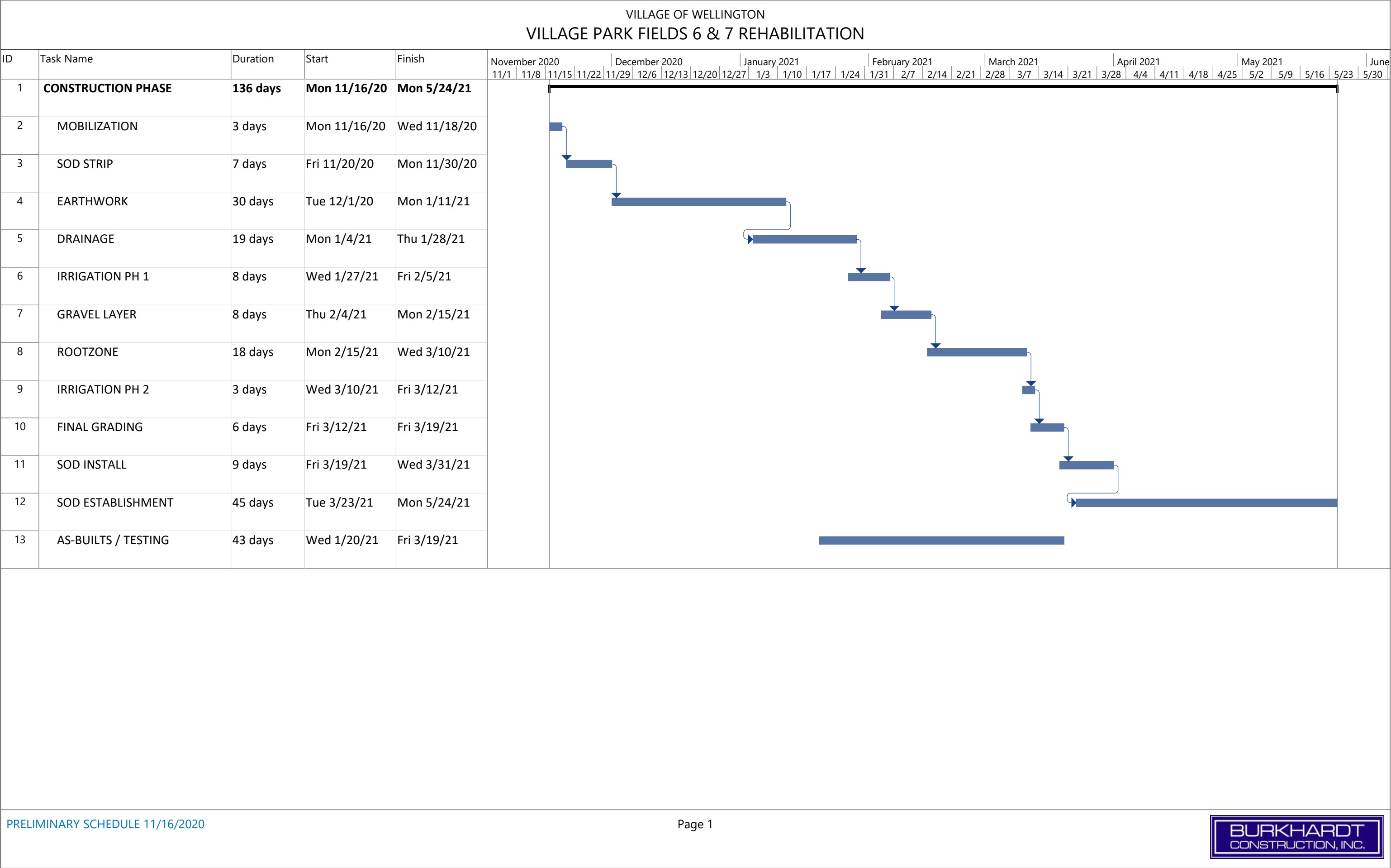


EXHIBIT R4
CONSTRUCTION MANAGER ALLOWANCES

Vincent G. Burkhardt
President



VILLAGE OF WELLINGTON
VILLAGE PARK FIELDS 6 & 7 REHABILITATION

GMP ALLOWANCES

- | | |
|--|-------------|
| 1. ALLOWANCE FOR SPECIALTY SIGNAGE | \$ 1,500.00 |
| 2. GEOGRID ALLOWANCE | \$45,303.42 |
| a. FURNISH & INSTALL TENAX 3D-GEOGRIDS; GEOTEXTILE -NO-80 (3000 SY) | |

EXHIBIT R5
ASSUMPTIONS AND CLARIFICATIONS

EXHIBIT R5 - ASSUMPTIONS AND CLARIFICATIONS

Village of Wellington
 Fields 6 & 7 Rehabilitation - Natural Turf
 90% Guaranteed Maximum Price
 Based on Drawings Rec'd From the Village of Wellington
 Received: May 6, 2020

Exceptions & Clarifications - September 9, 2020

GENERAL

- 1 Scope of work and quantities are based on Fields 6 & 7 Rehabilitation Village of Wellington plan sheets dated December 10, 2019 by Village of Wellington.
- 2 Guaranteed Maximum Price (G.M.P.) was compiled using competitive bids received from pre-approved subcontractors and vendors.
- 3 G.M.P. includes a 7.2% contingency. This contingency is controlled by the Village of Wellington.
- 4 G.M.P. does not include a cost for a master permit fee. The G.M.P. does not include permit fees for capital improvements, connection fees, impact fees, or any other regulatory agency fees that may be necessary (FDEP, FWC, Etc.)
- 5 It is understood that the Direct Construction Cost (Exhibit "A") is unit prices for the work shown in the plans and as modified by these exceptions and clarifications.
- 6 Project master schedule and schedule updates shall be a bar chart schedule acceptable to the Owner prepared by CMAR in house personnel.
- 7 Project Manual as described in the contract shall mean the closeout project manual which shall be updated periodically and presented to the Owner upon completion of the project. The information contained in this manual shall be as requested by the Owner.
- 8 G.M.P. cost estimate does not include additional insurance premiums for naming individual property owners as additional insureds. Village of Wellington shall be named additionally insured.
- 9 G.M.P. cost estimate does not include a project specific policy with a 5 year tail after final payment.
- 10 G.M.P. does not include any direct owner purchased materials.
- 11 All Construction easements shall be executed and recorded and all permits shall be issued prior to notice to proceed.
- 12 Direct Construction costs are based on an estimated project start date of November 1, 2020. Labor and equipment prices are firm for all work completed through March, 2021. Material price increases shall be passed through to the Owner with proper documentation, and paid for with Contingency.



EXHIBIT R - ASSUMPTIONS AND CLARIFICATIONS

- 13 G.M.P. does not include a bug spray system.
- 14 Village of Wellington Building Permits; All permits shall be obtained prior to start of construction and receipt of notice to proceed. Plans have not yet been through permitting and GMP does not reflect any special permitting requirements.
- 15 Prices are based on Contractor using a portion of the existing parking lot and grass area for temporary staging and use as material stockpiling and storage.
- 16 The project will require free and unlimited jobsite access for workmen and deliveries during all authorized work hours.
- 17 Burkhardt Construction, Inc. (BCI) is not liable for failure to perform such work or any damages that occur if such failure is as a result of Acts of God (including fire, flood, earthquake, storm, hurricane or other natural disaster). If BCI asserts Force Majeure as the reason for failure to perform such work or such damages occur as a result of any Act of God, then BCI must prove that they took reasonable steps to minimize delay or damages caused by unforeseeable events, that BCI substantially fulfilled all obligations, and that the owner was timely notified of the likelihood or actual occurrence of the event described as an Act of God (Force Majeure). Any construction related damages that took place as a result, shall be repaired or removed and replaced at the same contract unit prices and shall be paid out of the contingency.
- 18 In the event that the terms and provisions of all attached Exhibits conflict with or are omitted from the terms and provisions of this Contract, the terms and provisions of the attached Exhibits shall govern with respect to the performance of the work.
- 19 G.M.P. does not include any vibration monitoring or a pre/post construction survey by a geotechnical engineer on the existing buildings or structures in the project area. Should either of those tasks be required, the value will be taken from contingency.
- 20 Owner and Construction Manager (the "Parties") acknowledge and agree the GMP and Contract Time as defined in the Agreement do not include any cost impacts or schedule impacts (collectively "Impacts") associated with COVID-19, any other virus, disease, epidemic, or pandemic ("Epidemic"). The Parties agree if Construction Manager's work is delayed, suspended, disrupted, made more expensive, or otherwise adversely impacted, directly or indirectly, by an Epidemic, including, but not limited to the following impacts: (1) material or equipment supply chain disruptions; (2) illness and related costs; (3) unavailability of labor or increased labor costs, including, but not limited to any labor shortage or increased labor costs resulting from loss of labor productivity, strike, lockout or denial of labor by any union or collective bargaining unit, labor force reduction required by the CDC or OSHA guidelines, regulations, or governmental order; (4) government orders, shelter-in-place orders, closures, changes in the law, or other directives or restrictions that impact the work or the Project site; or (5) fulfillment of Construction Manager's contractual obligations regarding safety specific to COVID-19, any Epidemic, or both, then Construction Manager's shall be entitled to an equitable adjustment of the GMP and Contract Time for all such impacts. The Parties further agree, Construction Manager's will attempt to exercise due diligence with respect to the selection and management of material suppliers and supply chains in an effort to minimize the risk of disruption; however, Construction Manager does not warrant the performance of material suppliers, supply chains and supply chain management. Likewise, Construction Manager cannot foresee and is not carrying any necessary costs or contingencies for such Impacts and did not include any such Impacts in its GMP proposal for this Project.



DEMOLITION / CLEARING & GRUBBING

- 1 G.M.P. does not include costs for removal / remediation of asbestos cement pipe or any other hazardous materials.

EARTHWORK / GRADING

- 1 G.M.P. does not include removal or replacement of any unsuitable subsoils. Demucking is specifically excluded. Rock excavation is specifically excluded.
- 2 Prices are based on re-using excavated material. No unsuitable subsoil excavation, removal, or replacement is included. An allowance for geotextile stabilization in the areas identified in the plans as unsuitable has been included. Any additional stabilization required shall be invoiced at the unit price shown in the direct construction costs.
- 3 Initial Geotech bore reports were provided. No subsurface soil investigations were performed by the CMAR during pre-construction services.
- 4 G.M.P. is based on the assumption that the entire site will be closed during construction. Sidewalks to remain open at all times.
- 5 G.M.P. is based on a crown elevation of 18.00. The North and South edges are picked up to el 16.75 to eliminate the 2 foot crown. This will soften the overall crown of the field due to the added underdrain system. Added fill along the perimeter and resodding is included.

WATER / SEWER / STORM DRAINAGE

- 1 De-silting of the existing storm drainage system within the project limits is excluded.
- 2 G.M.P. cost estimate assumes existing water valves can be shut off to perform required offset work. If the line cannot be shut down, line stops will be required and the costs associated shall be paid from contingency.
- 3 G.M.P. cost estimate does not include any Village of Wellington meter installation and hook-up fees.
- 4 Cleaning of existing storm drainage lines is not included in the GMP.
- 5 G.M.P. does not include any cost for disposal/treatment of contaminated ground water if dewatering operations take place. It is assumed that clean groundwater generated by dewatering operations will be discharged into the existing storm drainage system.

FRANCHISE UTILITIES / ELECTRICAL

- 1 G.M.P. cost estimate does not include any design, engineering or installation fees which may be charged to the Owner by franchise utility companies. (electric, telephone, cable tv, gas). G.M.P. does not include the undergrounding of franchise utilities or any costs associated with modifying existing franchise utilities.
- 2 The Construction Manager at Risk shall not assume liability or warranty any work performed by FPL, COMCAST, ATT, Florida Public Utilities and/or their subcontractors.
- 4 G.M.P. cost estimate does not include furnishing or installation of cameras, camera equipment, Wi-Fi, Wi-Fi equipment, audio equipment or wiring for these items.



LANDSCAPE / IRRIGATION

- 1 G.M.P. cost estimate does not include an annual landscape maintenance agreement.
- 2 Irrigation plans are conceptual. Irrigation system shall provide for 100% coverage.

EXHIBIT R6
LIST OF EXTENDED WARRANTIES

NOT APPLICABLE FOR THIS PROJECT

EXHIBIT R7
STIPULATED GENERAL CONDITIONS AND GENERAL REQUIREMENTS

Village of Wellington

Fields 6 & 7 Rehabilitation - Natural Turf

90% Guaranteed Maximum Price

GENERAL CONDITIONS / GENERAL REQUIREMENTS

From: Burkhardt Construction, Inc.
Attn: Marc R. Kleisley
1400 Alabama Ave., Suite #20
West Palm Beach, FL 33401
Tel: (561) 659-1400
Fax: (561) 659-1402

Owner: Village of Wellington
Attn: Mr. Jonathan Reinsvold, PE
12300 Forest Hill Blvd.
Wellington, FL 33414
Tel: (561) 791-4052

Designer: Village of Wellington
Attn: Mr. Jonathan Reinsvold, PE
12300 Forest Hill Blvd.
Wellington, FL 33414
Tel: (561) 791-4052

Plans: Village Park Field 6 & 7 Rehabilitation Plan Set rec'd 5/6/2020

Location: 11700 Pierson Road
Wellington, FL 33414

Proposal Due Date: September 9, 2020

| Item Description | | | | | | Amount |
|---|--------------------|-----|---|-----|--|---------------------|
| MOBILIZATION (move-in, move-out) | | | | | | \$0.00 |
| TRANSPORT | \$65.00 / | Hr | x | 0 | | \$0.00 |
| EQUIPMENT | \$35.00 / | Hr. | x | 0 | | \$0.00 |
| SUBCONTRACTOR MOBILIZATIONS | | | | | | INCL IN DIRECT COST |
| PROJECT FIELD OFFICE | | | | | | \$19,307.50 |
| OFFICE &/or CONSTRUCTION TRAILER | FURNISHED BY OWNER | | | | | |
| YARD | FURNISHED BY OWNER | | | | | |
| EMPLOYEE PARKING FEES | \$0.00 / | mo. | x | 0 | | \$0.00 |
| WORK PLATFORM FOR YARD | \$500.00 / | mo. | x | 0 | | \$0.00 |
| TEMPORARY FENCING FOR YARD | SEE DIRECT COSTS | | | | | |
| CONSTRUCTION YARD LIGHTING | \$0.00 / | mo. | x | 0 | | \$0.00 |
| OFFICE FURNISHINGS | \$500.00 / | mo. | x | 0 | | \$0.00 |
| COMPUTERS | \$300.00 / | mo. | x | 4.5 | | \$1,350.00 |
| SCHEDULING SOFTWARE | \$100.00 / | mo. | x | 4.5 | | \$450.00 |
| PROCORE MANAGEMENT SOFTWARE | \$2,500.00 / | ls | x | 1 | | \$2,500.00 |



EXHIBIT R - STIPULATED GENERAL CONDITIONS AND GENERAL REQUIREMENTS

EXHIBIT "B"

| | | | | | |
|----------------------------|--------------------|-----|-----|-----|------------|
| COPY MACHINE | \$200.00 / | mo. | x | 0 | \$0.00 |
| FAX MACHINE | NOT REQUIRED | / | mo. | x | |
| INTERNET SERVICE | \$150.00 / | mo. | x | 0 | \$0.00 |
| CELLULAR TELEPHONE | \$150.00 / | mo. | x | 4.5 | \$675.00 |
| TELEPHONE | \$150.00 / | mo. | x | 0 | \$0.00 |
| FEDERAL EXPRESS MAILINGS | \$100.00 / | mo. | x | 0 | \$0.00 |
| POSTAGE | \$50.00 / | mo. | x | 0 | \$0.00 |
| PHOTOGRAPHS | | | | | |
| VIDEO CAMERA - LIVE STREAM | \$1,750.00 / | mo. | x | 4.5 | \$7,875.00 |
| AERIAL PHOTOS | \$110.00 / | mo. | x | 4.5 | \$495.00 |
| JOB PHOTOS | \$100.00 / | mo. | x | 4.5 | \$450.00 |
| PRE-CONSTRUCTION VIDEO | \$850.00 / | ls | x | 1 | \$850.00 |
| PRINTING COSTS | \$500.00 / | ls | x | 1 | \$500.00 |
| OFFICE SUPPLIES | \$100.00 / | mo. | x | 4.5 | \$450.00 |
| FIRST AID SUPPLIES | \$50.00 / | mo. | x | 4.5 | \$225.00 |
| WATER SERVICE | FURNISHED BY OWNER | | | | |
| SANITARY SERVICE | FURNISHED BY OWNER | | | | |
| ELECTRIC SERVICE | FURNISHED BY OWNER | | | | |
| GARBAGE SERVICE | FURNISHED BY OWNER | | | | |
| CONSTRUCTION WATER | \$500.00 / | mo. | x | 4.5 | \$2,250.00 |
| JOHN DEERE GATOR | \$500.00 / | mo. | x | 0 | \$0.00 |
| ICE | \$275.00 / | mo. | x | 4.5 | \$1,237.50 |

BONDS

| | | | | |
|----------------------|----------------|---|-------|--------------|
| GENERAL BOND | \$1,796,385.00 | x | 1.15% | \$20,658.43 |
| SUBCONTRACTORS BONDS | \$3.00 | | | NOT INCLUDED |

PARTNERING INITIATIVES

| | |
|--|------------|
| NOTICES, LETTERS, INFORMATION MEETINGS | \$1,500.00 |
|--|------------|

INSURANCE

| | | | | |
|---|--------------------------------|---|-------|-------------|
| GENERAL INSURANCE | \$1,796,385.00 | x | 1.90% | \$34,131.32 |
| Commercial General Liability | | | | |
| Comprehensive Automobile Liability | | | | |
| Owner Indemnification | | | | |
| Professional (Errors/Omissions) Liability | | | | |
| Excess/Umbrella Liability | | | | |
| ADD'L INSURED | \$0.00 / ea. | x | 0 | \$0.00 |
| ADDED INSURANCES REQUIRED | \$0.00 | x | 0 | \$0.00 |
| Project Specific policy | Not Included | | | |
| Builders Risk Insurance | By Owner | | | |
| Installation Floater | Not Included | | | |
| Flood Insurance | Not Required | | | |
| SUBCONTRACTORS' INSURANCE | Included in their direct costs | | | |

SANITARY SERVICES

| | | | | | |
|---------------------------|------------|-----|---|-----|------------|
| JOB TOILET (1ea.)/PROJECT | \$475.00 / | mo. | x | 4.5 | \$2,137.50 |
|---------------------------|------------|-----|---|-----|------------|

TESTING COSTS

| | | | | | |
|---|--------------|------|---|----|------------|
| DENSITIES | \$48.00 / | HR | x | 20 | \$960.00 |
| PROCTORS | \$85.00 / | TEST | | 2 | \$170.00 |
| LIMEROCK BEARING RATIO | \$250.00 / | TEST | | 5 | \$1,250.00 |
| SIEVE ANALYSIS | \$50.00 / | TEST | | 0 | \$0.00 |
| ORGANIC CONTENT | \$48.00 / | TEST | | 0 | \$0.00 |
| CONCRETE CYLINDERS | \$15.00 / | CYL. | | 0 | \$0.00 |
| PARTICLE SHAPE TEST (ASTM S 2488) | \$125.00 / | TEST | | 0 | \$0.00 |
| ENGINEERING & REPORTING | \$7,500.00 / | LS | | 1 | \$7,500.00 |
| PRE/POST CONST. SURVEY/VIBRATION MONITORING | | | | | EXCLUDED |



| | | | | | | |
|-------------------------------------|--|--|--|--|--|------------------|
| FEES | | | | | | None Anticipated |
| PERMIT FEES | | | | | | |
| SFWMD DEWATERING PERMIT | | | | | | EXCLUDED |
| PALM BEACH COUNTY HEALTH DEPARTMENT | | | | | | EXCLUDED |
| SURVEYING | | | | | | \$0.00 |
| LAYOUT & ASBUILTS | | | | | | \$0.00 |
| ALLOWANCE FOR RESTAKING & DRAFTING | | | | | | \$0.00 |
| SMALL HAND TOOLS/EQUIPMENT RENTAL | | | | | | \$500.00 |
| ALLOWANCE (GENERAL) | | | | | | \$500.00 |
| GENERAL CONDITIONS TOTAL | | | | | | \$88,114.74 |

Village of Wellington

Fields 6 & 7 Rehabilitation - Natural Turf

90% Guaranteed Maximum Price

GENERAL CONDITIONS / GENERAL REQUIREMENTS

From: Burkhardt Construction, Inc.
Attn: Marc R. Kleisley
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Owner: Village of Wellington
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Plans: Village Park Field 6 & 7 Rehabilitation Plan Set rec'd 5/6/2020

Location: 11700 Pierson Road
Wellington, FL 33414

Proposal Due Date: September 9, 2020

| MANAGEMENT TEAM | | | | | |
|--------------------------------------|----------|-------------|------|-----------|---------------------|
| Item Description | Quantity | (Hrs./Week) | Wks. | Rate/Hr. | Amount |
| Project Principal | 6 | Hrs./Wk. | 19.5 | \$ 175.00 | \$ 20,475.00 |
| Senior Project Manager | 0 | Hrs./Wk. | 19.5 | \$ 150.00 | \$ - |
| Vertical Project Manager | 0 | Hrs./Wk. | 19.5 | \$ 120.00 | \$ - |
| Project Manager | 8 | Hrs./Wk. | 19.5 | \$ 120.00 | \$ 18,720.00 |
| Assistant Project Manager | 0 | Hrs./Wk. | 19.5 | \$ 75.00 | \$ - |
| Hardscape Construction Field Manager | 24 | Hrs./Wk. | 19.5 | \$ 100.00 | \$ 46,800.00 |
| Assistant Construction Field Manager | 0 | Hrs./Wk. | 19.5 | \$ 65.00 | \$ - |
| Project Accountant | 4 | Hrs./Wk. | 19.5 | \$ 90.00 | \$ 7,020.00 |
| Administrative Assistant | 2 | Hrs./Wk. | 19.5 | \$ 50.00 | \$ 1,950.00 |
| Field Office Clerk | 0 | Hrs./Wk. | 19.5 | \$ 30.00 | \$ - |
| Total Construction Management | | | | | \$ 94,965.00 |



EXHIBIT R8
SUBMITTAL SCHEDULE

NOT APPLICABLE FOR THIS PROJECT